

# Appendix E Cultural Resources Impacts Report

## GOLD LINE EASTSIDE TRANSIT CORRIDOR PHASE 2



**Metro**

Prepared for  
Los Angeles Metropolitan  
Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012

June 2022

# Appendix E

## Cultural Resources Impacts Report

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Prepared for:  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012

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## Attachments

- Attachment A – Area of Potential Effects Map
- Attachment B – Consultation Correspondence
- Attachment C – Records Search Results (Confidential)
- Attachment D – Survey Results - DPR 523 Forms

## Acronyms

ADI	Area of Direct Impact
APE	Area of Potential Effects
BCE	Before the Common Era
BMP	Best Management Practices
BNSF	Burlington Northern Santa Fe
BP	before present
Caltrans	California Department of Transportation
CCR	California Code of Regulations
CE	Common Era
CEQA	California Environmental Quality Act
CFR	Code of Federal Regulations
CHL	California Historical Landmarks
CHRIS	California Historical Resources Information System
CRHR	California Register of Historical Resources
CRMMP	Cultural Resources Monitoring and Mitigation Plan
DPR	California Department of Parks and Recreation
DSA	detailed study area
EIR	Environmental Impact Report
FTA	Federal Transit Administration
GSA	general study area
HABS	Historic American Building Survey
HAER	Historic American Engineering Record
HALS	Historic American Landscape Survey
HRI	Historic Resources Inventory

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I	Interstate
IOS	Initial Operating Segment
LRT	light rail transit
L RTP	Long Range Transportation Plan
LRV	light rail vehicles
Metro	Los Angeles County Metropolitan Transportation Authority
MLD	most likely descendant
MSE	mechanically stabilized earth
MSF	maintenance and storage facility
MUTCD	Manual of Uniform Traffic Control Devices
NAHC	Native American Heritage Commission
NHPA	National Historic Preservation Act
NRHP	National Register of Historic Places
NOP	notice of preparation
OCS	overhead catenary system
Project	Eastside Transit Corridor Phase 2 Project
PHI	Points of Historical Interest
PRC	Public Resources Code
ROW	right-of-way
RTP	<i>Regional Transportation Plan</i>
SCAG	Southern California Association of Governments
SCCIC	South Central Coastal Information Center
SCS	<i>Sustainable Communities Strategy</i>
SHPO	State Historic Preservation Officer
TBM	tunnel boring machine

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TCR	Tribal Cultural Resources
TPSS	traction power substation
U.S.C.	United States Code
USDOT	United States Department of Transportation
USGS	United States Geological Survey
VdB	vibration decibels
VMT	vehicle miles traveled
WPA	Water and Power Associates

## 1.0 INTRODUCTION

This impacts report discusses the Eastside Transit Corridor Phase 2 Project (Project) setting in relation to cultural resources. It describes existing conditions, current applicable regulatory setting, and potential impacts from operation and construction of the Build Alternatives and the No Project Alternative. This study was conducted in compliance with the California Environmental Quality Act (CEQA) and the State CEQA Guidelines, California Code of Regulations Section 15000 et seq.

The Project would extend the Los Angeles County Metropolitan Transportation Authority (Metro) L (Gold) Line, a light rail transit (LRT) line, from its current terminus at the Atlantic Station in the unincorporated community of East Los Angeles to the city of Whittier. It would extend the existing Metro L Line approximately 3.4 to 9.5 miles, depending on the Build Alternative.

The Project area of analysis includes a general study area (GSA) that is regional in scope and scale and a detailed study area (DSA) that encompasses an approximately two-mile area from the project alignment in eastern Los Angeles County. Additionally, specialized study areas were developed for certain environmental impact categories where the potential impacts would occur within an area that varies from the GSA or DSA. All specialized study areas are contained within the GSA. This cultural resource assessment includes an archaeological survey and an intensive built environment survey to identify historical resources within the specialized study area for cultural resources, which is referred to as the Area of Potential Effects (APE). For archaeological resources, the APE is typically the three-dimensional limits of proposed ground disturbance, including temporary ground disturbance, also known as the Area of Direct Impact (ADI). This study was conducted in compliance with the CEQA and the State CEQA Guidelines, California Code of Regulations (CCR) Section 15000 et seq.

A diverse mix of land uses are located within the GSA and DSA, including single- and multi-family residences, commercial and retail uses, industrial development, parks and recreational, health and medical uses, educational institutions, and vacant land. The Project would traverse densely populated, low-income, and heavily transit-dependent communities with major activity centers within the Gateway Cities subregion of Los Angeles County.

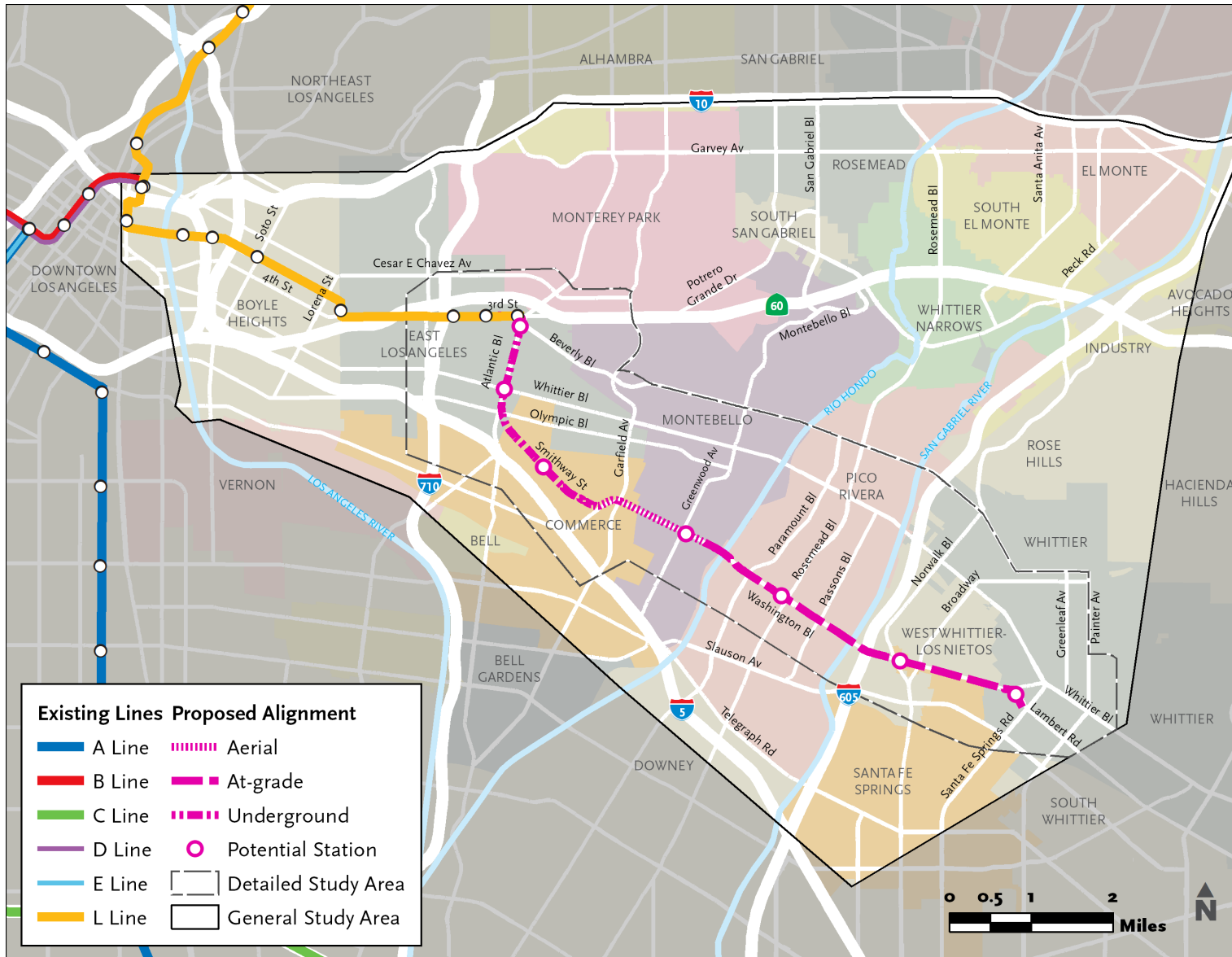
## 2.0 PROPOSED PROJECT AND ALTERNATIVES

### 2.1 Project Setting and Description

This impacts report evaluates potential environmental impacts of three Build Alternatives and a No Project Alternative. The Build Alternatives are: Alternative 1 Washington (Alternative 1), Alternative 2 Atlantic to Commerce/Citadel Initial Operating Segment (IOS) (Alternative 2), and Alternative 3 Atlantic to Greenwood IOS (Alternative 3).

For purposes of describing the Project, two study areas have been defined. The GSA is regional in scope and scale, whereas the DSA encompasses an approximately two-mile area from the Project alignment's centerline. The GSA is the same for all three of the Build Alternatives. The purpose of the GSA is to establish the study area for environmental resources that are regional in scope and scale, such as regional transportation, including vehicle miles traveled (VMT) and regional travel demands, population, housing, or employment. The GSA consists of several jurisdictions within Los Angeles County including the cities of Bell, Commerce, El Monte, Industry, Los Angeles, Montebello, Monterey Park, Pico Rivera, Rosemead, South El Monte, Santa Fe Springs, Whittier, unincorporated areas of Los Angeles County, which includes East Los Angeles and West Whittier-Los Nietos, and other cities within the San Gabriel Valley. It is generally bounded by Interstate (I) 10 to the north, Peck Road in South El Monte and Lambert Road in Whittier to the east, I-5 and Washington Boulevard to the south, and I-710 to the west. **Figure 2.1**, **Figure 2.2**, and **Figure 2.3** present the boundaries of the GSA for each of the three Build Alternatives.

The DSA establishes a study area to evaluate environmental resources that are more sensitive to the physical location of the Build Alternatives. The DSA for Alternative 1 Washington generally includes the area within a half-mile to two-mile distance from the guideway centerline, as shown in **Figure 2.1**. It encompasses five cities, Commerce, Montebello, Pico Rivera, Santa Fe Springs, and Whittier, and communities of unincorporated East Los Angeles and Whittier-Los Nietos. The DSA for Alternative 2 Atlantic to Commerce/Citadel IOS and Alternative 3 Atlantic to Greenwood IOS, does not extend as far to the east. As shown in **Figure 2.2** and **Figure 2.3** for Alternative 2 and Alternative 3 respectively, the DSA extends to the Rio Hondo and includes Commerce, Montebello, and unincorporated East Los Angeles.



Source: Metro; CDM Smith/AECOM JV, 2021.

Figure 2.1. Alternative 1 Washington GSA and DSA



Source: Metro; CDM Smith/AECOM JV, 2021.

Figure 2.2. Alternative 2 Atlantic to Commerce/Citadel IOS GSA and DSA





Source: Metro; CDM Smith/AECOM JV, 2021.

Figure 2.3. Alternative 3 Atlantic to Greenwood IOS GSA and DSA

## 2.2 Build Alternatives

This impacts report evaluates the potential environmental impacts of three Build Alternatives which have the same guideway alignment east of the existing terminus at Atlantic Station but vary in length. Alternative 1 has the longest alignment at approximately 9.0 miles with seven stations (one relocated/reconfigured and six new), two maintenance and storage facility (MSF) site options and would terminate at Lambert station on Lambert Road in the city of Whittier. Alternative 2 is approximately 3.2 miles in length with three stations, one MSF site option, and would terminate at the Commerce/Citadel station in the city of Commerce, with non-revenue lead tracks extending further into the city of Commerce to connect to the Commerce MSF site option. Alternative 3 is approximately 4.6 miles in length with four stations, two MSF site options, and would terminate at Greenwood station in the city of Montebello.

There are also design options under consideration for each of the three Build Alternatives that consist of a variation in the design of the relocated/reconfigured Atlantic Station (applicable to Alternatives 1, 2, and 3) and a variation in the station and alignment profile in Montebello (applicable to Alternatives 1 and 3). Construction and operation of one or both design options are considered and evaluated for Alternative 1 and Alternative 3.

To differentiate the impacts evaluation of a Build Alternative with or without the design option(s) incorporated, a Build Alternative without the design option(s) is referred to as the “base Alternative” (i.e., base Alternative 1). A Build Alternative with a design option incorporated is referred to by using the design option name (e.g., Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option). The three Build Alternatives and the design options are described in greater detail below.

### 2.2.1 Alternative 1 Washington

Alternative 1 would extend the Metro L (Gold) Line LRT approximately 9.0 miles east from the current at-grade station at Atlantic Boulevard to an at-grade terminus at Washington Boulevard/Lambert Road in the city of Whittier. This alternative would include a relocated/reconfigured Atlantic station in an underground configuration and six new stations: Atlantic/Whittier (underground), Commerce/Citadel (underground), Greenwood (aerial), Rosemead (at-grade), Norwalk (at-grade), and Lambert (at-grade). The base Alternative 1 alignment would transition from the existing at-grade alignment to an underground configuration and would transition to an aerial configuration in the city of Commerce before transitioning to at-grade at Montebello Boulevard. The alignment includes approximately 3.0 miles of tunnel, 1.5 miles of aerial, and 4.5 miles of at-grade alignment.

The Alternative 1 alignment crosses the Rio Hondo and San Gabriel River and the Rio Hondo Spreading Grounds. The existing San Gabriel River and Rio Hondo bridges would be replaced with new bridges designed to carry both the LRT facility and the four-lane roadway.

An MSF and other ancillary facilities would also be constructed as part of the Project, including overhead catenary system (OCS), cross passages, ventilation structures, traction power substation (TPSS) sites, crossovers, emergency generators, radio tower poles and equipment shelters, and other supporting facilities along the alignment.

Two design options for Alternative 1 are described below.

### 2.2.1.1 Guideway Alignment

Under Alternative 1, the guideway would begin at the eastern end of the existing East Los Angeles Civic Center Station, transitioning from at-grade to underground at the intersection of South La Verne Avenue and East 3<sup>rd</sup> Street. The guideway would turn south and run beneath Atlantic Boulevard to approximately Verona Street and Olympic Boulevard. The underground guideway would then curve southeast, running under Smithway Street near the Citadel Outlets in the city of Commerce. After crossing Saybrook Avenue, the guideway would daylight from underground to an aerial configuration. Depending on the MSF site option that is selected, the aerial guideway would continue parallel to Washington Boulevard, east of Garfield Avenue, and merge into the center median of Washington Boulevard (Commerce MSF site option) or merge into the center median of Washington Boulevard at Gayhart Street (Montebello MSF site option). The alignment would maintain an aerial configuration then transition to an at-grade configuration east of Carob Way and would remain at-grade in the center of Washington Boulevard. The at-grade alignment would terminate at Lambert station in the city of Whittier.

#### 2.2.1.1.1 Design Options

The following design options are being considered for Alternative 1:

**Atlantic/Pomona Station Option** – The Atlantic/Pomona Station Option would relocate the existing Atlantic Station to a shallow open air underground station with two side platforms and a canopy (**Figure 2.4**). This station design option would be located beneath the existing triangular parcel bounded by Atlantic Boulevard, Pomona Boulevard, and Beverly Boulevard. The excavation depth of the station invert would be approximately 20 to 25 feet from the existing ground elevation.

This option would also impact the guideway alignment and location of the tunnel boring machine (TBM) extraction pit. The underground guideway would be located east of Atlantic Boulevard and require full property acquisitions at its footprint between Beverly Boulevard and 4<sup>th</sup> Street. The alignment would connect with the base Alternative 2 alignment just north of the proposed Atlantic/Whittier station. The TBM extraction pit would be east of Atlantic Boulevard between Repetto Street and 4<sup>th</sup> Street. Limits for the excavation would occur between the TBM extraction pit and the intersection of Pomona Boulevard and Beverly Boulevard.

**Montebello At-Grade Option** – This design option consists of approximately one mile of at-grade guideway along Washington Boulevard between Yates Avenue and Carob Way in the city of Montebello. In this design option, after crossing Saybrook Avenue, the LRT guideway would daylight from underground to an aerial configuration to avoid disrupting existing Burlington Northern Santa Fe (BNSF) Railway tracks. The aerial guideway would continue parallel to Washington Boulevard, then merge into the center median east of Garfield Avenue. At Yates Avenue, the guideway would transition from aerial to an at-grade configuration and remain at-grade until terminating near Lambert Road in the city of Whittier. This design option includes an at-grade Greenwood station located west of Greenwood Avenue. The lead tracks to the MSF site option would also be at-grade. Alternative 1 with the Montebello At-Grade Option would have approximately 3.0 miles of underground, 0.5 miles of aerial, and 5.5 miles of at-grade alignment.



Source: Metro; ACE Team, June 2022.

**Figure 2.4. Atlantic/Pomona Station Option**

## 2.2.2 Alternative 2 Atlantic to Commerce/Citadel IOS

Alternative 2 would extend the Metro L (Gold) Line approximately 3.2 miles from the current terminus at Atlantic Boulevard to an underground terminal station at the Commerce/Citadel station in the city of Commerce with lead tracks connecting to the Commerce MSF site option. Alternative 2 would include a relocated/reconfigured Atlantic station and two new stations: Atlantic/Whittier (underground), and Commerce/Citadel (underground). The base Alternative 2 alignment includes approximately 3.0 miles of underground, 0.1 miles of aerial, and 0.1 miles of at-grade alignment.

An MSF and other ancillary facilities would also be constructed as part of the Project, including OCS, tracks, cross passages, ventilation structures, TPSSs, track crossovers, emergency generators, radio tower poles and equipment shelters, and other facilities along the alignment.

### 2.2.2.1 Guideway Alignment

Under Alternative 2, the guideway would follow the same alignment as under Alternative 1. The guideway would begin at the eastern end of the existing East Los Angeles Civic Center Station, transitioning from at-grade to underground at the intersection of South La Verne Avenue and East 3<sup>rd</sup> Street. The guideway would turn south and run beneath Atlantic Boulevard to approximately Verona Street and Olympic Boulevard. The underground guideway would then curve southeast, running under Smithway Street near the Citadel Outlets in the city of Commerce. The alignment would terminate at the Commerce/Citadel station with non-revenue lead tracks connecting to the Commerce MSF site option.

#### 2.2.2.1.1 Design Option

One design option, the Atlantic/Pomona Station Option described in **Section 2.2.1.1.1** and shown on **Figure 2.4** is being considered for Alternative 2.

## 2.2.3 Alternative 3 Atlantic to Greenwood IOS

Alternative 3 would extend the Metro L (Gold) Line approximately 4.6 miles east from the current terminus at Atlantic Boulevard to an aerial terminal station at the Greenwood station in the city of Montebello. This alternative would include a relocated/reconfigured Atlantic station and three new stations: Atlantic/Whittier (underground), Commerce/Citadel (underground), and Greenwood (aerial). The base Alternative 3 alignment includes approximately 3.0 miles of underground, 1.5 miles of aerial, and 0.1 miles of at-grade alignment.

An MSF and other ancillary facilities would also be constructed as part of the Project, including OCS, tracks, cross passages, ventilation structures, TPSSs, track crossovers, emergency generators, radio tower poles and equipment shelters, and other facilities along the alignment.

Two design options for Alternative 3 are described below.

### 2.2.3.1 Guideway Alignment

Under Alternative 3, the guideway would follow the same alignment as under Alternative 1. The guideway would begin at the eastern end of the existing East Los Angeles Civic Center Station, transitioning from at-grade to underground at the intersection of South La Verne Avenue and East 3<sup>rd</sup> Street. The guideway would then turn south and run beneath Atlantic Boulevard to approximately Verona Street and Olympic Boulevard. The underground guideway would then curve southeast, running under Smithway Street near the Citadel Outlets in the city of Commerce. After crossing Saybrook Avenue, the guideway would daylight from underground to an aerial configuration. Depending on the MSF site option that is selected, the aerial guideway would continue parallel to Washington Boulevard, east of Garfield Avenue, and merge into the center median of Washington Boulevard (Commerce MSF site option) or merge into the center media of Washington Boulevard at Gayhart Street (Montebello MSF site option). The aerial guideway would terminate at the Greenwood station in the city of Montebello.

#### 2.2.3.1.1 Design Options

Two design options described in **Section 2.2.1.1.1**, the Atlantic/Pomona Station Option and the Montebello At-Grade Option are being considered for Alternative 3. Alternative 3 with the Montebello At-Grade Option would have approximately 3.0 miles of underground, 0.5 miles of aerial, and 1.1 miles of at-grade alignment.

## 2.3 Maintenance and Storage Facilities

The Project has two MSF site options: the Commerce MSF site option and the Montebello MSF site option. One MSF site option would be constructed. The MSF would provide equipment and facilities to clean, maintain, and repair rail cars, vehicles, tracks, and other components of the system. The MSF would enable storage of light rail vehicles (LRVs) that are not in service and would connect to the mainline with one lead track. The MSF would also provide office space for Metro rail operation staff, administrative staff, and communications support staff. The MSF would be the primary physical employment centers for rail operation employees, including train operators, maintenance workers, supervisors, administrative, security personnel and other roles.

The Commerce MSF site option is located in the city of Commerce, and the Montebello MSF site option is located in the city of Montebello. The Commerce MSF site option is located where it could support any of the three Build Alternatives. The Montebello MSF site option is located where it could support either Alternative 1 or Alternative 3.

### 2.3.1 Commerce MSF

The Commerce MSF site option is located in the city of Commerce, west of Washington Boulevard and north of Gayhart Street. The site is approximately 24 acres and is bounded by Davie Avenue to the east, Fleet Street to the north, Saybrook Avenue to the west, and an unnamed street to the south. Additional acreage would be needed to accommodate the lead track and construction staging. As shown in a dashed line on **Figure 2.5**, the guideway alignment with the Commerce MSF site option would daylight from an underground to aerial configuration west of the intersection of Gayhart Street

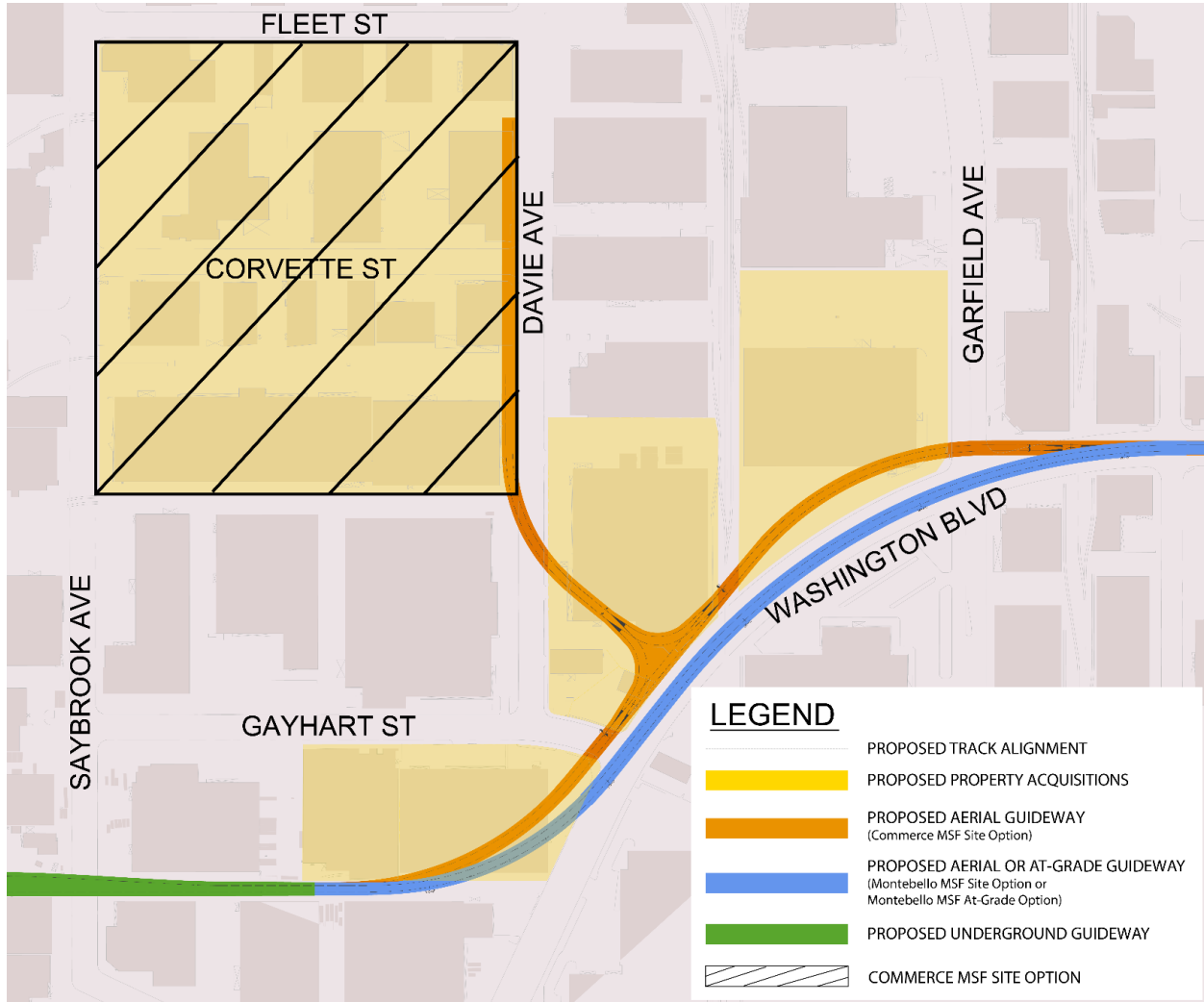
and Washington Boulevard and would run parallel to Washington Boulevard from Gayhart Street to Yates Avenue. The lead tracks to the Commerce MSF site option would be located northeast of the intersection of Gayhart Street and Washington Boulevard and extend in an aerial configuration and then would transition to at-grade within the MSF after crossing Davie Avenue. To construct and operate the Commerce MSF site option, Corvette Street would be permanently closed between Saybrook Avenue and Davie Avenue. Corvette Street is an undivided two-lane road and is functionally classified as a local street under the California Road System. The facility would accommodate storage for approximately 100 LRVs.

### 2.3.2 Montebello MSF

The Montebello MSF site option is located in the city of Montebello, north of Washington Boulevard and south of Flotilla Street between Yates Avenue and S. Vail Avenue. The site is approximately 30 acres in size and is bounded by S. Vail Avenue to the east, a warehouse structure along the south side of Flotilla Street to the north, Yates Avenue to the west, and a warehouse rail line to the south. Additional acreage would be needed to accommodate the lead track and construction staging. As shown on in a solid line on **Figure 2.5**, as with the Commerce MSF site option, the guideway alignment with the Montebello MSF site option would daylight from an underground to an aerial configuration west of intersection of Gayhart Street and Washington Boulevard. The alignment would be located further east than the alignment with the Commerce MSF site option. The aerial guideway for the Montebello MSF site option would transition to the median of Washington Boulevard at Gayhart Street. Columns that would provide structural support for the aerial guideway would be installed in the median of Washington Boulevard and would require roadway reconfiguration and striping on Washington Boulevard.

The lead tracks would be in an aerial configuration from Washington Boulevard, parallel S. Vail Avenue, and then transition to at-grade as it approaches the MSF. The facility would accommodate storage for approximately 120 LRVs.

The Montebello MSF At-Grade Option includes an at-grade configuration for the lead tracks to the Montebello MSF. This design option would be necessary if the Montebello At-Grade Option is selected under Alternative 1 or Alternative 3. In this design option, the lead tracks would be in an at-grade configuration from Washington Boulevard, paralleling S. Vail Avenue and remain at-grade to connect to the Montebello MSF site option. For this design option, through access on Acco Street to Vail Avenue would be eliminated and cul-de-sacs would be provided on each side of the lead tracks to ensure that access to businesses in this area is maintained. Acco Street is an undivided two-lane road and is functionally classified as a local street under the California Road System.



Source: Metro; ACE Team, June 2022.

**Figure 2.5. Montebello MSF S-Curve Alignment**

## 2.4 Ancillary Facilities

The Build Alternatives would require a number of additional elements to support vehicle operations, including but not limited to the OCS, tracks, crossovers, cross passages, ventilation structures, TPSS, train control houses, electric power switches and auxiliary power rooms, communications rooms, radio tower poles and equipment shelters, and an MSF. Alternatives 1, 2, and 3 would have an underground alignment of approximately 3 miles in length between La Verne and Saybrook Avenue. Per Metro's Fire Life Safety Criteria, ventilation shafts and emergency fire exits would be installed along the tunnel portion of the alignment. These would be located at the underground stations or public right-of-way (ROW). The alignment for Alternative 1 and Alternative 3 would travel along the median of the roadway for most of the route. The precise location of ancillary facilities would be determined in a subsequent design phase.



## 2.5 Proposed Stations

The following stations would be constructed under Alternative 1:

- Atlantic (Relocated/Reconfigured) – The existing Atlantic Station would be relocated and reconfigured to an underground center platform station located beneath Atlantic Boulevard south of Beverly Boulevard in East Los Angeles. The existing parking structure located north of the 3<sup>rd</sup> Street and Atlantic Boulevard intersection would continue to serve this station.
  - Atlantic Pomona Station Option – The Atlantic/Pomona Station Option would relocate the existing Atlantic Station to a shallow underground open-air station with two side platforms and a canopy. This station design option would be located beneath the existing triangular parcel bounded by Atlantic Boulevard, Pomona Boulevard, and Beverly Boulevard. The existing parking structure located north of the 3<sup>rd</sup> Street and Atlantic Boulevard intersection would continue to serve this station.
- Atlantic/Whittier – This station would be underground with a center platform located beneath the intersection of Atlantic and Whittier Boulevards in East Los Angeles. Parking would not be provided at this station.
- Commerce/Citadel – This station would be underground with a center platform located beneath Smithway Street near the Citadel Outlets in the city of Commerce. Parking would not be provided at this station.
- Greenwood – This station would be aerial with a side platform located in the median of Washington Boulevard east of Greenwood Avenue in the city of Montebello. This station would provide a surface parking facility near the intersection of Greenwood Avenue and Washington Boulevard.
  - Under the Montebello At-Grade Option, Greenwood station would be an at-grade station located west of the intersection at Greenwood and Washington Boulevard.
- Rosemead – This station would be at-grade with a center platform located in the center of Washington Boulevard west of Rosemead Boulevard in the city of Pico Rivera. This station would provide a surface parking facility near the intersection of Rosemead and Washington Boulevards.
- Norwalk – This station would be at-grade with a center platform located in the median of Washington Boulevard east of Norwalk Boulevard in the city of Santa Fe Springs. This station would provide a surface parking facility near the intersection of Norwalk and Washington Boulevards.
- Lambert – This station would be at-grade with a center platform located south of Washington Boulevard just west of Lambert Road in the city of Whittier. This station would provide a surface parking facility near the intersection of Lambert Road and Washington Boulevard.

Alternative 2 would include Atlantic (Relocated/Reconfigured), Atlantic/Whittier, and Commerce/Citadel stations as described above.

Alternative 3 would include Atlantic (Relocated/Reconfigured), Atlantic/Whittier, Commerce/Citadel, and Greenwood stations as described above.

Station amenities would include items in the Metro Systemwide Station Standards Policy (Metro 2018) such as station pin signs, security cameras, bus shelters, benches, emergency/information telephones, stairs, map cases, fare collection, pedestrian and street lighting, hand railing, station landscaping, trash receptacles, bike racks and lockers, emergency generators, power boxes, fire hydrants, and artwork. Escalators and elevators would be located in aerial and underground stations. Station entry portals would be implemented at underground stations. Station access would be ADA-compliant and also have bicycle and pedestrian connections. Details regarding most of these items, including station area planning and urban design, would be determined at a later phase.

## 2.6 Description of Construction

Construction of the Project would include a combination of elements dependent upon the locally preferred alternative. The major construction activities include guideway construction (at-grade, aerial, underground); decking and tunnel boring for the underground guideway; station construction; demolition; utility relocation and installation work; street improvements including sidewalk reconstruction and traffic signal installation; retaining walls; LRT operating systems installation including TPSS and OCS; parking facilities; an MSF; and construction of other ancillary facilities. Alternative 1 would include construction of bridge replacements over the San Gabriel and Rio Hondo Rivers.

In addition to adhering to regulatory compliance, the development of the Project would employ conventional construction methods, techniques, and equipment. All work for development of the LRT system would conform to accepted industry specifications and standards, including Best Management Practices (BMP). Project engineering and construction would, at minimum, be completed in conformance with the regulations, guidelines, and criteria, including, but not limited to, Metro Rail Design Criteria (MRDC) (Metro 2018), California Building Code, Metro Operating Rules, and Metro Sustainability Principles.

The construction of the Project is expected to last approximately 60 to 84 months. Construction activities would shift along the corridor so that overall construction activities should be relatively short in duration at any one point. Most construction activities would occur during daytime hours. For specialized construction tasks, it may be necessary to work during nighttime hours to minimize traffic disruptions. Traffic control and pedestrian control during construction would follow local jurisdiction guidelines and the Manual of Uniform Traffic Control Devices (MUTCD) standards. Typical roadway construction traffic control methods and devices would be followed including the use of signage, roadway markings, flagging, and barricades to regulate, warn, or guide road users. Properties adjacent to the Project's alignment would be used for construction staging. The laydown and storage areas for construction equipment and materials would be established in the vicinity of the Project within parking facilities, and/or on parcels that would be acquired for the proposed stations and MSF site options. Construction staging areas would be used to store building materials, construction equipment, assemble the TBM, temporary storage of excavated materials, and serve as temporary field offices for the contractor.

## 2.7 Description of Operations

The operating hours and schedules for Alternatives 1, 2, and 3 would be comparable to the weekday, Saturday and Sunday, and holiday schedules for the Metro L (Gold) Line (effective 2019). It is anticipated that trains would operate every day from 4:00 am to 1:30 am. On weekdays, trains would operate approximately every 5 to 10 minutes during peak hours, every 10 minutes mid-day and until 8:00 pm, and every 15 minutes in the early morning and after 8:00 pm. On weekends, trains would operate every 10 minutes from 9:00 am to 6:30 pm, every 15 minutes from 7:00 am to 9:00 am and from 6:30 pm to 7:30 pm, and every 20 minutes before 7:00 am and after 7:30 pm. These operational headways are consistent with Metro design requirements for future rail services.

## 2.8 No Project Alternative

The No Project Alternative establishes impacts that would reasonably be expected to occur in the foreseeable future if the Project were not approved. The No Project Alternative would maintain existing transit service through the year 2042. No new transportation infrastructure would be built within the GSA aside from projects currently under construction or funded for construction and operation by 2042 via the 2008 Measure R or 2016 Measure M sales taxes. The No Project Alternative would include highway and transit projects identified for funding in Metro's 2020 Long Range Transportation Plan (LRTP) and Southern California Association of Governments (SCAG) *Connect SoCal 2020-2045 Regional Transportation Plan/Sustainable Communities Strategy* (2020 RTP/SCS). The No Project Alternative includes existing projects from the regional base year (2019) and planned regional projects in operation in the horizon year (2042).

## 3.0 REGULATORY FRAMEWORK

Cultural resources in California are protected by several federal, state, and local regulations, statutes, and ordinances. Cultural resources are defined as buildings, sites, structures, or objects, each of which may have historical, architectural, archaeological, cultural, and/or scientific importance. (See Public Resource Code (PRC), § 5020.1, subd. (b).) The cities along the corridor include the cities of Commerce, Montebello, Pico Rivera, Santa Fe Springs, and Whittier, and the unincorporated communities of East Los Angeles and Whittier-Los Nietos. Of these cities and communities, only the cities of Commerce and Whittier have local preservation ordinances.

### 3.1 Federal

#### 3.1.1 National Historic Preservation Act of 1966

Cultural resources are protected through the National Historic Preservation Act (NHPA) of 1966, as amended (54 United States Code [U.S.C.] 300101 et seq.), and the implementing regulations, Protection of Historic Properties (36 Code of Federal Regulations [CFR] Part 800), the Archaeological and Historic Preservation Act of 1974, and the Archaeological Resources Protection Act of 1979. Prior to implementing an “undertaking” (e.g., issuing a federal permit), the NHPA (54 U.S.C. 306108) requires federal agencies to consider the effects of the undertaking on historic properties and to afford the Advisory Council on Historic Preservation and the State Historic Preservation Officer (SHPO) a reasonable opportunity to comment on any undertaking that would adversely affect properties eligible for listing in the National Register of Historic Places (NRHP). SHPO involvement extends to projects receiving federal funding or located on state-owned property. SHPO does not otherwise have jurisdiction over locally funded projects.

Under the NHPA, properties of traditional religious and cultural importance to a Tribe are eligible for inclusion in the NRHP (54 U.S.C. 302706). Also, under the NHPA, a resource is considered significant if it meets the NRHP listing criteria at 36 CFR 60.4. Because the Project is not receiving federal funding and does not require a federal permit, it is not subject to SHPO review or to the provisions of the NHPA.

#### 3.1.2 National Register of Historic Places

The NRHP was established by the NHPA of 1966, as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s historic resources and to indicate what properties should be considered for protection from destruction or impairment” (36 CFR Section 60.2). The NRHP recognizes both historical-period and prehistoric archaeological properties that are significant at the national, state, and local levels.

To be eligible for listing in the NRHP, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Districts, sites, buildings, structures, and objects of potential significance must meet one or more of the following four established criteria:

- Are associated with events that have made a significant contribution to the broad patterns of our history;
- Are associated with the lives of persons significant in our past;
- Embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- Have yielded, or may be likely to yield, information important in prehistory or history.

Unless the property possesses exceptional significance, it must be at least 50 years old to be eligible for NRHP listing.

In addition to meeting the criteria of significance, a property must have integrity. Integrity is the ability of a property to convey its significance. The NRHP recognizes seven qualities that, in various combinations, define integrity: location, design, setting, materials, workmanship, feeling, and association. To retain historic integrity a property must possess several, and usually most, of these seven aspects. Thus, the retention of the specific aspects of integrity is paramount for a property to convey its significance.

## 3.2 State

### 3.2.1 CEQA

CEQA requires the lead agency to determine whether a project could have a significant effect on historical resources and equates a substantial adverse change in the significance of an historical resource with a significant effect on the environment (Section 21084.1). CEQA Guidelines Section 15064.5 outlines the process for determining the significance of impacts to archaeological and historical resources.

CEQA Guidelines Section 15064.5(a) defines “historical resources” as:

- A resource listed, or determined to be eligible by the State Historical Resources Commission for listing, in the California Register of Historical Resources (CRHR) (PRC Section 5024.1, Title 14 CCR Section 4850 et seq.).
- A resource included in a local register of historical resources, as defined in PRC Section 5020.1(k), or identified as significant in a historical resource survey meeting the requirements of PRC Section 5024.1(g), shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
- Any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be a historical resource provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a

resource shall be considered by the lead agency to be historically significant if the resource meets the criteria for listing in the CRHR (PRC Section 5024.1, Title 14, CCR Section 4852), including the following:

- Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage;
- Is associated with the lives of persons important in our past;
- Embodies the distinctive characteristics of a type, period region, or method of construction or represents the work of an important creative individual/ or possesses high artistic values; or
- Has yielded, or may be likely to yield, information important in prehistory or history.
- The fact that a resource is not listed or not determined eligible for listing in the CRHR or not included in a local register of historical resources (pursuant to PRC Section 5020.1[k]), or not identified in a historical resources survey (meeting the criteria in PRC Section 5024.1[g]) does not preclude a lead agency from determining that the resource may be a historical resource, as defined in PRC Sections 5020.1(j) and 5024.1.

CEQA Guidelines Section 15064.5(b) defines “substantial adverse change” as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.” Further, that the significance of an historical resource is “materially impaired” when a project:

- Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in the CRHR; or
- Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources... or its identification in an historical resources survey..., unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the CRHR as determined by a lead agency for purposes of CEQA.

CEQA also requires lead agencies to consider whether a project will impact “unique archaeological resources.” PRC Section 21083.2(g) defines a unique archaeological resource as “an archaeological artifact, object, or site about which it can be clearly demonstrated that, without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria:

- Contains information needed to answer important scientific research questions and that there is a demonstrable public interest in that information.
- Has a special and particular quality such as being the oldest of its type or the best available example of its type.

- Is directly associated with a scientifically recognized important prehistoric or historic event or person.”

The State CEQA Guidelines provide detailed direction on the requirements for avoiding or mitigating significant impacts to historical and archaeological resources. Section 15064.5(b)(4) states that a lead agency shall identify mitigation measures and ensure that the adopted measures are fully enforceable through permit conditions, agreements, or other measures. In addition, Section 15126.4(b)(3) states that public agencies should, whenever feasible, seek to avoid damaging effects on any historical resources of an archaeological nature. Preservation in place is the preferred manner of avoiding impacts to archaeological sites, although data recovery through excavation is acceptable if preservation is not feasible. If data recovery through excavation is the only feasible mitigation, a data recovery plan, which makes provisions for adequately recovering the scientifically consequential information from and about the historical resource.

### 3.2.2 Health and Safety Code, Section 7052 and 7050.5

Section 7052 of the Health and Safety Code states that the disturbance of Native American cemeteries is a felony. Section 7050.5 requires that construction or excavation be stopped in the vicinity of discovered human remains until the coroner can determine whether the remains are those of a Native American. If determined to be Native American, the coroner must contact the California Native American Heritage Commission (NAHC).

California Health and Safety Code Section 7050.5 requires that, in the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county in which the human remains are discovered has determined that the remains are not subject to the provisions of Section 27491 of the California Government Code or any other related provisions of law concerning investigation of the circumstances, manner, and cause of any death. If the coroner determines that the remains are not subject to his or her authority and if the coroner recognizes the human remains to be those of a Native American or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the California NAHC. The NAHC shall identify the most likely descendant (MLD) who shall be consulted regarding treatment or repatriation of the remains.

### 3.2.3 California Native American Historical, Cultural, and Sacred Sites Act

The California Native American Historical, Cultural, and Sacred Sites Act applies to both state and private lands. This law requires that if human remains are discovered, construction or excavation activity must cease, and the county coroner must be notified. If the remains are of a Native American, the coroner must notify the NAHC. The NAHC then notifies those persons most likely to be descended from the Native American whose remains were discovered (i.e., the MLD). The California Native American Historical, Cultural, and Sacred Sites Act stipulates the procedures the descendants may follow for treating or disposing of the remains and associated grave goods.

## 3.2.4 Public Resources Code, Section 5097

PRC Section 5097 specifies the procedures to follow in the event of the unexpected discovery of human remains on nonfederal land. The disposition of a Native American burial falls within the jurisdiction of the NAHC. PRC Section 5097.5 states the following:

*No person shall knowingly and willfully excavate upon, or remove, destroy, injure, or deface any historic or prehistoric ruins, burial grounds, archaeological or vertebrate paleontological site, including fossilized footprints, inscriptions made by human agency, or any other archaeological, paleontological or historical feature, situated on public lands, except with the express permission of the public agency having jurisdiction over such lands. Violation of this section is a misdemeanor.*

## 3.2.5 Assembly Bill 52

AB 52, signed by Governor Edmund G. Brown Jr. in September 2014, establishes a new class of resources under CEQA: “tribal cultural resources” (or TCRs). AB 52 (PRC Sections 21080.3.4, 21080.3.2, and 21082.3) states that upon written request by a California Native American Tribe, a CEQA lead agency must begin consultation once it determines that the project application is complete, before the agency issues a notice of preparation (NOP) of an Environmental Impact Report (EIR) or notice of intent to adopt a negative declaration or mitigated negative declaration. AB 52 also required a revision of State CEQA Guidelines Appendix G, the environmental checklist. This revision created a new category for TCRs. TCRs are discussed in the Eastside Transit Corridor Phase 2 Tribal Cultural Resources Impacts Report.

## 3.3 Local

### 3.3.1 County of Los Angeles Historic Preservation Ordinance

The County of Los Angeles Historic Preservation Ordinance (Los Angeles County Code, Title 22, Part 28, Chapter 22.52) became effective in October 2015 and generally applies to all private property in the unincorporated County area and to County-owned landmarks. The ordinance provides a process to nominate a landmark or historic district at the County level. The Board of Supervisors may designate any County-owned property as a landmark if it determines that the property satisfies applicable criteria, which are similar to the eligibility criteria for the state’s register of historic resources.

The County of Los Angeles Historic Preservation Ordinance has seven established basic purposes:

- Enhance and preserve the distinctive historic, architectural, and landscape characteristics which represent the County’s cultural, social, economic, political, and architectural history.
- Foster community pride in the beauty and noble accomplishments of the past as represented by the County’s historic resources.



- Stabilize and improve property values and enhance the aesthetic and visual character and environmental amenities of the County's historic resources.
- Recognize the County's historic resources as economic assets.
- Encourage and promote the adaptive reuse of the County's historic resources.
- Promote the County as a destination for tourists and as a desirable location for businesses.
- Specify significance criteria and procedures for the designation of landmarks and Historic Districts and provide for the ongoing preservation and maintenance of landmarks and Historic Districts.

#### Criteria for Designation of Landmarks and Historic Districts

- Property which is more than 50 years of age may be designated as a landmark if it satisfies one or more of the following seven criteria:
  - It is associated with events that have made a significant contribution to the broad patterns of the history of the nation, State, County, or community.
  - It is associated with the lives of persons who are significant in the history of the nation, State, County, or community.
  - It embodies the distinctive characteristics of a type, architectural style, period, or method of construction; or represents the work of an architect, designer, engineer, or builder whose work is of significance to the nation, State, County, or community; or possesses artistic values of significance to the nation, State, County, or community.
  - It has yielded, or may be likely to yield, information important locally in prehistory or history.
  - It is listed or has been formally determined eligible by the National Park Service for listing on the NRHP, or is listed or has been determined eligible by the State Historical Resources Commission for listing on the California Register of Historical Resources.
  - It is one of the largest or oldest trees of the species located in the County.
  - It is a tree, plant, landscape, or other natural land feature having historical significance due to an association with a historic event, person, site, street, or structure, or because it is a defining or significant outstanding feature of a neighborhood.
- Property less than 50 years of age may be designated as a landmark if it meets one or more of the criteria set forth in Subsection A, above, and exhibits exceptional importance.
- The interior space of a property, or other space held open to the general public, including but not limited to a lobby, may be designated as a landmark or included in the landmark designation of a property if the space qualifies for designation as a landmark under Subsection A or B, above.

- Historic Districts. A geographic area, including a noncontiguous grouping of related properties, may be designated as a historic district if all of the following requirements are met:
  - More than 50 percent of owners in the proposed district consent to the designation;
  - The proposed district satisfies one or more of the criteria set forth in Subsections A.1 through A.5, above; and
  - The proposed district exhibits either a concentration of historic, scenic, or sites containing common character-defining features, which contribute to each other and are unified aesthetically by plan, physical development, or architectural quality; or significant geographical patterns, associated with different eras of settlement and growth, particular transportation modes, or distinctive examples of parks or community planning.

### 3.3.2 City of Commerce

The city of Commerce has a historic preservation ordinance established to recognize and preserve the history of the city of Commerce and Southern California by providing for the identification and designation of historic places, buildings, works of art, neighborhoods, and other objects of historic or cultural interest (City of Commerce Municipal Code, Division 14 Historic Landmark/District Designation, 19.39.930-60). In acting to approve designation of a historic landmark or district, the city council shall make one or more of the following findings that:

- The resource exemplifies or reflects special elements of the city's or region's cultural, social, economic, political, aesthetic, engineering, or architectural history; or
- The resource is identified with persons or events of significant local, state, or national history; or
- The resource has characteristics of a style, type, method of construction or is an example of indigenous materials or craftsmanship; or
- The resource represents a notable aesthetic work of a builder, architect, or designer.

### 3.3.3 City of Whittier

The city of Whittier has a historic preservation element or ordinance (City of Whittier Municipal Code, Division IV, Article II, Designation of Historic Landmarks and Districts 18.84.050-060).

The city of Whittier designation criteria for historic landmarks stipulates a historic resource shall be designated a historic landmark if the council finds that it meets the criteria for listing on the NRHP or the California Register of Historical Resources; or meets one or more of the following criteria:

- It is particularly representative of a distinct historical period, type, style, region or way of life;
- It is connected with someone renowned, important, or a local personality;

- It is connected with a use that was once common, but is now rare;
- It represents the work of a master builder, engineer, designer, artist or architect whose individual genius influenced his age;
- It is the site of an important historic event or is associated with events that have made a meaningful contribution to the nation, state or city;
- It exemplifies a particular architectural style;
- It exemplifies the best remaining architectural type of a neighborhood;
- It embodies elements of outstanding attention to architectural or engineering design, detail, material or craftsmanship; or
- It has a unique location, singular characteristic or is an established and familiar visual feature of a neighborhood, community or the city.

To designate a local historic district, Section 18.84.060 of the Whittier Municipal Code states that:

A neighborhood consisting primarily of historic resources, or the thematic grouping of same, shall be designated a historic district if the council finds that it meets one or more of the following criteria:

- It meets the criteria for a historic landmark;
- It contributes to the architectural, historic or cultural significance of an area, being a geographically definable area possessing a concentration of historic resources or a thematically related grouping of structures which contribute to each other and are unified by plan, style or physical development; or
- It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particular transportation modes or distinctive examples of a park landscape, site design or community planning.

## 4.0 METHODOLOGY

This analysis is undertaken to determine if the Project may have a significant impact to cultural resources, specifically historical resources, archaeological resources, and human remains, thus requiring the consideration of mitigation measures or alternatives in accordance with Section 15063 of the State CEQA Guidelines. The analysis covers all program components that could result in a physical change to the environment.

### 4.1 Area of Potential Effects

As described in **Section 1.0**, the specialized study area for this cultural resource assessment is referred to as the APE. Following federal guidelines, an APE is defined in 36 CFR 800.16(d) as “the geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The APE is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking.”

For archaeological resources, the APE is typically the three-dimensional limits of proposed ground disturbance, including temporary ground disturbance, also known as the ADI. The ADI includes the ROW and any areas of direct ground disturbance during project construction, including staging areas.

For built environment/architectural resources, the APE includes all proposed ROW and acquisition and construction areas, and all parcels adjacent to permanent site improvements and facilities, including at-grade and grade-separated alignments; stations and power substations; parking facilities; and maintenance yards and buildings. For elevated alignments, the APE includes any additional parcels where the elevated structure may alter the character, use, or setting of a potential historical resource. Typically, the APE extends out from the alignment approximately 150 to 350 feet, or a depth of from one to three parcels, depending on parcel sizes, intervening landscape and buildings, and whether the historic land use is sensitive to the proposed change in setting.

The APE is documented on a series of maps provided in **Attachment A**.

### 4.2 Interested Parties Consultation

Metro sought information, as appropriate, from individuals and organizations likely to have knowledge of or concerns about historical resources in the APE to identify issues related to potential impacts on historical resources. Letters were sent to the parties listed in the following sections. Letters were sent describing the project area and United States Geological Survey (USGS) topographic maps of the Build Alternatives. The letters sent to interested parties and correspondence received may be found in **Attachment B**. No responses have been received to date.

## 4.2.1 Government Agencies

Stephen J. Sass, Chairman Historic Landmarks and Records Commission Los Angeles County 500 West Temple Street Los Angeles, CA 90012	Community Development Department Planning Division City of Pico Rivera 6615 Passons Boulevard Pico Rivera, CA 90660-1016
Director of Planning Los Angeles County Department of Regional Planning 320 West Temple Street, 13th Floor Los Angeles, CA 90012 zoningldcc@planning.lacounty.gov	Wayne Morrell, Principal Planner Planning and Development Department City of Santa Fe Springs 11710 Telegraph Road Santa Fe Springs, CA 90670
Community Planning Department City of Commerce 2535 Commerce Way Commerce, CA 90040	Planning Services City of Whittier 13230 Penn Street Whittier, CA 90602
Joseph Palombi, Deputy Director Planning Division, City of Montebello 1600 West Beverly Boulevard Montebello, CA 90640	

## 4.2.2 Historical Societies, Museums, and Libraries

Historical Society of Southern California P.O. Box 50019 Long Beach, CA 90815 hssc@thehssc.org	Pico Rivera Historical Museum 9122 East Washington Boulevard Pico Rivera, CA 90660
California State Railroad Museum 111 "I" Street Sacramento, CA 95814-2265	City of Santa Fe Springs Parks and Recreation 11740 Telegraph Road Santa Fe Springs, CA 90670
Director of Library Services Commerce Central Library 5655 Jillson Street Commerce, CA 90040	Heritage Park 12100 Mora Drive Santa Fe Springs, CA 90670
Chris Vargas, President Sanchez Adobe/Montebello Historical Society 946 North Adobe Avenue Montebello, CA 90640	Hathaway Ranch Museum 11901 Florence Avenue Santa Fe Springs, CA 90670 (562) 777-3444 hathawayranch@gmail.com
Whittier Historical Society 6755 Newlin Avenue Whittier, CA 90601	Santa Fe Springs City Library 11700 Telegraph Road Santa Fe Springs, CA 90670

## 4.2.3 Preservation Organizations

Los Angeles Conservancy 523 West 6th Street, Suite 826 Los Angeles, CA 90014 info@laconservancy.org	Sian Winship, President Society of Architectural Historians Southern California Chapter P.O. Box 56478 Sherman Oaks, CA 91413 sian@sahscc.org
Lewis MacAdams, President Friends of the Los Angeles River 570 West Avenue 26, #250 Los Angeles, CA 90065 contact@FoLAR.org	Southern Pacific Historical and Technology Society Attn.: John Signor 1523 Howard Access Road, Suite A Upland, CA 91786-2582
Cindy Heitzman, Executive Director California Preservation Foundation 101 The Embarcadero Suite 120 San Francisco, CA 94105 cheitzman@californiapreservationfoundation.org	Pacific Railroad Society 210 West Bonita Avenue San Dimas, CA 91773 info@PacificRailroadSociety.org

## 4.3 Identification of Potential Historic Properties

### 4.3.1 Records Search

Archaeologists, historians, and architectural historians who meet the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61) and are familiar with project area resources and research considerations conducted the cultural resources study.

#### 4.3.1.1 South Central Coastal Information Center Records Search

A records search for the project was conducted at the South Central Coastal Information Center (SCCIC) of the California Historical Resources Information System (CHRIS), California State University, Fullerton in 2010. An update was conducted on October 22 and November 4, 2019. The SCCIC, an affiliate of the California Office of Historic Preservation, is the official state repository of cultural resources records and studies for Los Angeles County. The search included a review of all recorded prehistoric archaeological sites within a 1-mile radius of the APE and a review of all recorded historic archaeological and architectural sites and cultural resource reports on file within a 0.5-mile

radius of the APE. In addition, the California Points of Historical Interest (PHI), the California Historical Landmarks (CHL), the CRHR, the NRHP, the California State Historic Resources Inventory (HRI), and local registers were reviewed. Historical USGS quadrangle maps were also reviewed. Results of the SCCIC records search are provided in **Attachment C** (confidential).

The records search identified 134 previous cultural resources studies within a 0.5-mile radius of the APE. Of the 134 studies, 32 previous cultural resources studies intersect the APE (Confidential **Attachment C** (confidential) has the full list of records search results).

The records search identified 258 previously recorded built environment resources within the APE. Of the 258 resources, 246 were found ineligible for listing, and one was unevaluated. One resource, the Golden Gate Theater (P-19-176524), is listed in the NRHP. Ten other resources were identified as eligible for listing in the NRHP. **Table 4-1** lists the 11 previously recorded resources listed in or eligible for listing in the NRHP and/or CRHR in the APE.

**Table 4-1. Previously Recorded Significant Built Environment Resources in the APE**

Primary No.	Address	Date	Description	OHP Status Code
19-176524	5170 East Whittier Boulevard	1927	Golden Gate Theater/Vega Building	1S; 3S
19-190999	2187 Garfield Avenue	1955	Pacific Metals Company/Rolled Steel Products	3S
19-191000	2353 Garfield Avenue	1952	Goodyear Tire and Rubber Company Warehouse	3S
19-191003	900 South Greenwood Avenue	1947	Greenwood Elementary School	3S
19-191004	860 Washington Boulevard	1937	Spanish Colonial Revival-style single-family residence	3S
19-191005	864 Washington Boulevard	1940	South Montebello Irrigation District	3S
19-191098	6751 Lindsey Avenue	1954	Ranch-style single-family residence	3S
19-191099	9023 Washington Boulevard	1951	Dal Rae Restaurant	3S
19-191100	12000 Washington Boulevard	1951	Rheem Manufacturing Company	3S
19-191102	11605 Washington Boulevard	1965	Steak Corral restaurant	3S
19-191105	9122 E. Washington Boulevard	1886	Atchison, Topeka & Santa Fe Railway Depot	3S

Key::

1S = Listed in the NRHP; 3S = Eligible for listing in the NRHP.



The records search also identified five previously recorded archaeological resources (**Table 4-2**). Three historic-period archaeological sites and two multicomponent sites were identified within a 0.5-mile radius of the ADI.

One additional historical resource and potential archaeological resource, the Site of the Battle of Rio San Gabriel (CHL #385) is marked north of the ADI on Bluff Road near the intersection with Washington Boulevard. The battle, which occurred between Americans and Californios during the Mexican-American War on January 8, 1847, stretched along Rio Hondo in the vicinity of the CHL marker (see **Section 6.2.8**).

**Table 4-2. Previously Recorded Archaeological Resources within a 0.5-mile Radius of the ADI**

Primary No.	Trinomial	Description	Author and Year	Location
19-000858	CA-LAN-858	Sparse historic refuse scatter	Jones et al., 1976	Outside of the ADI
19-001009	CA-LAN-1009	Multicomponent habitation site	Sayles, 1955; Denmark, 1979	Outside of the ADI
19-001311	CA-LAN-1311	Prehistoric lithic scatter and historic refuse scatter	Brock et al., 1986	Outside of the ADI
19-003813	CA-LAN-3813	Montebello Oil Field, including historic refuse scatters	Fulton et al., 2008	Outside of the ADI
19-003814	CA-LAN-3814	Sparse historic refuse scatter	Long et al., 2008	Outside of the ADI

Key:  
 ADI = Area of Direct Impact.

### 4.3.1.2 California Department of Transportation Historic Highway Bridge Inventory

The California Department of Transportation (Caltrans) Historic Highway Bridge Inventory (for both local and state agency bridges) was reviewed to identify historic bridges in the APE. The Caltrans statewide historic bridge inventory was updated in 2015 and evaluated bridges built between 1965 and 1974. Bridges listed within the Caltrans Highway Bridge Inventory receive a NRHP status designation and are placed in one of the five numeric categories as follows:

- Category 1 - Listed in the NRHP.
- Category 2 - Eligible for NRHP listing.
- Category 3 - May be eligible for NRHP listing.

- Category 4 - Unevaluated. Generally, Category 4 bridges constructed before 1965 are associated with properties that have not yet been evaluated, such as railroads, canals, or potentially eligible historic roads.)
- Category 5 - Ineligible for NRHP listing.

Five historic-period bridges that are in the APE, including the Washington Boulevard bridges over the Rio Hondo and San Gabriel River that would be replaced under the Project, received an NRHP status designation of Category (5), ineligible for NRHP listing.

## 4.3.2 Field Survey

Cultural resources surveys were undertaken to identify cultural resources in the APE from December 16 through 19, 2019. The broad pool of cultural resources identified may be categorized as two major types:

- Historic and architectural resources, which include the man-made features that make up the recognizable built environment. This category typically includes extant aboveground buildings and structures that date from the earliest territorial settlements until the present day.
- Archaeological resources, which include resources that represent important evidence of past human behavior, including portable artifacts such as arrowheads and tin cans; non-portable “features” such as cooking hearths, foundations, and privies; and residues such as food remains and charcoal. Archaeological remains can be virtually any age, from recent historic-period materials to prehistoric deposits that are thousands of years old.

### 4.3.2.1 Historic and Architectural Resources

An intensive survey was conducted by qualified architectural historians from December 16 through 18, 2019, to identify potential historical resources in the APE. Prior to the survey, limited historical research was conducted to identify resources that were at least 45 years old. Previous survey of the built environment had been conducted in 2010, and the results of earlier survey were incorporated into the current study. Only portions of the APE that were accessible and/or visible from the public ROW were surveyed. Each building or structure in the APE that was or appeared to be 45 years or older was observed and photographed. During the survey, the boundaries of the APE were confirmed, and an assessment was made of buildings and structures within the APE to determine if their age and integrity warranted further evaluation.

The survey identified 384 historic and architectural resources that were more than 45 years old in the APE. Of the 384 resources, 258 were previously recorded and revisited, and 126 were newly identified, recorded, and evaluated for eligibility for listing in the NRHP and CRHR. Of the newly recorded 126 resources, 38 were found eligible for listing in the NRHP and CRHR as contributors to a potential historic district (Vail Field Industrial Addition) identified during the survey. The remaining 88 resources were found ineligible for listing in the NRHP and CRHR through survey evaluation. Detailed identification and evaluation information for all 384 historical and architectural resources in the APE is provided on California Department of Parks and Recreation (DPR) 523 forms in **Attachment D**.

### 4.3.2.2 Archaeological Resources

A pedestrian survey of the accessible portions of the ADI was conducted on December 18 and 19, 2019, to identify archaeological resources. The only portions of the ADI that were accessible were in the public ROW.

Approximately 95 percent of the ADI is paved. These areas were inspected, but not transected. Unpaved areas with exposed soils were surveyed using 10-meter intervals. Of the remaining 5 percent of the ADI with exposed soils, only about 10 percent of the ground surface was visible due to thick vegetation cover. All vegetation consisted of non-native seasonal grasses or non-native landscaping.

Three historic-period cultural resources were identified during the pedestrian survey that do not appear eligible for inclusion in the NRHP or CRHR. They include one culvert (PD-1) and two sets of railroad tracks (PD-2 and PD-3):

- PD-1 is a historic-period culvert located under bridge 53Co471 on Washington Boulevard in the Washington Alternative. The feature serves as a water containment system with a gate that can be opened or closed to allow water to flow from the northeast to the southwest at the Rio Hondo Percolation Basin. The culvert contains modern alterations and additions to its original form. PD-1 no longer retains historic integrity and does not have the potential to yield important scientific or historical information or data.
- PD-2 consists of two parallel railroad tracks approximately 80 feet long set perpendicular across Saybrook Avenue in the Washington Alternative. The ROW for these features is still present, however, the tracks have been removed except where they are embedded within Saybrook Avenue. The ROW was not surveyed beyond the ADI. PD-2 no longer retains historic integrity and does not have the potential to yield important scientific or historical information or data.
- PD-3 consists of a second set of two parallel railroad tracks approximately 80 feet long set perpendicular across Saybrook Avenue in the Washington Alternative. The ROW for these features is still present, however, the tracks have been removed except where they are embedded within Saybrook Avenue. The ROW was not surveyed beyond the ADI. PD-3 no longer retains historic integrity and does not have the potential to yield important scientific or historical information or data.

No potential historical resources or unique archaeological resources were identified as a result of the archaeological pedestrian survey. Newly recorded resources PD-1, PD-2, and PD-3 are in the ADI but do not appear eligible for listing on the NRHP or CRHR. These resources are not addressed further.

## 5.0 THRESHOLDS OF SIGNIFICANCE

In accordance with Appendix G of the State CEQA Guidelines, a Build Alternative would have a significant impact related to Cultural Resources if it would:

**Impact CUL-1: Cause a substantial adverse change in the significance of a historical resource pursuant to 15064.5.**

**Impact CUL-2: Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5.**

**Impact CUL-3: Disturb any human remains, including those interred outside of formal cemeteries.**

## 6.0 EXISTING SETTING

The GSA is in a relatively flat area of the Los Angeles Basin. The basin is formed by the Santa Monica Mountains to the northwest, the San Gabriel Mountains to the north, and the San Bernardino and San Jacinto Mountains to the east. The basin was formed by alluvial and fluvial deposits derived from these surrounding mountains. Prior to urban development and the channelization of the San Gabriel River, portions of the GSA were covered with marshes, thickets, riparian woodland, and grassland. Prehistorically, the floodplain forest of the Los Angeles Basin formed one of the most biologically rich habitats in Southern California. Willow, cottonwood, and sycamore, and dense underbrush of alder, hackberry, and shrubs once lined the San Gabriel River. Both historically and prehistorically, the San Gabriel Riverbed has changed often. These changes over time created a rich alluvial deposit that supported a variety of wild plants, and later, cultigens.

Geologically, the GSA is underlain by formations dating from the Pliocene (5.3 million to 2.6 million years before present [BP]) to the Holocene (11,700 years BP to today). In the lower-lying portions of the GSA, there are surficial deposits of younger Quaternary alluvium, derived as alluvial fan deposits from the San Gabriel Mountains to the north via Rio Hondo and the San Gabriel River. These younger Quaternary deposits are underlain by older Quaternary alluvium at varying depths (Dibblee and Ehrenspeck 1999, 2001; McLeod 2019).

In the western portion of the proposed GSA, there are surficial deposits of older Quaternary alluvium, derived as alluvial fan deposits from the Montebello Hills (McLeod 2019).

### 6.1 Context

#### 6.1.1 Geoarchaeology

The GSA has the potential to contain buried archaeological resources based on the age of the landforms and its proximity to two watercourses that historically have deposited sediment in the GSA: Rio Hondo and the San Gabriel River. In general, most Pleistocene-age or older landforms have little potential for harboring buried archaeological resources, because they developed prior to human migration into North America (circa 13,000 years BP). However, older surfaces buried below younger Holocene deposits do have a potential for containing archaeological deposits. As suggested above, Holocene alluvial deposits may contain paleosols that represent periods of landform stability prior to renewed deposition. Buried soils in Holocene-age landforms or beneath Holocene deposits are of particular interest because they represent formerly stable surfaces that have a potential for preserving archaeological deposits.

It has been demonstrated through numerous studies that archaeological sites are not distributed randomly across the landscape; but instead, are positively correlated with specific environmental factors such as distance to water, slope, and distance to confluence (Byrd et al. 2016). In California, prehistoric archaeological sites are often near sources of fresh water in gently sloping areas where two or more environmental zones are present (Foster and Sandelin 2003, as cited in Rosenthal and Meyer 2009). Sites are also often near the contact between the floodplain and more elevated geomorphic surfaces (Hansen et al. 2004, as cited in Rosenthal and Meyer 2009).

## 6.1.2 Prehistoric Context

Following the seminal work of William Wallace (1955) and Claude Warren (1968), the prehistory of the Southern California coastal region is typically divided into Early, Middle, and Late Periods, with an initial Paleo-Indian period dating to the late Pleistocene and early Holocene.

### 6.1.2.1 Paleo-Indian Period

In the Southern California coastal region, the earliest evidence of human occupation comes from a handful of sites with early tools and some human remains that have been dated from 7,000 years ago to greater than 10,000 years old. These include the nearby Baldwin Hills and Los Angeles Mesa sites where construction activities in the 1920s and 1930s uncovered human remains in deep alluvial deposits. The human remains were tentatively dated to 10,000 to more than 20,000 years old (Moratto 1984:53). Recent research into the Los Angeles Mesa materials suggests that the early dates should be considered tentative, and that some studies suggest a date of no more than 5,000 years old for some of the individuals (Brooks et al. 1990).

### 6.1.2.2 Early Period (5,000 to 3,000 BCE)

Although people are known to have inhabited what is now Southern California beginning at least 13,000 years BP (Arnold et al. 2004), the first solid evidence of human occupation in the Los Angeles basin dates to roughly 7000 Before the Common Era (BCE), and is associated with a period known as the Early Period or the Millingstone Horizon (Wallace 1955; Warren 1968). Millingstone populations established permanent settlements that were located primarily on the coast and in the vicinity of estuaries, lagoons, lakes, streams, and marshes where a variety of resources, including seeds, fish, shellfish, small mammals, and birds, were exploited. Early Period occupations are typically identified by the presence of handstones (manos) and millingstones (metates). Sites from this time period typically contain shell middens; large numbers of milling implements; crude core and cobble tools; flaked stone tools; distinctive coggled stone implements; and infrequent side-notched dart points (Fenenga 1953). The focus at inland sites appears to be in plant food processing and hunting. Along the coast, populations invested in maritime food gathering strategies, including close-shore and deep-sea fishing, as well as shellfish collection (Grenda 1997).

### 6.1.2.3 Middle Period (3000 BCE to 1000 CE)

Although many aspects of Millingstone culture persisted, by 3000 BCE, a number of socioeconomic changes occurred, as understood through changes in material culture (Erlandson 1994; Wallace 1955; Warren 1968). These changes are associated with the period known as the Middle Period or Intermediate Horizon (Wallace 1955). The mortar and pestle were introduced during this period, suggesting an increased reliance on hard plant foods such as acorns (Altschul and Grenda 2002). Increasing population size coincides with intensified exploitation of terrestrial and marine resources (Erlandson 1994). This was accomplished, in part, through use of new technological innovations such as the circular shell fishhook on the coast, and, in inland areas, use of the mortar and pestle to process an important new vegetal food staple, acorns, and the dart and atlatl, resulting in a more diverse hunting capability (Warren 1968). A shift in settlement patterns from smaller to larger and more centralized habitations is understood by many researchers as an indicator of increasingly territorial and sedentary populations (Erlandson 1994). During the Middle Period, specialization in

labor emerged, trading networks became an increasingly important means by which both utilitarian and non-utilitarian materials were acquired, and travel routes were extended.

#### 6.1.2.4 Late Period (1000 to 1782 CE)

The Late Prehistoric period, spanning from approximately 1000 Common Era (CE) to the Spanish Mission era, is the period associated with the florescence of contemporary Native American groups. The Late Period is notable for a dramatic increase in the number of habitation and food processing sites. These sites include more bone tools, numerous types of Olivella shell beads, circular fishhooks, and occasional pottery vessels (Miller 1991). Between 1000 and 1250 CE, small arrow-sized projectile points, of the Desert side-notched and Cottonwood triangular series, were adopted along what is now the Southern California coast (Altschul and Grenda 2002). Following European contact, glass trade beads and metal items also appeared in the archaeological record. Burial practices shifted to cremation in what is now the Los Angeles Basin and northern Orange County. However, at many coastal and most Channel Island sites, interment remained the common practice (Moratto 1984).

Some researchers argue that the changes seen at the beginning of this period reflect the movement of Shoshonean speakers from the eastern deserts into the area that is now the Southern California coast. Some researchers, though, suggest that the movement of desert-adapted Shoshonean speakers occurred as much as 2,000 years earlier (Bean and Smith 1978; Sutton 2009).

At the time of European contact, the GSA was occupied by Shoshonean-speaking Gabrieleño people who controlled what is now the Los Angeles Basin and Orange County down to Aliso Creek (Kroeber 1925). The northern San Fernando Valley was the northernmost extent of the territory occupied by people who the Spanish referred to as the Fernadeño, whose name was derived from nearby Mission San Fernando. The Fernadeño spoke one of four regional Uto-Aztecan dialects of Gabrieliño, a Cupan language in the Takic family, and were culturally identical to the Gabrielino. The Tataviam and Chumash, of the Hokan Chumashan language family, lived to the north and west of this territory, respectively, and it is likely that the territorial boundaries between these linguistically distinct groups fluctuated in prehistoric times (Bean and Smith 1978; Shipley 1978).

Occupying what is now the southern Channel Islands and adjacent mainland areas of Los Angeles and Orange Counties, the Gabrieliño are reported to have been second only to their Chumash neighbors in terms of population size, regional influence, and degree of sedentism (Bean and Smith 1978). The Gabrieliño are estimated to have numbered around 5,000 in the pre-contact period (Kroeber 1925). Maps produced by early explorers indicate the existence of at least 40 Gabrielino villages, but as many as 100 may have existed prior to contact with Europeans (Bean and Smith 1978; McCawley 1996; Reid 1939[1852]).

Prehistoric subsistence consisted of hunting, fishing, and gathering. Small terrestrial game was hunted with deadfalls, rabbit drives, and by burning undergrowth, and larger game such as deer were hunted using bows and arrows. Fish were taken by hook and line, nets, traps, spears, and poison (Bean and Smith 1978; Reid 1939[1852]). The primary plant resources were the acorn, gathered in the fall and processed with mortars and pestles, and various seeds that were harvested in late spring and summer and ground with manos and metates. The seeds included chia and other sages, various grasses, and islay or holly leafed-cherry (Reid 1939[1852]).

## 6.1.3 Historic Context

The historic context for historical resources in the APE relates several different historical themes, including early regional history, from Spanish colonization and Mexican settlement to California statehood and the early development as part of Rancho La Laguna; agricultural land uses; industrial development, focusing on the importance of regional manufacturing at the beginning of the twentieth century; residential development; commercial development; and community histories, which highlights the individual development of municipalities and neighborhoods in the APE, including East Los Angeles, Montebello, Commerce, Pico Rivera, Santa Fe Springs, and Whittier.

### 6.1.3.1 Early Regional History

European occupation of the GSA began with the Spanish arrival in California in 1769. The Spanish governor of California, Gaspar de Portola, launched an expedition from San Diego in a search for suitable sites for missions. Two years later, Franciscan missionaries founded Mission San Gabriel Archangel. Felipe de Neve established the pueblo of Los Angeles north of Mission San Gabriel in the late 18th century. The site had been recommended by a mission father, Juan Crespi, who had accompanied the pioneer expedition of Gaspar de Portola.

Mission San Gabriel was founded in 1771 adjacent to a Gabrieliño village in the vicinity of East Lincoln Avenue and San Gabriel Boulevard near the present-day city of Montebello, a place later known as Mission Viejo. The mission was relocated to its present location about 1774. By the early 1800s, the majority of the surviving Gabrieliño population had entered the mission system. Mission life promised the Native Americans security in a time when their traditional trade and political alliances were failing, and epidemics and subsistence instabilities were increasing (Jackson 1999).

On September 4, 1781, the original settlers of the pueblo arrived at the chosen site along the Los Angeles River near present-day Olvera Street (Weaver 1973). A year after the founding of the pueblo, Governor of the Californias Pedro Fages granted tracts of land to veterans of his military command, initiating the Rancho Period of California history. Manuel Nieto originally received a grant of 300,000 acres; however, his parcel was eventually cut in half so that his ownership would not conflict with the property of Mission San Gabriel. The rancho extended from the San Gabriel River on the west to the Santa Ana River on the east. The road from San Gabriel to San Diego formed the northern boundary, roughly along the alignment of present-day Whittier Boulevard; the ocean was the boundary on the south. Originally, the grant was called la Zanja; it was later renamed Rancho Los Nietos (Robinson 1948).

Mexico won its independence from Spain in 1821, a change that had a profound effect on the lives of Los Angeles residents. California was then a remote northern province of the nation of Mexico; no longer subjects of the Spanish king but, rather, citizens of the pueblo, the residents played an important part in the life and governance of the city.

Secularization of the California missions by the Mexican Congress in 1833 made many acres of land available. During this period, more than 800 land grants were given to *soldados del cuero*, the faithful leather-jacketed soldiers of the presidios, government officials, and ranchers. Huge cattle ranchos were the dominant institution of this era. At this time, American traders and settlers began to arrive in increasing numbers. Governor Pio Pico made a prophetic statement: “We find ourselves threatened by



hordes of Yankee immigrants who have already begun to flock into our country and whose progress we cannot arrest” (Monroy 1990).

The relative harmony between the distant northern province of Alta California and the mother country came to an end with the Mexican-American War in 1846, provoked by the Lone Star Rebellion in Texas. The DSA contains an important Mexican-American War battle site the Rio San Gabriel Battlefield. This conflict occurred on January 8, 1847, near the site of the present-day intersection of Washington Boulevard and Bluff Road in Montebello, when United States forces encountered Mexican troops while crossing the San Gabriel River from the east. Advance scouting had forewarned the Americans of Mexican troop positions along the river. Nevertheless, the area’s topography made the crossing particularly perilous for the Americans. Mexican forces held positions on the west side of the river along a series of high bluffs that gave them a strategic edge. The river bottom, moreover, consisted of quicksand, making the Americans’ progress across the river extremely slow. Despite these advantages, Mexican forces were unable to effectively deploy their weaponry. After a battle of approximately 90 minutes, the Mexican troops withdrew, allowing the Americans to advance upon Los Angeles where the Mexicans surrendered. Historians consider this battle a decisive point in the war (Bauer 1974).

After the signing of the Treaty of Guadalupe-Hidalgo at the end of the Mexican-American War in 1848, all Mexican land in California transferred to the United States, and all Mexican land claims were subject to United States land ownership laws. Gold was discovered that same year in the Sierra Nevada, along the American River, by James W. Marshall, triggering a gold rush (Robinson 1948). In 1850, California officially became a state and was subsequently divided into 27 counties. The official boundaries of Los Angeles County included the land grant ranchos, the pueblo, and 4,340 square miles of unincorporated land, extending from Santa Barbara to San Diego (Los Angeles County n.d.).

As Mexican rule transitioned to American rule, prominent Californio landholders faced threats to their land ownership, and many were forced to defend their titles. Don Abel Stearns, the largest landowner and cattle rancher in Southern California, and his wife, Arcadia Bandini, had long hosted political and social leaders at both their Main Street adobe, El Palacio de Don Abel, and their rancho, La Laguna, located east of the pueblo (Clary 1966). Although Don Abel Stearns lost most of his fortune when a drought decimated the cattle industry in the 1860s, his wife was able to preserve her separate property, Rancho La Laguna, in accordance with Mexican law (Clary 1966). In 1900, after her second husband died, Arcadia Bandini Stearns de Baker, requiring an income to live on, reluctantly sold a small tract of La Laguna land to rancher and cattleman Walter L. Vail. Vail used the property as an airfield until after World War II, when the site was developed as an industrial district, which is located in the DSA (Clary 1966). Upon Arcadia Bandini’s death in 1912, a legal battle over her estate delayed the development of Rancho La Laguna, which had been long coveted by real estate and industrial interests that were intent upon the eastward expansion of Los Angeles (*Los Angeles Times* 1921a). It was not until 1921 that an important swath of land roughly bounded by Whittier Boulevard, Atlantic Boulevard, and Garfield Boulevard (formerly Belvedere Gardens, today unincorporated East Los Angeles within the DSA) became available for development ending the rancho era in East Los Angeles (**Figure 6.1**) (Clary 1966; University of Southern California [USC] 1930).

### 6.1.3.2 Agricultural Land Uses

During the first four decades of the 20th century, the land in the DSA supported extensive agricultural uses alongside its nascent industrial development. Topographically, the East Side region is dominated by its rivers, with the Los Angeles River forming its western boundary. The Rio Hondo and the San Gabriel River run virtually parallel and traverse the region; both rivers originate in the San Gabriel Mountains and flow south to the Pacific. Given the semi-arid nature of the climate, this abundance of waterways made the region a natural location for crop cultivation of all kinds. In the city of Whittier, for example, barley, beans, cabbage, corn, oats, peanuts, tomatoes, and citrus were common food crops. In the city of Commerce, vegetables, fruit, dairy cattle farming were prevalent. In the city of Pico Rivera, farms of citrus, avocado and walnut trees were sited between the Rio Hondo and San Gabriel River (City of Pico Rivera 2021). In the city of Santa Fe Springs, alfalfa, hay, oat, and citrus farms were predominant. Rosemead, on the other hand, supported both chicken and rabbit ranches as well as the cultivation of the grain and feed products. Montebello farmers gained fame for their flowers in addition to the production of nuts and berries. As early as 1913, the town hosted an annual flower show to showcase its blooms. Farms ranged from simple one-farmer truck operations to larger, more sophisticated enterprises. Residential and ancillary uses, such as schools, were also present in the area during the years that pre-dated World War II and the post-war explosion of area industry and tract housing. Two properties in the DSA are tied to this context: the 1940 South Montebello Irrigation District building and the 1938 Kelly residence (City of Whittier n.d.; City of Rosemead n.d.; *Los Angeles Times* 1903 and 1913).



Figure 6.1. Map excerpt from Automobile Club of Southern California Map from 1930 Depicting Belvedere Gardens (USC 1930)

### 6.1.3.3 Industrial Development

Industrial development within the DSA was heavily influenced by the railroads, the discovery of oil, and the rise of the industrial park at the turn of the 20th century. Industrial development in Los Angeles began in the late 19th century when the flat lands adjacent to the Los Angeles River near downtown became the initial location of a vast East Los Angeles industrial district that would eventually extend southward through Vernon and then continue eastward through what would become Commerce. Making this industrial development possible was the extensive network of Union Pacific, Southern Pacific, and AT&SF main lines and spur tracks that served the region, allowing for convenient delivery of raw materials and transportation of finished goods.

In 1908, city officials enacted a major zoning ordinance, creating seven industrial districts along the railroad lines as well as east and south of the Los Angeles River (Nicolaides 1999). In 1917, oil was

discovered in Montebello Hills and rapidly transformed the agricultural economy into an industrial one. Motivated by those factors, as well as the availability of enormous tracts of unimproved land adjacent to the Los Angeles River, a group of Chicago-based investors announced the formation of the Union Stock Yards of Los Angeles and an adjacent Central Manufacturing District in 1922 (*Los Angeles Times* 1960). That same year, the Janss Investment Company sold 200 acres adjacent to its Belvedere Gardens subdivision to the UPRR, intending to create “an industrial city” that would significantly bolster the population of Los Angeles (*Los Angeles Times* 1922). Development of the Union Pacific Industrial District contributed to a pattern of “industrial decentralization in Los Angeles” that planning historian Greg Hise sees as the “roots of the post–World War II urban region.” After the war, “industrial expansion spurred regional employment,” combined with a pattern of homebuilding that came to define Los Angeles as the home of suburban sprawl (Hise 1993).

The original Central Manufacturing District, located in Chicago, was pivotal in American industry. In 1896, financier Frederick H. Prince developed a new concept for planned industrial districts consisting of a cluster of manufacturing and commercial buildings for a variety of businesses centered around critical transportation infrastructure, which would revolutionize industry. Prince acquired the Chicago Junction Railway, the Chicago Union Stockyards, and the adjacent land holdings. To capitalize on the potential to generate traffic on the railroad, Prince developed the Central Manufacturing District, the first modern industrial park in the United States, on 285 acres near the Union Stockyards beginning in 1902. The district included a freight station, which helped to lower the collective shipping costs for businesses within the district, and connections to the main railroad lines. The district had a power and steam plant that powered the buildings and factory equipment. The streets in the district were privately owned, so that Prince’s company had total control over operations. Prince set high architectural standards for the district and planted gardens and trees along the parkways (Ibata 1985). Due to the success of the first Central Manufacturing District, Prince opened a second district on an adjacent tract in Chicago in 1915. The second district had buildings that faced a railyard at the rear with austere, common industrial designs. However, the building fronts faced a residential neighborhood, so Prince ensured that the façades of the buildings complimented the character of the neighborhood by employing Gothic Revival-style architectural features. Soon after, competitors began to adopt the industrial park model developed by Central Manufacturing District, Inc. (Ibata 1985).

Central Manufacturing District, Inc. expanded to Los Angeles in 1922-1923. The new industrial park was developed on a 300-acre tract of the old Rancho San Antonio, one of the original Spanish land grants, along the Los Angeles River. Like the second Chicago district, Central Manufacturing District of Los Angeles was centered on a railyard with multiple spurs leading to factories, warehouses, and packing houses built on a grid of streets. The district was adjacent to the Los Angeles Union Stockyards and the Los Angeles Junction Railway, which the company built, and the main lines of the Union Pacific Railroad and the Santa Fe Railroad. The company claimed to offer “service coupled with efficiency, scientific co-operation on a large scale—and strategic location... a location for its plants where all railroads meet...” (Chicago Commerce 1923). Prince’s influence on the aesthetic of the district was evident, as well. At the center of the Central Manufacturing District was a monumental Spanish Colonial Revival-style Freight Terminal and Manufacturers’ Building on Loma Vista Avenue in the city of Vernon (this building was not in the Project’s APE, ADI, or the DSA and has since been demolished). Other plants and warehouses displayed popular architectural styles of the period.

In 1928, the Santa Fe Railroad purchased the Central Manufacturing District for further development and added new areas in 1930, 1932, and between 1947 and 1952 to provide for new and expanding industries and services. Companies located in the district include food, automobile, furniture, household items, machinery, paints, paper, plastics, steel, trucks, wood, cosmetics, processing, and service companies of all types. Over the years the district has grown, and today, the district spans

approximately 5,000 acres and is partially located within the cities of Commerce, Bell, and Vernon, eastward from Soto Street to Garfield Avenue; the southern edge is bordered partly by Fruitland Avenue and Randolph Street; on the northern edge are Washington Boulevard and the Santa Ana Freeway route, partially extending north beyond the freeway line (**Figure 6.2**) (Los Angeles Public Library 2020). Architecturally, the early twentieth century industrial tracts of East Los Angeles contained a wide variety of industrial building types, including warehouses, manufacturing facilities, and combination office/factories with designs ranging from the utilitarian (concrete, brick, or corrugated metal) to the popular architectural styles of the day (Spanish Colonial Revival, Streamline Moderne, Moderne, vernacular Modern, and Modern).

While the Central Manufacturing District of Los Angeles continued to grow, industrial parks multiplied. The model for industrial parks established by the Central Manufacturing District, Inc. was followed across America, until railroad shipping declined in favor of automotive trucking in the post-World War II era (Preservation Chicago 2020). By the late 1940s, advances in mechanical refrigeration technology for trucks made it easier and more versatile for overland freight to use trucks rather than rail transport. Furthermore, the implementation of the Interstate Highway Act of 1956, spurred a trucking industry boom. The Interstate system changed the connectivity of highways in the US and the way in which they were financed (United States Department of Transportation [USDOT] 2006). The Interstate system expanded more than 40,000 miles highways and significantly expanded the reach of the trucking industry (USDOT 2006). By the late 1950s, industrial complexes were already phasing out direct warehouse-to-railcar loading as a design plan aspect; and planned industrial districts of the 1960s and 1970s prioritized truck access, grander scale, uniformity, and proximity to highways.

Vail Field Industrial Addition was a planned industrial development, in addition to the regional Central Manufacturing District of Los Angeles, that roughly spanned from the city of Vernon in the west to the city of Commerce in the east (see **Figure 6.2**). (Note that the city of Vernon is outside of the Project APE, ADI, and the DSA.) The Vail Field Industrial Addition is located in the easternmost portion of the Central Manufacturing District and was primarily developed between 1951 and 1960, with some later infill construction and redevelopments from 1960 to 2015. As part of the larger, regional Central Manufacturing District, the setting of the Vail Field Industrial Addition is suburban industrial. Many of the buildings within the Vail Field Industrial Addition were designed with the intent to create a “industrial garden setting” with the incorporation of landscaped lawns, trees, shrubs, planters, and tropical plants (*Los Angeles Times* 1953b). The majority of the buildings within this area are Modern-style concrete tilt-up construction with stone veneer accents and steel roof construction. The facilities are characterized by the dual access to the former internal railway network behind the buildings and streets at the front. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes.

The city of Montebello also experienced a surge of industrial development. The Montebello Park development (which intersects the DSA and the Project APE but does not include any historical resources within the Project APE) is representative of the community’s post-World War II surge of industrial development. The Montebello Park development is an example of one of the largest and most intricately designed and planned industrial community efforts from the period (Hise 1993; and Hise 1997). Originally envisioned in 1925 and promoted by the J. B. Ransom Company, construction stalled because of economic instability during the Great Depression; the subdivision was not fully built out until after 1950 (*Los Angeles Times* 1925).

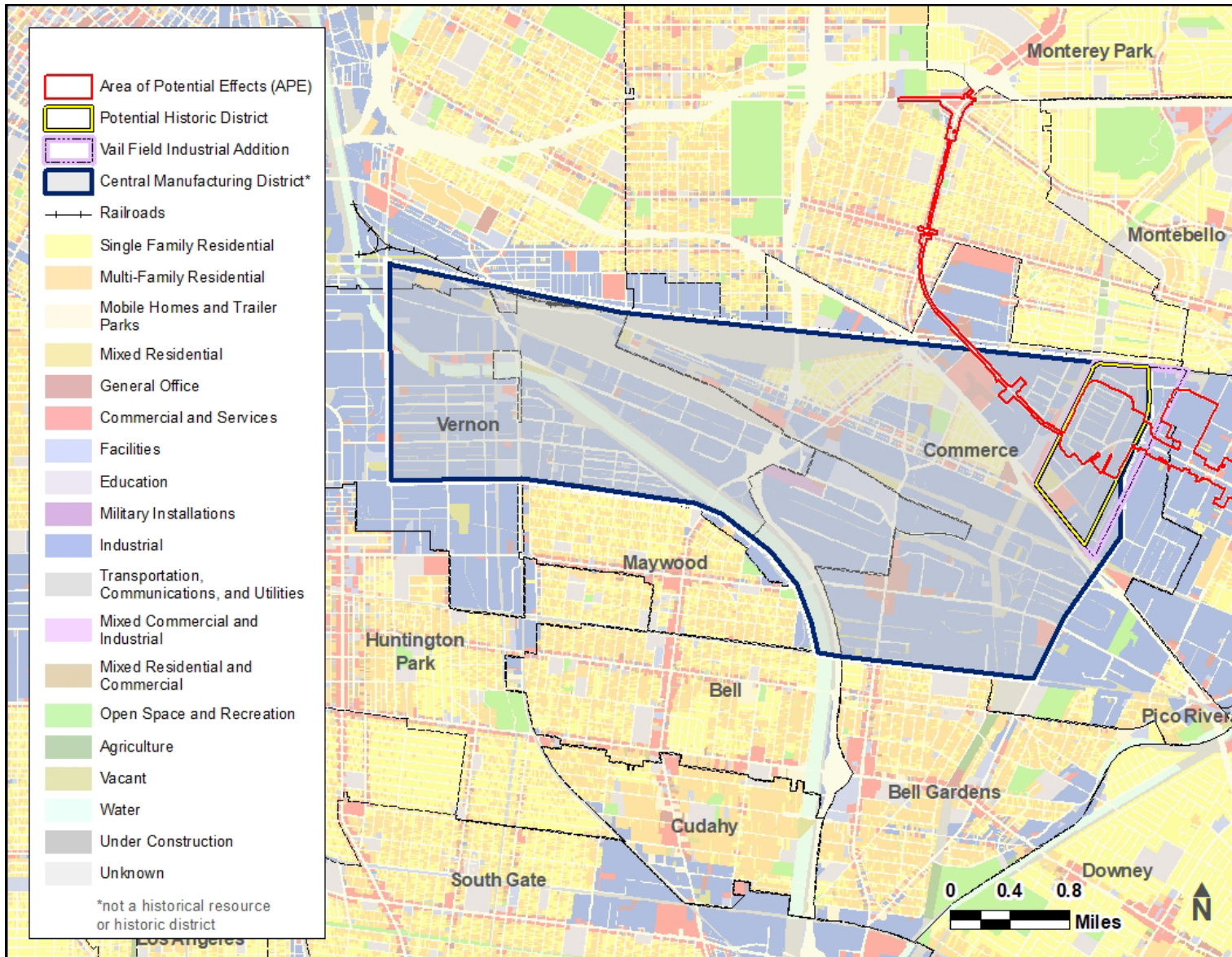


Figure 6.2. Overview of Central Manufacturing District

### 6.1.3.4 Residential Development

After the issues surrounding the Arcadia Bandini estate were finally settled in 1921, the Janss Investment Company began the subdivision of what would be known as Belvedere Gardens, which is within the DSA (today unincorporated East Los Angeles) (*Los Angeles Times* 1921b). In Belvedere, Janss' real estate strategies targeted laborers of Mexican origin who, until that time, had resided in and around the pueblo or in Boyle Heights. The Janss Investment Company offered various home ownership opportunities, either through the purchase of inexpensive, company-built dwellings or through the purchase of an empty lot, upon which the owner could live and then build a home over time. According to historian Becky Nicolaidis, "In Belvedere, the home ownership rate was 44.8 percent among the Mexican-origin population, significantly higher than the Los Angeles average of 18.6 percent for the same population group" (Nicolaidis 1999). Another factor facilitating home ownership for those of Mexican origin was the Pacific Electric Railway line, with stops at Janss subdivisions that opened up the east side to Mexican workers, many of whom had actually built the streetcar lines that they used (Romo 1983).

Industrial and real estate interests worked in concert to provide housing for industrial workers. In addition to the industrial developments, suburban residential expansion in the DSA followed a rapid pace following World War II. Subdivisions were constructed until the mid-1950s when the area was all but completely built out. Minimal Traditional-style tract houses are characterized throughout the cities of Commerce, Montebello, Whittier, Pico Rivera, and Santa Fe Springs.

The area's development history prior to World War II indicates that not one specific developer was responsible for residential subdivision. Instead, numerous owners and builders purchased individual lots then improved them either for their own use or as speculative investments. After World War II, new practices from large and well-financed developers, known as community builders, led to permanent shifts in the real estate landscape. By adapting mass production techniques for home building, community builders oversaw all aspects of a new residential project, from subdividing and street improvements (including utilities) to constructing the houses, complete with lawns, garages, and driveways. The developers also handled marketing, arranged financing, and sold the houses, often from furnished on-site models (Hise 1997).

After World War II, population growth, the robust postwar industrial economy, and suburban expansion brought about significant changes to the built environment in the DSA.

### 6.1.3.5 Commercial Development

Following World War II, millions of Americans began to take to the road in new automobiles, move to the suburbs, eat out at their favorite coffee shops, and watch movies at drive-ins. Manufacturers, however, had spent the preceding four years on the war effort and had not been able to redesign their commercial products in any noticeable way, leaving the commercial landscape open to innovation. Historian Chester Liebs notes that everything from automobiles to roadside buildings was dominated by prewar motifs (Liebs 1995). Therefore, architects and business owners used various techniques to attract the attention of passing motorists and distinguish themselves from their predecessors. The first was the Modern trend of exaggerating the building's functional components, such as Eduardo Catalano's "hyperbolic parabola" roof in 1955, V-shaped columns, large expanses of floating glass, and undulating canopies of concrete (Liebs 1995). In Los Angeles, these design features are best exemplified by architectural designs for coffee shops, bowling alleys, supermarkets, and other commercial buildings, such as Ship's Westwood (1958, demolished 1984) and the Bob's Big Boy chain

of restaurants, which used large fiberglass statues of Big Boy out front in addition to magnificent neon signs to attract customers to its modern buildings (Hess 1985). The term “Googie” is used by architectural historians to denote this commercial roadside architectural design style, which is marked by upswept rooflines; a rich use of color and texture; and dramatic nighttime signage displays that are fully integrated with the architectural design.

The second trend was nostalgic architecture that recalled the prewar years with quaint storybook cottages, wigwams, teepees, and the like, along with newer “themed styles” representing the Orient, the South Seas, the Old World, and South of the Border. Some formal examples are termed “Polynesian Pop” or “Tiki” (Phoenix 2001). Trader Vic’s, established in 1936 in Oakland, California, is an early example. Fantasy and technology-related motifs were also used, reflecting the public’s fascination with 1950s and 1960s advances in technology and space exploration. One such space-age example is the Theme Building (1961) located at LAX that offers views of the runways.

The Western style was another popular example of the themed building, evoking nostalgia for the “good old days” before the world wars and the era of technological innovation. Pop culture historian Charles Phoenix writes that western theme parks, wigwam-shaped motel rooms, log cabin restaurants, and chuck wagon buffets offered an alternative to the space-age look of the day. The western-themed motels, cafes, barbeque joints, and restaurants took the suburban ranch style to the extreme. Many had wood-paneled interiors and “authentic” décor, including old wagon wheels, hurricane lamps, and stuffed wild animals (Phoenix 2001). An early example of the constructed western environment is Knott’s Berry Farm’s School House Road and Ghost Town located in Buena Park. Constructed during the 1940s and 1950s, the town had a schoolhouse, blacksmith shop, Chinese laundry, and costume-wearing staff. By the late 1960s and early 1970s, this brand of nostalgia was combined with out-and-out disenchantment with new technologies and urban renewal. The “rustic” vocabulary of brick walls or unpainted board-and-batten siding, smaller signs with less neon and more acrylic or wood, and low-maintenance landscaping was applied to many commercial establishments to telegraph an image of environmental awareness (Liebs 1995).

The Steak Corral, located at 11605 Washington Boulevard in West Whittier-Los Nietos, which is within the DSA, is the last of a small chain of western-themed restaurants. The chain capitalized on the popularity of western motifs, with decorations both inside and out. The Steak Corral exhibits many of the requisite features found in a western-themed restaurant, including unpainted board-and-batten siding, decorative shutters, and other paraphernalia, including wagon wheels and horseshoes and a full-size fiberglass cowboy near the main entrance.

## 6.1.3.6 Community Histories

### 6.1.3.6.1 East Los Angeles

East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Montebello to the east and Commerce to the south (Brandman 1988). East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (*Los Angeles Times* 1921a). Following Arcadia Bandini’s death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary



1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for “one of the city’s newest suburbs,” as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, “low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities,” according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district’s name to East Los Angeles (*Los Angeles Times* 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had an estimated population of 126,496 as of 2019, with a median income of \$46,082 (US Census 2019).

### 6.1.3.6.2 Montebello

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic “U.N. of the Southeast,” as described by the *Los Angeles Times*. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). The city of Montebello has become a manufacturing commercial hub and has a population of 62,943 as of 2020, with a median income of \$80,797 (City of Montebello 2021).

### 6.1.3.6.3 Commerce

Although Commerce was not incorporated until 1960, industrial development had been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant’s manufactured bricks were used to build numerous landmark buildings in Los Angeles, including city hall (built 1926) and the University of California at Los Angeles’s Royce Hall (built 1929). Other notable companies who built plants in the area that would later become the city of Commerce include the Samson Tire and Rubber Company and automakers Chrysler and Ford. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

Vail Field was an airfield established during the 1920s and featured unpaved, earthen, runways and several storage hangars. The site served one of the first airmail contractors, Western Air Express, and some commercial flights (Water and Power Associates [WPA] 2020). The site was also among one of the airfields Charles Lindbergh and Spirit of Saint Louis visited in 1927. In 1951, the former Vail Field airfield was redeveloped as the Vail Field Industrial Addition.

Following World War II, expansion and industrial development in the city of Commerce increased. Vail Field was among one of the last large, open, and undeveloped areas within Commerce's burgeoning industrial area (**Figure 6.3**). The property's large tracts of open land became attractive as real estate investments and ultimately closed by 1950 (WPA 2020). Washington Boulevard and Garfield Avenue were extended through the south and eastern ends of the former airfield and the runways and hangars were demolished and replaced with railroad alignments and roadways.



**Figure 6.3. Vail Air Field, Commerce, 1926 (WPA 2020)**

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now the city of Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an “aquatorium,” and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976 (English and GuneWardena 1997). Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel.

#### **6.1.3.6.4 Pico Rivera**

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (*New York Times* 1982). The city's estimated population is 62,027, as of 2019, with a median income of \$67,636 (US Census 2019).

### 6.1.3.6.5 Santa Fe Springs

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowner's association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

### 6.1.3.6.6 Whittier

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of

Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The city's estimated population is 85,098, as of 2019, with a median income of \$77,270 (US Census 2019).

## 6.2 Historical Resources in the APE

The cultural resources study identified 49 historic and architectural resources, one CHL site, and one potential historic district, for a total of 51 historical resources (**Table 6-1**). Resources are identified by reference numbers on the APE map (see **Attachment A**). No unique archaeological resources were identified in the APE.

**Table 6-1. Historical Resources in the APE**

Reference No.	Primary No.	Address	Date	Description	OHP Status Code
1	19-176524	5176 Whittier Boulevard	1927	Golden Gate Theater	1S; 1CS
2	Not assigned	Vail Field Industrial Addition - Commerce	1951-1960	Planned industrial park – potential historic district	3S; 3CS
3	Not assigned	2343 Saybrook Avenue*	1956	Alpha Metals Inc., Modern-style industrial building	3D; 3CD
4	Not assigned	2401 Saybrook Avenue*	1955	Taylor Forge & Pipe Works, Modern-style industrial building	3D; 3CD
5	Not assigned	2424 Saybrook Avenue*	1955	Premium Autoware Company, Modern-style industrial building	3D; 3CD
6	Not assigned	2425 Saybrook Avenue*	1955	Art Steel Company, Modern-style industrial building	3D; 3CD

Reference No.	Primary No.	Address	Date	Description	OHP Status Code
7	Not assigned	2444 Saybrook Avenue*	1954	Colorado Fuel & Iron Corporation, Modern-style industrial building	3D; 3CD
8	Not assigned	6409 Gayhart Street*	1957	Merck, Sharp & Dohme pharmaceuticals, Modern-style industrial building	3D; 3CD
9	Not assigned	6414 Gayhart Street*	1956	Diamond Match Company, Modern-style industrial building	3D; 3CD
10	Not assigned	6433 Gayhart Street*	1959	Morgan & Sampson Inc., Modern-style industrial building	3D; 3CD
11	Not assigned	6466 Gayhart Street*	1953	Marwais Steel Company, Modern-style industrial building	3D; 3CD
12	Not assigned	6505 Gayhart Street*	1956	Sylvania Electric Products, Inc., Modern-style industrial building	3D; 3CD
13	Not assigned	6541 East Washington Boulevard*	1954	Ingram Paper Company, Modern-style industrial building	3D; 3CD
14	Not assigned	6565 East Washington Boulevard*	1954	Admiral Distributors, Inc., Modern-style industrial building	3D; 3CD
15	Not assigned	6625 East Washington Boulevard*	1953	Hoffman Hardware Company, Modern-style industrial building	3D; 3CD
16	Not assigned	2200 Saybrook Avenue*	1956	Sues, Young & Brown Inc., Modern-style industrial building	3D; 3CD
17	Not assigned	6400 Corvette Street*	1956	National Electric Products Corp., Modern-style industrial building	3D; 3CD
18	Not assigned	6415-6435 Corvette Street*	1955	Eddie Kane Steel, Modern-style industrial building	3D; 3CD
19	Not assigned	6436 Corvette Street*	1956	E. A. Wilcox Company, Modern-style industrial building	3D; 3CD

Reference No.	Primary No.	Address	Date	Description	OHP Status Code
20	Not assigned	6440 Corvette Street*	1955	Glenmart Company, Modern-style industrial building	3D; 3CD
21	Not assigned	6460 Corvette Street*	1957	Jim Western Manufacturing Company, Modern-style industrial building	3D; 3CD
22	Not assigned	6465 Corvette Street*	1954	Titanium Metals Corporation of America, Modern-style industrial building	3D; 3CD
23	Not assigned	6474 Corvette Street*	1956	Hild Floor Machine Company, Modern-style industrial building	3D; 3CD
24	Not assigned	6480 Corvette Street*	1956	Bralco Metals, Modern-style industrial building	3D; 3CD
25	Not assigned	6489 Corvette Street*	1954	Bralco Metals Inc., Modern-style industrial building	3D; 3CD
26	Not assigned	6400 Fleet Street*	1954	Myrurgia Perfumes Inc., Modern-style industrial building	3D; 3CD
27	Not assigned	6415 Fleet Street*	1954	Metal Prits Inc., Modern-style industrial building	3D; 3CD
28	Not assigned	6440 Fleet Street*	1954	W. P. Wooldridge Company, Modern-style industrial building	3D; 3CD
29	Not assigned	6444 Fleet Street*	1954	Harbison-Walker Refractories Company, Modern-style industrial building	3D; 3CD
30	Not assigned	6445 Fleet Street*	1955	Durand Door Supply Company, Modern-style industrial building	3D; 3CD
31	Not assigned	6459 Fleet Street*	1954	Insul-Therm Inc., Modern-style industrial building	3D; 3CD
32	Not assigned	6466 Fleet Street*	1954	Triangle Conduit & Cable Company, Modern-style industrial building	3D; 3CD
33	Not assigned	6490 Fleet Street*	1954	Triangle Conduit & Cable Company, Modern-style industrial building	3D; 3CD

Reference No.	Primary No.	Address	Date	Description	OHP Status Code
34	Not assigned	2211 Davie Avenue*	1956	Kelvinator Appliances, Modern-style industrial building	3D; 3CD
35	Not assigned	2041 Davie Avenue*	1956	Lubrication Systems Chainveyor Corporation, Modern-style industrial building	3D; 3CD
36	Not assigned	2040 Davie Avenue*	1955	Tiffany Stand and Furniture warehouse, Modern-style industrial building	3D; 3CD
37	Not assigned	2054 Davie Avenue*	1954	Ward Cut-Rate Drug Company, Modern-style industrial building	3D; 3CD
38	Not assigned	2110 Davie Avenue*	1954	AMVAC Chemical Corporation, Modern-style industrial building	3D; 3CD
39	Not assigned	2140 Davie Avenue*	1956	Starbright Stainless Steel, Ryder-Elliott, Inc., Modern-style industrial building	3CD
40	Not assigned	2210 Davie Avenue*	1955	Tiffany Stand and Furniture, Modern-style industrial building	3CD
41	19-190999	2187 Garfield Avenue*	1955 1952	Pacific Metals Company	3B; 3CB
42	19-191000	2353 Garfield Avenue*	1952	Goodyear Tire and Rubber Company Warehouse	3B; 3CB
43	19-191003	900 South Greenwood Avenue	1947	Greenwood Elementary School	3S; 3CS
44	19-191005	864 Washington Boulevard	1940	South Montebello Irrigation District Building	3S; 3CS
45	19-191004	860 Washington Boulevard	1937	William and Florence Kelly House	3S; 3CS
46	19-191009	NE corner of Bluff Road and Washington Boulevard	--	Site of the Battle of San Gabriel	1CL
47	19-191099	9023 Washington Boulevard	1951	Dal Rae Restaurant	3S; 3CS

Reference No.	Primary No.	Address	Date	Description	OHP Status Code
48	19-191105	9122 Washington Boulevard	1886	Atchison, Topeka & Santa Fe Railway Depot	3CS
49	19-191098	6751 Lindsey Avenue	1954	Cliff May-designed Ranch House	3S; 3CS
50	19-191102	11605 Washington Boulevard	1965	Steak Corral Restaurant	3S; 3CS
51	19-191100	12000 Washington Boulevard	1951	Rheem Laboratory	3S; 3CS

**Key:**

\* = Contributor to the Vail Field Industrial Addition

1S = Individual property listed in the NRHP

1CS = Individual property listed in the CRHR

1CL = Automatically listed in the CRHR (California Historical Landmark)

3B = Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation

3CB = Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation

3D = Appears eligible for NR as a contributor to a NR eligible district through survey evaluation

3CD = Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation

3S = Appears eligible for NR as an individual property through survey evaluation

3CS = Appears eligible for CR as an individual property through survey evaluation

The Vail Field Industrial Addition is a potential historic district identified by the survey that contains at least 40 contributing resources; two of these 40 contributing resources are also individually eligible for listing in the NRHP and CRHR. Nine of the 50 significant cultural resources are individually eligible historical resources are industrial properties, commercial properties, a railroad property, and a single-family residence. One of the 51 historical resources is the Site of the Battle of San Gabriel, which is a CHL and is automatically listed in the CRHR. For detailed information on the evaluation of these resources, see **Attachment D**. The historical resources, including the potential historic district and 12 individually eligible historical resources, are described in the following sections.

## 6.2.1 Golden Gate Theater, 5176 Whittier Boulevard (Reference No. 1)

The Golden Gate Theater (also known as the Vega Building) (P-19-176524) was constructed in 1927 (see **Figure 6.4**). The building complex originally included large two- and three-story buildings, comprised of offices, shops, apartments, and a theater designed by the Balch Brothers architectural firm. The property was listed in the NRHP in 1982 (National Register Information System 82002192) under NRHP Criterion A for its social interrelationship with the surrounding community and under NRHP Criterion C as an excellent example of Art Deco and Spanish Churrigueresque styles. However, the Vega Building was damaged by the 1987 Whittier earthquake and was demolished in 1991, leaving only the detached Spanish Churrigueresque-style Golden Gate Theater building. Between 2007 and 2012, the Golden Gate Theater building underwent a restoration project and now functions as a retail location for CVS Pharmacy. The building is a historical resource for the purposes of CEQA.





**Figure 6.4. Golden Gate Theater constructed 1927  
(5176 Whittier Boulevard) View Southwest**

## 6.2.2 Vail Field Industrial Addition, Commerce (Reference No. 2)

The Vail Field Industrial Addition is a planned industrial park in Commerce that is roughly bounded by the Union Pacific Railroad to the north, Yates Avenue to the east, Telegraph Road to the south, and a transmission line ROW to the west (see **Figure 6.5**). It is a cohesive, intact, geographical district that is distinctive for its Mid-Century Modern industrial facilities, intentional landscape elements, and truck and rail access plan. The industrial park was built around a post-World War II shipping system that was designed for the transfer of manufactured goods via localized railways. The Vail Field Industrial Addition was primarily developed between 1951 and 1960, with some, minor, later infill construction and redevelopments from 1960 to the present. These include seven buildings constructed between 1970 and 1990 (6350 East Washington Boulevard [1977]; 6550 East Washington Boulevard [1979]; 2161 Saybrook Avenue [1981]; 2151 Saybrook Avenue [1983]; 2267 Saybrook Avenue [1990]; 6460 Gayhart Street [1995]; 6605 East Washington Boulevard [1991]), and three buildings constructed between 2009 and 2015 (6340 East Washington Boulevard [2009]; 6333 Telegraph Road [2009]; 6320 East Washington Boulevard [2015]) (**Figure 6.6**). Part of the larger, regional Central Manufacturing District that roughly spans from Vernon in the west to Commerce in the east, the setting of the Vail Field Industrial Addition is suburban industrial. Visually, the Vail Field Industrial Addition is characterized as an industrial park with large, sprawling buildings featuring diverse modernistic architectural influences, including International Style, Futurist, and Contemporary elements on eclectic façades, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features. Washington Boulevard is the main thoroughfare that bisects the district, with Telegraph Road and Malt Avenue/ Garfield Avenue providing major freight access to the south and east.

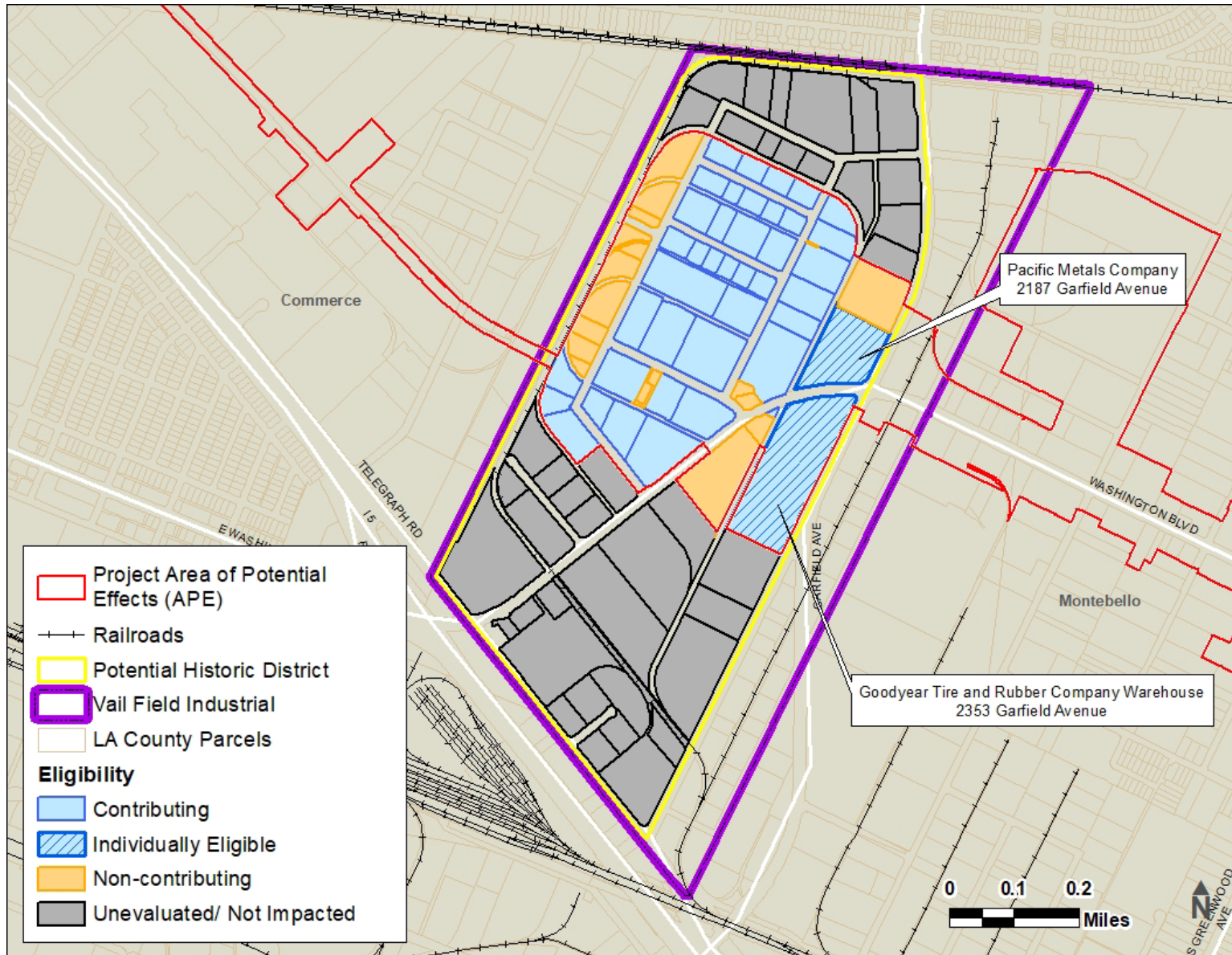


Figure 6.5. Vail Field Industrial Addition Potential Historic District

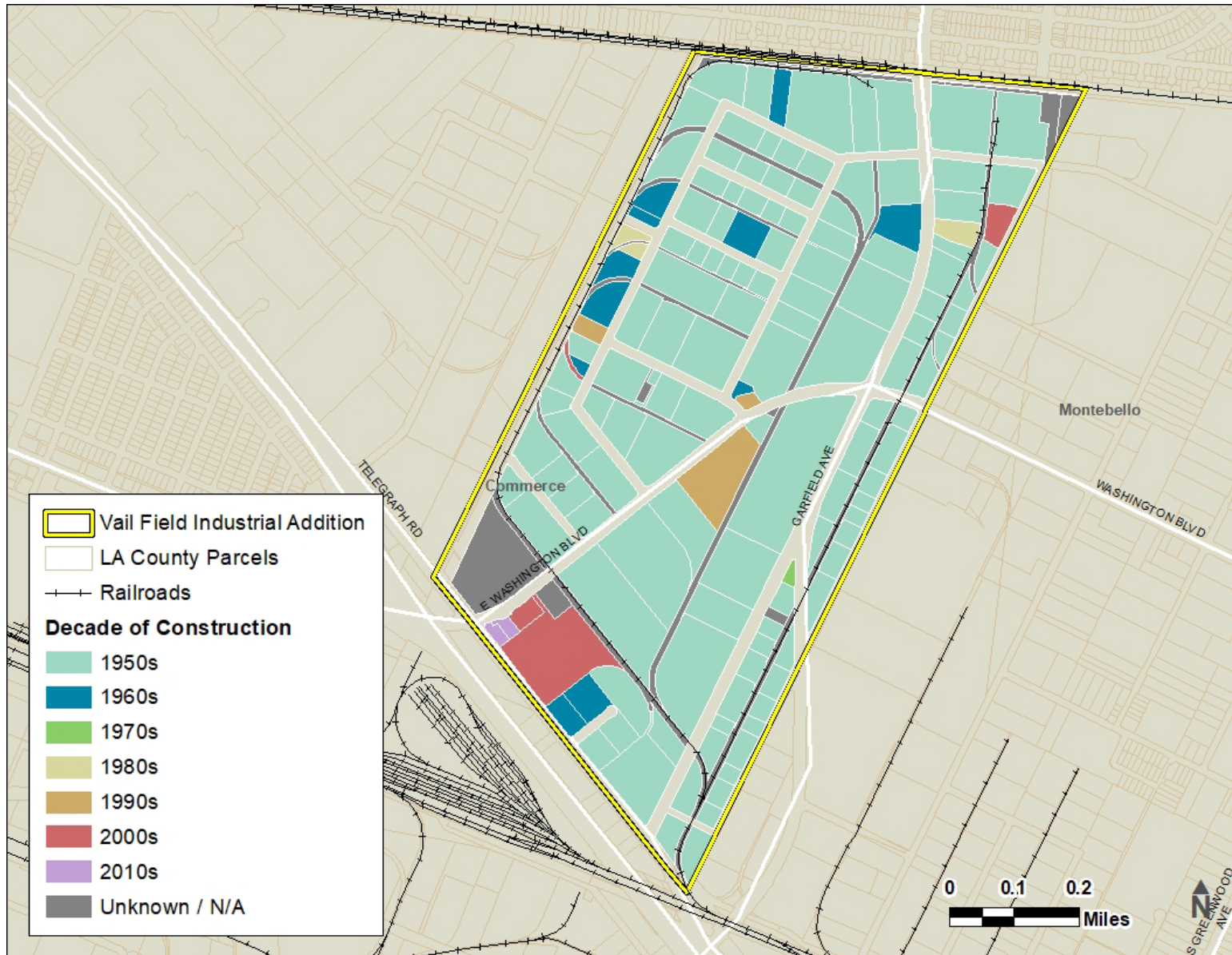


Figure 6.6. Vail Field Industrial Addition Construction Timeline

As a result of the survey, the Vail Field Industrial Addition was identified as a potential historic district with at least 40 contributors (see **Table 6-1**), 20 noncontributors, and 41 potential contributors that were identified via desktop survey but require further investigation and evaluation. The Vail Field Industrial Addition potential historic district boundary is bounded by the Union Pacific Railroad ROW to the north; Garfield Avenue and South Malt Avenue to the east; Telegraph Road to the south; and the transmission line ROW to the west (see **Figure 6.5**). The boundary was determined based on the historical pattern of development associated with the Vail Field Industrial Addition. Historically, Vail Field was bounded by Yates Avenue to the east. Due to non-period infill construction, geographical separation, and lack of rail and truck access, the potential historic district boundary was determined to only include properties west of Garfield Avenue.

The Vail Field Industrial Addition potential historic district exclusively includes industrial properties that generally contain one- to two-story buildings with concrete walls and flat roofs and extensive square footage. The Vail Field Industrial Addition potential historic district features a level topography with parcel lots organized around a grid pattern of roads with parallel railways that curve and loop at the periphery of the district. The facilities are characterized by the dual access of the former railways behind the buildings and streets at the front. The district's hardscape features include paved roads, surface parking lots, and railroad alignments. The district's setting, plan, and landscape have undergone minor changes since it was originally constructed. Landscape elements evidenced within the district include landscaped lawns, trees, shrubs, planters, tropical plants, ornamental topiaries, climbing vines, rose bushes, and ornamental rocks. Despite some alterations, many landscape elements have been maintained and are intact.

Contributing resources—through their physical design and association—illustrate the functional and aesthetic design concepts associated with industrial complexes of the 1950s. Many buildings within the Vail Field Industrial Addition were designed with the intent to create a “industrial garden setting” with the incorporation of landscaped lawns, trees, shrubs, planters, and tropical plants (*Los Angeles Times* 1953a). The majority of the buildings within the district are Modern-style concrete tilt-up construction with stone veneer accents and steel roof construction. The buildings within the Vail Field Industrial Addition demonstrate a unique variation of styles, scale, materials, and form features that are not typically evidenced in other industrial areas where design repetition is more common. The district also includes the rail network and roadway alignments that were integral aspects the development, function, and use of these properties. **Figure 6.7** through **Figure 6.13** show sample buildings and features as well as examples of the landscape elements, such as lawns, planters and shrubs and topiaries, within the Vail Field Industrial Addition.

The Vail Field Industrial Addition is potentially eligible for listing in the NRHP/CRHR as a historic district and is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the area of industrial community planning and development in the growing Los Angeles metropolitan area during the period of significance from 1951 to 1960. It is also significant under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack individual distinction. After World War II, the former oilfield and airfield property was open land ripe for the postwar industrial development boom that expanded the regional industrial development started in the 1920s. The planned development of the Vail Field Industrial Addition beginning in 1951 was an excellent example of historical trends in community planning, coinciding with warehouse and manufacturing development where truck access rather than railroad access alone, and proximity to the highway system (e.g., the completion of the Santa Ana Freeway in 1953; newly opened Washington Boulevard) were the primary development determinants. The commercial success of the hundreds of major companies that established facilities ultimately led to the incorporation of the City of Commerce. The district is significant in the area of

industrial community planning and development, because it represents a mid-century industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of industrial architecture from the 1950s that together are notable for their eclectic Mid-Century Modern style. The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties. It is a historical resource eligible for the CRHR as determined by Metro for the purposes of CEQA.



**Figure 6.7. Former Bralco Metals Company Building constructed 1954  
(6489 Corvette Street) View Northeast**



**Figure 6.8. Former Titanium Metals Corporation of America Building constructed 1954 (6465 Corvette Street) View East**



**Figure 6.9. Former W. P. Wooldridge Company Building constructed 1954 (6440 Fleet Street) View Southwest**



**Figure 6.10. Former Marwais Steel Company building constructed 1953 (6466 Gayhart Street) View Southwest**



**Figure 6.11. Former Hoffman Hardware Company Building constructed 1953 (6625 East Washington Boulevard) View North**





**Figure 6.12. Former Sues, Young & Brown Inc. Building constructed 1956 (2200 Saybrook Avenue) View Southeast**



**Figure 6.13. Former Colorado Fuel & Iron Corporation Building constructed 1954 (2444 Saybrook Avenue) View Northeast**

## 6.2.3 Pacific Metals Company, 2187 Garfield Avenue (Reference No. 41)

Dynamic in its architectural expression, the Pacific Metals Company (also known as the Rolled Steel Company) is a one-story, approximately 30-foot-tall reinforced concrete specialty metals warehouse/office building in the International Style constructed in 1955 (**Figure 6.14**). The main pavilion, facing Garfield Avenue (east) and Washington Boulevard (south), is defined by a series of matching, vertically aligned concrete sunscreens, set perpendicular to the wall plane. The sunscreens frame a series of steel-sash windows. Each of the 15 windows occurs along the upper portion of the wall, approximately 20 feet above the ground, at the base of the fascia band that defines the top of the building. These windows have only horizontally aligned muntins, a characteristic of local Late Moderne and International Style buildings from the period. The rear portion of the building (approximately 75 percent of the total 114,000-square-foot floor area) consists of unadorned blank walls, occasionally punctuated by the original truck bay openings (north wall). Although minor reversible alterations have occurred (i.e., replacement entrance doors, security lighting of incompatible design), the building retains a high level of design integrity.



**Figure 6.14. Pacific Metals Company Building constructed 1955 (2187 Garfield Avenue) View Northwest**

The Pacific Metals Company building is individually eligible under NRHP Criterion A/CRHR Criterion 1 at the local level of significance because of its association with noteworthy events in the history of industry as well as community planning and development in Southern California during the post-Korean War period of significance from 1953 to 1960. The building was constructed in 1955, during a time of major expansion in the construction and metal fabrication sector and exploding demand for specialty metal products from Southern California consumers. The large size of the facility speaks to its role as a key warehouse for the entire Los Angeles region. The timing of construction in 1955 also reflects the lifting of restrictions on specialty metals, which had been in place during the Korean War (1950–1953), and the subsequent dramatic rebound in non-defense-related demand. The Pacific Metals Company building is also individually eligible under NRHP Criterion C/CRHR Criterion 3 at the local level of significance for its distinctive architectural design and qualities. The building is an excellent example of local International Style industrial architecture from the 1950s.

The Pacific Metals Company building also contributes to the Vail Field Industrial Addition potential historic district. The construction of this building directly contributes to the significance at the local level of the Vail Airfield Industrial Addition under NRHP Criterion A/CRHR Criterion 1 as a planned industrial park due to its manufacturing function and under NRHP Criterion C/CRHR Criterion 3 due to its distinctive International Style design for the period of significance from 1951 to 1960. The Pacific Metals Company building is a historical resource for the purposes of CEQA.

## 6.2.4 Goodyear Tire and Rubber Company Warehouse, 2353 Garfield Avenue (Reference No. 42)

The Goodyear Tire and Rubber Company Warehouse is an approximately 300,000-square-foot, one-story reinforced concrete bow truss-roofed warehouse with an attached one-story flat-roof office ell along the north (Washington Boulevard) elevation (**Figure 6-15**). Taking an architectural design approach that combines utilitarian elements with elements drawn from the International Style, the east elevation of the Goodyear Tire and Rubber Company warehouse (approximately 90 percent of the building's floor area) is defined by 20 identical truck bays with bumper guards and roll-down doors. The ell portion of the building (approximately ten percent of the building floor area) is defined by an approximately 25-foot-tall pylon element (adjoining the entrance) and steel pivoted-sash ribbon windows, which are screened from above by slatted sunshades that are placed diagonally. Although minor reversible alterations have occurred, the building retains a high level of design integrity.



**Figure 6-15. Goodyear Tire and Rubber Company Warehouse constructed 1952 and Existing Rail Alignment Facing Washington Boulevard (2353 Garfield Avenue) View East**

The Goodyear Tire and Rubber Company warehouse is eligible under NRHP Criterion A/CRHR Criterion 1 at the local level of significance for its association with significant events in the history of industry in Southern California as well as community planning and development during the post-war period. The building is a direct result of suburban development throughout the region and exploding demand for automobiles and automotive products from Southern California consumers. Its significance is intimately tied to its important role as a supplier of tires for the rapidly growing automobile industry in Southern California after World War II, which was a key trend in the suburbanization of the region during this period.

The Goodyear Tire and Rubber Company warehouse also contributes to the Vail Field Industrial Addition potential historic district. The construction of this building directly contributes to the significance at the local level of the district under NRHP Criterion A/CRHR Criterion 1 as a planned industrial park due to its manufacturing function for the period of significance from 1951 to 1960. One of the reasons Vail Field was chosen as the location for a new planned industrial park was that its proximity to the new Santa Ana Freeway would provide exceptionally convenient truck access to an important transportation route. For this reason, Goodyear specifically chose the Vail Field tract as the location for its new truck-oriented (versus rail-oriented) warehouse. The Goodyear Tire and Rubber Company warehouse building is a historical resource for the purposes of CEQA.

## 6.2.5 Greenwood Elementary School, 900 South Greenwood Avenue (Reference No. 43)

Greenwood Elementary School is eligible under NRHP Criterion A/CRHR Criterion 1 at the local level in the area of education and for its significant contribution to the patterns of school building in Southern California during the period of significance, 1947–1948 (see **Figure 6.16**). The school's innovative design reflected a new approach to school planning in the context of the exploding population and economic growth in suburban south Los Angeles immediately after the World War II. Utilizing a contemporary style, Mid-Century Modern, the school design plan placed the administration building and classroom buildings on a large lot to accommodate the future population expansion as the area boomed with postwar manufacturing, commercial and industrial plants. The new school design overturned traditional ideas of school architecture as a set of classrooms in relation to indoor corridors and stairs between floors. At Greenwood Elementary, traditional corridors became outdoor spaces attractively and heavily landscaped with trees and plantings, a landscape scheme emblematic of Southern California outdoor living. The Greenwood Elementary School is a historical resource for the purposes of CEQA.



**Figure 6.16. Greenwood Elementary School constructed 1947 (900 South Greenwood Avenue) View East**

## 6.2.6 South Montebello Irrigation District Building, 864 Washington Boulevard (Reference No. 44)

The South Montebello Irrigation District building, located at 864 Washington Boulevard in Montebello, is eligible under NRHP Criterion A/CRHR Criterion 1 at the local level of significance for its association with the distribution of water to the rapidly growing city of Montebello and with agriculture (**Figure 6.17**). Although the South Montebello Irrigation District was established in 1921, the subject property dates to 1941 when Montebello's agricultural uses were giving way to industrial and residential uses. The irrigation district supplies an approximately 860-acre area with water pumped from an on-site well, in addition to several wells located throughout the district. Although the property consists of several buildings, only the administration building, located at the front (south end) of the parcel, dates to the period of significance. The symmetrically composed administration building is one-story in height and rectangular in plan. The wall cladding is red brick. The roof incorporates simple side gables without overhanging eaves. The roof is clad in red clay tile. Multi-light rolled-steel windows sheltered by metal awnings are arranged in a regular pattern. The South Montebello Irrigation District building is a historical resource for the purposes of CEQA.



Figure 6.17. South Montebello Irrigation District Building constructed 1940 (864 Washington Boulevard) View North

## 6.2.7 William and Florence Kelly House, 860 Washington Boulevard (Reference No. 45)

The residence located at 860 Washington Boulevard in Montebello is eligible under NRHP Criterion A/CRHR Criterion 1 at the local level of significance, and for the CRHR under Criterion 1, for its association with the residential development of Montebello in the pre-World War II era. During the opening decades of the 20th century, the Montebello area was characterized primarily by agricultural uses and sparse, albeit expanding, residential and industrial development. The residence is located in the El Carmel tract, which was subdivided in 1905. Parcel sizes in the El Carmel tract averaged five acres, suggesting that the tract's subdividers envisioned primarily agricultural rather than suburban residential uses. Incorporated in 1920, Montebello was famed for its commercial flower gardens. Nuts and fruits were also among its agricultural products. Early industrial activities included oil extraction and brick manufacturing. While these uses created a diverse economic base, the area's distance from the central city, coupled with its still-developing infrastructure, resulted in modest but steady population growth. World War II and the post-war years transformed Montebello into an industrial powerhouse. Intense demand for housing accompanied this industrial and economic transformation. Constructed in 1937 in the Spanish Colonial Revival style, the residence located at 860 Washington Boulevard represents a now-rare example of pre-World War II residential development in the El Carmel tract area of Montebello. The residence located at 860 Washington Boulevard is a historical resource for the purposes of CEQA.

## 6.2.8 Site of the Battle of Rio San Gabriel (Reference No. 46)

The resource is the Site of the Battle of Rio San Gabriel. Located at the northeast corner of Bluff Road and Washington Boulevard, on the border of Montebello and Pico Rivera, is the approximate Site of the Battle of Rio San Gabriel, which occurred on January 8, 1847, during the Mexican-American War. The site was a strategic position for Mexican forces because of its high bluffs, which afforded protection, as well as the quicksand on the river bottom, which made it difficult for American troops to cross the river and reach the bluffs. Although the San Gabriel River changed course in 1867 after flooding, a branch, Rio Hondo, still flows at the same location. Adjacent to the river on the east is an open field, which is part of the setting. To mark the battle site, a structure was erected in 1944 to shelter a plaque, which is flanked by two commemorative cannons that face the river (see **Figure 6.18**). The structure sits on a concrete slab foundation at the top of the natural bluffs. Four wood columns with scalloped wood brackets support a medium-pitched side-gable roof. The shelter has eaves with a slight overhang, exposed rafter tails, and clay tile cladding. The side gables display open wood construction. The shelter and cannons face east toward the battle site, overlooking Rio Hondo and adjacent open land.

On January 8, 1847, American soldiers commanded by Commodore Robert F. Stockton, U.S. Navy Commander in Chief, and Brigadier General Stephen W. Kearney of the U.S. Army, fought and overcame the Californians, led by General José María Flores, in the Battle of Rio San Gabriel. The Site of the Battle of Rio San Gabriel retains key character-defining features, such as the approximate location of the battlefield, the bluffs involved in the battle, the branch of the San Gabriel River, and the surrounding open land. In addition, few battlefield sites are located in the state of California, and in

the United States, only a limited number represent the Mexican-American War. There are eight known battlefield sites in California, all of which are from the Mexican-American War: Battle of San Pasqual, 1846; Battle of Palo Alto, 1846; Battle of Monterey, 1846; Battle of Chino, 1846; Battle of Dominguez Rancho, 1846; Battle of Santa Clara, 1847; Battle of La Mesa, 1847; and Battle of Rio San Gabriel, 1847. The Battle of Rio San Gabriel is extremely significant because it was one of the last major battles in California and led to the end of the war with the signing of the treaty at Campo de Cahuenga. The property is eligible under NRHP Criterion A/CRHR Criterion 1 and is significant for its association with the history of the Mexican-American War in California. Furthermore, the property has the potential to meet NRHP Criterion D/CRHR Criterion 4, if any archaeological artifacts are still extant. Although the structure erected to mark the battlefield site is more than 50 years old, its purpose is only to note the importance of this historic site; it does not have associated historic significance with the 1847 battle.

The battlefield site was dedicated as CHL No. 385 in 1945. The battlefield site retains integrity of location, setting, feeling, and association. The structure does not appear to have experienced any modifications and exhibits a particularly high level of integrity of design and materials. It is a historical resource for the purposes of CEQA.



Figure 6.18. Site of the Battle of Rio San Gabriel Commemorative Shelter View Northeast



## 6.2.9 Dal Rae Restaurant, 9023 Washington Boulevard (Reference No. 47)

The Dal Rae Restaurant appears eligible under NRHP Criterion A/CRHR Criterion 1 at the local level of significance in the areas of post–World War II suburbanization, dining, and entertainment and for its associations with social history as an important and increasingly rare example of a fine dining restaurant and cocktail lounge from the post–World War II era (**Figure 6.19**). It is an important and increasingly rare example of a fine dining restaurant and cocktail lounge from the post–World War II era that retains a high level of integrity. It is associated with trends in the development and operation of fine dining restaurants, steak houses, and cocktail lounges in the years after World War II. The restaurant was opened in May 1958 by brothers Ben and Bill Smith in an existing one-story, freestanding restaurant building. It subsequently expanded with additions to the north (rear) and east as the business grew. The interior features a main dining room, a bar and lounge area with cocktail seating, and a separate banquet room. In 1998, renovations included a remodeled main entry and the addition of an exterior patio dining area. At the same time, the existing interior spaces were remodeled, with work predominantly limited to replacing carpeting, wall finishes and material coverings, and some lighting fixtures. A tall two-sided neon pole sign that displays the restaurant’s name has been a familiar icon along the Washington Boulevard corridor for more than 50 years. Additional neon signs mark the auto entrance as well as the west- and south-facing façades. These signs are contributing features of the property. The period of significance for the property is 1958–1970, corresponding with the era of greatest popularity for fine dining restaurants of this type in the Los Angeles region. The Dal Rae Restaurant is a historical resource for the purposes of CEQA.



**Figure 6.19. Dal Re Restaurant constructed 1951 (9023 Washington Boulevard) View Southwest**

## 6.2.10 Atchison, Topeka & Santa Fe Railway, 9122 Washington Boulevard (Reference No. 48)

The former Atchison, Topeka & Santa Fe Railway Depot located at 9122 Washington Boulevard was constructed in 1886 (see **Figure 6.20**). The property currently functions as the Pico Rivera Historical Museum. The Gothic Revival-style building is the last surviving example of an early railroad depot located in the city of the Pico Rivera. The property was moved to its current location in 1973. The resource is eligible under CRHR Criterion 1 for its association with early transportation, agriculture and settlement and CRHR Criterion 3 for its architectural style and as a rare example of its type. The period of significance is identified as 1886, the date of construction. The former Atchison, Topeka & Santa Fe Railway Depot located at 9122 East Washington Boulevard is a historical resource for the purposes of CEQA.



**Figure 6.20. Atchison, Topeka & Santa Fe Railway Depot constructed 1886 (9122 Washington Boulevard) View East**

## 6.2.11 Cliff May-Designed Ranch House, 6751 Lindsey Avenue (Reference No. 49)

The property located at 6751 Lindsey Avenue in Pico Rivera is eligible under NRHP Criterion C/CRHR Criterion 3 as an excellent example of the Ranch style and as the work of seminal designer and purveyor of the Ranch style, Cliff May (see **Figure 6.21**). Promulgated through a Sunset Magazine book titled *Western Ranch Houses*, first published in 1946 and updated and expanded in 1958, May's Ranch-style houses became so popular by midcentury that his design concepts were almost universally embraced in vernacular residential building. Originally constructed in 1953 with 1,100 square feet, the property, which was based on May's standard Model No. 3211, exhibits all the major character-defining features of the Ranch style as well as May's own personal and particular design vision. These include horizontal massing, irregular plan, asymmetrical composition, low-pitched gable roof, full-length windows, board-and-batten cladding, a brick chimney, and a shed-roof carport. An additional 570 square feet of space was added to the house in 1956. This addition falls within the property's period of significance and does not compromise its integrity, which is excellent. The 6751 Lindsey Avenue property is a historical resource for the purposes of CEQA.



**Figure 6.21. Cliff May-Designed Ranch House constructed 1953 (6751 Lindsey Avenue) View Northwest**

## 6.2.12 Steak Corral Restaurant, 11605 Washington Boulevard (Reference No. 50)

The one-story Steak Corral restaurant is designed in the Ranch style. A building permit was issued on July 15, 1965, for construction of the restaurant, and a second building permit on the same date was issued for its pole sign (see **Figure 6.22**). The architect of record was H. M. Hansen. On July 8, 1982, a permit was issued for the construction of a new pole sign. The restaurant building is side gabled and

has a medium-pitched roof clad with composition shake shingles. Exterior surfaces are finished in board-and-batten siding. A covered entrance walkway spans half the length of the primary (south) façade. It is sheltered by a pent roof that extends beyond the roofline and is supported by thin wood posts. Wood-framed four-light fixed windows on each elevation are flanked by wood shutters with decorative horseshoes affixed to them. A Palos Verde stone chimney is situated on the west elevation; a metal longhorn sculpture adorns the east elevation. At the front of the building, a large rear-lit elevated plastic sign with stylized letters reads “Steak Corral.” Landscaping consists of a variety of mature cactus plants and desert shrubs. The restaurant’s mascot, a full-size molded fiberglass cowboy near the main entrance, is posed as if lassoing a plastic steak that hangs from the eaves. The property exhibits a high level of physical integrity.

The Steak Corral at 11605 Washington Boulevard is an intact presentation of a theme restaurant, an important chapter in the pop-culture history of the United States in the two decades following World War II. It was erected in 1965, at the end of the theme restaurant era, and is the last location of the nine-outlet Steak Corral chain still in operation. Its historic importance is enhanced by the loss of the majority of themed establishments in general and western-themed restaurants in particular in greater Los Angeles. Thus, the property meets NRHP Criterion A/CRHR Criterion 1 for its embodiment of the theme restaurant trend in post-war Los Angeles. In addition, the Steak Corral is a rare, intact example of a Western-style themed restaurant, exhibiting the style’s key character-defining features (e.g., board-and-batten siding, wood-framed divided-light windows, and decorative elements such as horseshoes and cow horns). Therefore, the building is also eligible under NRHP Criterion C/CRHR Criterion 3 at the local level of significance as an important example of its style and type. The Steak Corral at 11605 Washington Boulevard is a historical resource for the purposes of CEQA.



**Figure 6.22. Steak Corral Restaurant constructed 1965 (11605 Washington Boulevard) View Northwest**

## 6.2.13 Rheem Laboratory, 12000 Washington Boulevard (Reference No. 50)

Rheem Laboratory includes a group of one-story brick buildings that are currently operated by the Salvation Army as a Transitional Living Center. It presents an irregular L-shape plan set around an asphalt courtyard striped for parking. The short end of the ell, which faces Washington Boulevard, exhibits a tall, free standing brick panel with the legend 12000 Washington Boulevard in metal upper-case letters. The prominent character-defining feature is a series of clerestory windows running the length of the building, composed of eight panels of 4/20 individual square green lights.

In 1951, a building permit was issued to the Rheem Manufacturing Company with Alan Froberg listed as architect to construct “Offices and Research Laboratories.” Rheem was established in San Francisco in the mid-1920s and became a leading manufacturer and distributor of water heating equipment. Rheem retained the property until 1953 when Fluor Corporation of Los Angeles occupied the building. Fluor manufactured products and processes for the petroleum, gas and chemical industries. In 1954, Fluor greatly expanded the subject property’s laboratory space and added two acres devoted to its field pilot programs. These research facilities featured prominently in the development of equipment for the oil extraction industry. The property is eligible under NRHP Criterion A/CRHR Criterion 1 for its significant role in the development of manufacturing equipment and scientific research associated with Southern California’s important oil extraction industry and for its role in the development of manufacturing and scientific research in the Whittier/Santa Fe Springs area. Both the office building and the Sound Studio have retained substantial integrity. The Sound Studio is a rare example of an intact purpose-built building with structural and spatial design elements that convey its significance in enabling manufacturing and research activities. The buildings are eligible at the local level of significance with a period of significance from 1951 to 1959. The resource is a historical resource for the purposes of CEQA.

## 7.0 IMPACTS

The following discussion of impacts is organized by each of the three Build Alternatives, then by operational, construction, with discussion of historical resources in geographical order from west to east. Operational impacts would result from post-construction Project activities adjacent to a resource or within its immediate surroundings. Construction impacts would result from Project activities such as property acquisition, demolition, relocation, new construction of permanent Project features, or alteration of a resource. The Project may have a significant impact if it would cause a substantial adverse change in the significance of a historical resource or the significance of a unique archaeological resource pursuant to CEQA Guidelines Section 15064.5, or if would disturb any human remains.

### 7.1 Impact CUL-1: Historical Resources

**Impact CUL-1: Would a Build Alternative cause a substantial adverse change in the significance of a historical resource pursuant to 15064.5?**

#### 7.1.1 Alternative 1 Washington

##### 7.1.1.1 Operational Impacts

Project activities during Project operations would be limited to the operation and maintenance of the LRT. Potential operational impacts on historical resources would be indirect (i.e., visual, audible, or atmospheric intrusions) and related to new LRT traffic within the ROW.

Under Alternative 1, operational impacts would not physically demolish, destroy, relocate, or alter any historical resources. The immediate surroundings, or setting, of the historical resources in the APE would not be altered by the addition of LRT traffic within the ROW, either underground, on aerial structures, or at-grade within an existing street.

The Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report found that corridor-wide project noise levels along Alternative 1 are predicted to exceed the Federal Transit Administration (FTA) moderate impact criteria at 28 residences (none are historic resources) and Greenwood Elementary School (a historical resource). Moderate noise levels at Greenwood Elementary School would not affect the resource's significance or alter its character-defining features. Noise impacts would not exceed the FTA moderate noise impact criteria at any historical resources under Alternative 1. Therefore, operational noise would not cause a substantial adverse change in the significance of a historic resource.

The vibration assessment in the same report found that Project vibration levels are predicted to exceed the FTA frequent impact criteria at 85 residences and two schools due to the proximity of residences to proposed switches and proximity to the tunnel section of the alignment. None of the impacted properties are historic resources. Maximum vibration levels at historic resources along the proposed Washington Alternative are predicted to range from 67 vibration decibels (VdB) at the Golden Gate Theater to 71 VdB at the Steak Corral Restaurant (along Washington Boulevard), which is below the FTA frequent impact criteria. Therefore, because the switches are not located in close proximity to

historical resources, none of the vibration levels predicted at historical resources are predicted to exceed the FTA frequent impact criteria along Alternative 1. Therefore, operational vibration would not cause a substantial adverse change in the significance of a historic resource.

The visual assessment for the Project in the Eastside Transit Corridor Phase 2 Visual and Aesthetics Impacts Report found that the visual character of the corridor would change slightly under Alternative 1, but that the operational impacts would have no effect on the surrounding visual character, and would have no effect with respect to light and glare. As discussed further in the evaluation of construction impacts below, the aerial structure and aerial Greenwood station would introduce a new visual element in proximity to several historic buildings (the Pacific Metals Company Building [if the Montebello MSF site option is selected], the Goodyear Warehouse, Greenwood Elementary School, the South Montebello Irrigation District Building, and the William and Florence Kelly House). These resources are located in a setting that has already been extensively modified and includes modern infrastructure. While the aerial structure and station would introduce a permanent element to the visual environment, it would not change the historic character of the buildings or substantially degrade the existing visual character or quality of public views of the buildings and their surroundings. Because the aboveground setting already features modern structures, traffic activities, and infrastructure, none of the historical resources in the APE would be materially impaired by operation of the LRT; Alternative 1 operational activities would blend with the existing traffic pattern along Washington Boulevard. Therefore, visual changes would not cause a substantial adverse change in the significance of a historic resource.

As described above, direct and indirect impacts on historical resources (i.e., visual, audible, or atmospheric intrusions) would not cause a substantial adverse change in the significance of a historic resource. Operational impacts on historical resources would be less than significant.

## Design Options

### *Atlantic/Pomona Station Option*

Operation of Alternative 1 with the Atlantic/Pomona Station Option would not affect historical resources differently than the base Alternative 1. Operation of Alternative 1 with the Atlantic/Pomona Station Option would have no direct or indirect impacts on any historical resources or their immediate surroundings due to the distance of the alignment from historical resources in the APE. There are no historical resources within the vicinity of the Atlantic/Pomona Station Option; the nearest historical resource, the Golden Gate Theater, is located over 0.5 miles away from the Atlantic/Pomona Station Option along the underground portion of the alignment, and it would not be directly or indirectly affected. Operation of Alternative 1 with the Atlantic/Pomona Station Option would have less than significant noise, vibration, and visual impacts and would not cause a substantial adverse change to a historic resource. Thus, operation of Alternative 1 with the Atlantic/Pomona Station Option would have a less than significant impact on historical resources.

### *Montebello At-Grade Option*

Greenwood School, the South Montebello Irrigation District Building, and the William and Florence Kelly House are located within the vicinity of the Montebello At-Grade Option. As with the base Alternative 1, these resources would not be physically demolished, destroyed, relocated, or altered. The at-grade alignment would introduce new visual, audible, and atmospheric elements within the immediate surroundings; however, the setting of the buildings is modern and adjacent to a major road

within existing sources of noise and vibration. Noise and vibration impacts would not exceed the FTA moderate noise impact criteria (noise) or FTA frequent impact criteria (vibration) at these historical resources, and thus, these resources would not be susceptible to significant noise or vibration impacts that could cause a substantial adverse change to a historic resource. Further, the at-grade alignment and station would follow the existing transportation corridor and would not limit views of the resources. Operation of The Montebello At-Grade Option segment of the alignment would not have significant impacts on any historical resources. Operation of the remainder of Alternative 1 would also have less than significant noise, vibration, and visual impacts and would not cause a substantial adverse change to a historical resource. Therefore, operation of Alternative 1 with the Montebello At-Grade Option would have less than significant impacts on historical resources.

### 7.1.1.2 Construction Impacts

Project activities during construction of the alignment would include property acquisitions, demolition of historical resources, and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new infrastructure that would demolish or alter historical resources and/or their immediate surroundings.

#### 7.1.1.2.1 Golden Gate Theater, 5176 Whittier Boulevard

The Golden Gate Theater is significant for its social interrelationship with the surrounding community and as an excellent example of Art Deco and Spanish Churrigueresque style. Alternative 1 would construct the guideway alignment with a tunnel configuration beneath Atlantic Boulevard and the Atlantic/Whittier station, an underground, center platform station located beneath the intersection of Atlantic and Whittier Boulevards. The depth of excavation for the tunnel alignment and the underground stations would extend to approximately 60 feet below ground surface (bgs). The guideway and station would be within roughly 80 feet of the Golden Gate Theater. Construction methods may use heavy equipment, including excavators, cranes, tractor trailer rigs, loaders, earthmovers asphalt milling machines, asphalt paving machines, tunnel boring machines (TBMs), loaders, bulldozers, dump trucks, compactors/rollers, and concrete trucks.

Under Alternative 1, the Golden Gate Theater would not be physically demolished, destroyed, relocated, or altered. Due to the underground nature of the improvements, no permanent visual impacts on this historical resource or its setting are anticipated from the guideway and station. Construction of the guideway and station has the potential to cause vibrations and ground settlement adjacent that could impact the Golden Gate Theater. Vibration levels from construction activities along Alternative 1 would include the use of TBMs, bulldozers, dump trucks, and vibratory rollers. The use of impact pile drivers would be avoided whenever possible to eliminate the potential of vibration impacts (such as minor cosmetic structural damage) at nearby sensitive receptors. As a result of the preliminary construction vibration estimates identified in the Noise and Vibration Impacts Report, construction activities are predicted to exceed the FTA impact criteria at the closest residences and commercial properties (none are historic resources). Therefore, a significant impact on the Golden Gate Theater would occur. MM CUL-1, as identified in **Section 8.1.1** would require building protection measures to be put in place, such as ground improvements and/or use of lower vibration-generating construction equipment, as identified in a pre-construction survey, MM CUL-1 would reduce the potential for vibration generated during construction activities to damage the Golden Gate Theater. See **Section 8.1.1** for the proposed mitigation and impacts after incorporation of mitigation.



### 7.1.1.2.2 Vail Field Industrial Addition

The Vail Field Industrial Addition is a potential historic district that is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the area of industrial community planning and development in the growing Los Angeles metropolitan area during the period of significance from 1951 to 1960 and under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack individual distinction. The Vail Field Industrial Addition was identified as a potential historic district with at least 40 contributors, 20 noncontributors, and 41 potential contributors that were identified via desktop survey but require further investigation and evaluation. Alternative 1 would construct the guideway alignment with a tunnel configuration beneath Smithway Street and daylighting after crossing Saybrook Avenue to transition to an aerial structure that would parallel Washington Boulevard. It would continue in an aerial configuration along Washington Boulevard, within the potential historic district boundary, and then merge into the center median of Washington Boulevard around Garfield Avenue. The alignment would transition to an at-grade configuration at Montebello Boulevard. The alignment would be located beneath and adjacent to the southeast portion of the potential historic district.

Alternative 1 would acquire six properties containing historical resources that contribute to the potential historic district (not including proposed acquisitions related to the Commerce MSF site option discussed below in **Section 7.1.4**):

- 2343 Saybrook Avenue (Assessor's parcel number [APN] 6336-011-007)
- 2401 Saybrook Avenue (APN 6336-010-013)
- 6466 Gayhart Street (APN 6336-011-012)
- 6565 Washington Boulevard (APN 6336-011-013)
- 6625 East Washington Boulevard (APN 6336-013-012)
- 2187 Garfield Avenue (APN 6336-013-014) (Pacific Metals Company, see additional information in **Section 7.1.1.2.3** below)

In general, acquired properties would be used for TPSS locations, station locations, parking facilities, ROW clearing, and station/loading platform construction. The properties identified above would be acquired primarily as ROW acquisition to enable construction of the guideway. Of the six resources, only the Pacific Metals Company Building is an individually eligible historical resource.

Under Alternative 1, six contributing resources to the Vail Field Industrial Addition would be acquired and potentially demolished. Physical demolition of these district contributors would impair the significance of the potential historic district, by removing in an adverse manner some of the physical characteristics of the historical resource that conveys its significance. However, the demolition of these peripheral contributors would leave the core of the potential historic district intact with a sufficient number of contributors with characteristics to convey its historical significance (not including proposed changes related to the Commerce MSF site option discussed below in **Section 7.1.4**). The potential historic district, with a reduced boundary, would still convey its historical significance and would be eligible for listing in the CRHR; therefore, Alternative 1 would not have a

substantial adverse change on the Vail Field Industrial Addition and would result in a less than significant impact.

In addition, the transition from the guideway to an aerial structure would be located within the boundary and setting of the Vail Field Industrial Addition. The district is an entity of various industrial facilities and its setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views within or of the district. The alteration of the setting with the new visual element of the aerial structure would not change the district's historic character or materially impair its significance and would result in a less than significant impact.

### 7.1.1.2.3 Pacific Metals Company, 2187 Garfield Avenue

The Pacific Metals Company building is individually significant for its associations with industry and for its architecture and also contributes to the Vail Field Industrial Addition. As discussed further in **Section 7.3.4.1.1**, if the Commerce MSF site option is selected, Alternative 1 would acquire the property and demolish the building for the construction of an aerial structure parallel to Washington Boulevard. Under Alternative 1 with the Commerce MSF site option, the historical resource would be acquired and demolished. Physical demolition would materially impair the significance of the historical resource and would result in a significant impact if the Commerce MSF site option is selected. MM CUL-2 and MM CUL-3 identified in **Section 8.1.1**, require preparation of historical archival documentation and an interpretive program that identify the historical significance of the building. MM CUL-2 and MM CUL-3 would ensure that information about the historic resource is preserved, which would reduce impacts; however, because the historic resource would be demolished, impacts would remain significant and unavoidable. See **Section 8.1.1** for the proposed mitigation and impacts after incorporation of mitigation.

As discussed further in **Section 7.1.4.2.2**, if the Montebello MSF site option is selected, the aerial structure would be located in the median of Washington Boulevard between Gayhart Street and Yates Avenue, approximately 60 feet from the southeast corner of the Pacific Metals Company building. The Pacific Metals Company building would not be acquired, and it would not be physically demolished, destroyed, relocated, or altered. The historical resource's setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views of the resource. The new aerial structure would introduce a new visual element but would not change the historic character of the building. The alteration of the setting with the new visual element of the aerial structure would not materially impair its significance and would result in a less than significant impact if the Montebello MSF site option is selected.

### 7.1.1.2.4 Goodyear Warehouse, 2353 Garfield Avenue

The Goodyear Warehouse is individually significant for its associations with industry and also it contributes to the Vail Field Industrial Addition. Alternative 1 would construct of an aerial structure parallel to Washington Boulevard, approximately 110 feet from the northwest corner of the Goodyear Warehouse.

Under Alternative 1, the aerial structure would be located opposite Washington Boulevard, and the Goodyear Warehouse would not be physically demolished, destroyed, relocated, or altered. The historical resource's setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views of the resource. The new aerial structure across the street would introduce a new visual element but would not change the historic character of the

building. The new aerial structure would not limit views within the property or primary views of its character defining features. Further, the building is located in setting that has already been extensively modified and the alteration of the setting with the new visual element of the aerial structure would not materially impair the building's significance and would result in a less than significant impact.

#### **7.1.1.2.5 Greenwood Elementary School, 900 South Greenwood Avenue**

The Greenwood Elementary School is significant for its contribution to the patterns of school building in Southern California during its period of significance, 1947–1948. Near Greenwood Elementary School, Alternative 1 would construct an aerial alignment in the center of Washington Boulevard, including the aerial guideway and its foundations, aerial station, utility relocations, overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, roadway improvements, reconstruction of parking facilities, and lighting and traffic signal modifications. The station would include a side platform station located in the median of Washington Boulevard east of Greenwood Avenue and a parking facility along Greenwood Avenue and Washington Boulevard. The alignment would be approximately 450 feet from the school and separated by the proposed parking facility.

Under Alternative 1, the Greenwood Elementary School would not be physically demolished, destroyed, relocated, or altered. Due to the considerable distance between the Greenwood Elementary School and Washington Boulevard, no visual impacts on this historical resource or its setting are anticipated from the at-grade alignment or station. The lot adjacent to the school to the south is already paved, serves a similar use, and would be minimally altered to serve as a parking facility. Changes adjacent to the Greenwood Elementary School would result in no impact. Thus, construction of Alternative 1 would result in a less than significant impact.

#### **7.1.1.2.6 South Montebello Irrigation District Building, 864 Washington Boulevard**

The South Montebello Irrigation District Building is significant for its associations with agriculture and as an intact example of a modestly scaled administrative building. Alternative 1 would be aerial in the center of Washington Boulevard near the South Montebello Irrigation District Building and the Greenwood station. The construction would include the aerial guideway and its foundations, aerial station, utility relocations, overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, roadway improvements, reconstruction of parking facilities, and lighting and traffic signal modifications. The station would include a side platform station located in the median of Washington Boulevard east of Greenwood Avenue and a parking facility along Greenwood Avenue and Washington Boulevard. The Greenwood station would be approximately 60 feet in front of the building.

Under Alternative 1, the South Montebello Irrigation District building would not be physically demolished, destroyed, relocated, or altered. The Greenwood station and the parking facilities adjacent to the building would introduce new visual, audible, and atmospheric elements within its immediate surroundings. However, the setting of the building has already been extensively modified and includes modern infrastructure and uses. The setting does not convey its historical associations to agriculture as it did during the building's period of significance of 1941. Although the proposed station would introduce a permanent visual element directly in front of the building, the relative height of the raised platform will not block any significant views of the historical resource, such as the view of the façade

from the sidewalk or the westbound side of Washington Boulevard. The existing setting would be left largely intact. The lots adjacent to the school to the north and west are already paved, serve a similar use, and would be minimally altered to serve as a surface parking facility. Because the setting of the building is already compromised by modern development and activities, the significance of the historical resource would not be materially impaired; therefore, Alternative 1 would result in a less than significant impact.

### **7.1.1.2.7 William and Florence Kelly House, 860 Washington Boulevard**

The William and Florence Kelly House is significant for its association with the residential development of Montebello in the pre-World War II era. Near the William and Florence Kelly House, Alternative 1 would construct an aerial alignment in the center of Washington Boulevard, including the aerial guideway and its foundations, aerial station, utility relocations, overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, roadway improvements, reconstruction of parking facilities, and lighting and traffic signal modifications. The station would include a side platform station located in the median of Washington Boulevard east of Greenwood Avenue and a parking facility along Greenwood Avenue and Washington Boulevard. The Greenwood station would be approximately 60 feet in front of the building.

Under Alternative 1, the William and Florence Kelly House would not be physically demolished, destroyed, relocated, or altered. The aerial structure, Greenwood station, and the parking facility to the north would introduce new visual, audible, and atmospheric elements within its immediate surroundings. However, the setting of the building has already been extensively modified and includes modern infrastructure and uses. The setting does not convey the associations the building had relative to agricultural purposes as it did during the building's period of significance, 1937. Although the proposed station would introduce a permanent visual element directly in front of the building, the relative height of the raised platform will not block any significant views of the historical resource, such as the view of the façade from the sidewalk or the westbound side of Washington Boulevard. The existing setting would be left largely intact. The lot adjacent to the building to the north is already paved, serves a similar use, and would be minimally altered to serve as a surface parking facility. Because the setting of the building is already compromised by modern development and activities, the significance of the historical resource would not be materially impaired; therefore, Alternative 1 would result in a less than significant impact.

### **7.1.1.2.8 Site of the Battle of Rio San Gabriel**

The Site of the Battle of Rio San Gabriel is a CHL and significant for its associations with military history as the site of the 1847 Mexican-American War battle; no physical features (historical or archaeological) associated with the site have been identified. Alternative 1 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, ROW clearing, pavement improvements, and lighting and traffic signal modifications; would require a partial property acquisition; and would replace the existing bridge over the Rio Hondo including substructures to carry both the LRT facility and the four-lane roadway.

Under Alternative 1, excavation related to the proposed bridge replacement and the partial property acquisition has the potential to encounter archaeological artifacts associated with the battle.

Disturbance of these resources would result in potentially significant impacts as identified under Impact CUL-2.

Changes to the Metro ROW and the new at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. However, the setting of the site has changed substantially since its period of significance, 1847. The setting has been altered by channelization of the river and the construction of Washington Boulevard, modern buildings, and other infrastructure. Because the setting is already compromised by modern development and activities, the significance of the historical resource would not be materially impaired; therefore, Alternative 1 would result in a less than significant impact.

#### **7.1.1.2.9 Dal Rae Restaurant, 9023 Washington Boulevard**

The Dal Rae Restaurant is significant for its associations with social history as an important and increasingly rare example of a fine dining restaurant and cocktail lounge from the post–World War II era. Alternative 1 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, ROW clearing, pavement improvements, and lighting and traffic signal modifications; would construct the Rosemead station, an aerial, side platform station located in center of Washington Boulevard west of Rosemead Boulevard; and would require a sliver property acquisition for restriping and curb-and-gutter/sidewalk reconstruction. The Rosemead station would be approximately 440 feet to the west of the historical resource.

Under Alternative 1, the Dal Rae Restaurant building would not be physically demolished, destroyed, or relocated. However, the sliver property acquisition would alter the parcel by reconfiguring the existing curb, sidewalk, and landscaping along Washington Boulevard. The curb, sidewalk, and landscaping do not contribute to the significance of the historical resource and are not a character-defining features. Adjacent to the sliver property acquisition is the two-sided neon pole sign, which is a character-defining feature of the historical resource. The sliver property acquisition would not alter the sign or any other significant features of the historical resource, but adjacent construction could disturb the feature. Therefore, a significant impact would occur. MM CUL-4, identified in **Section 8.1.1** requires avoidance of the Dal Rae Restaurant sign, including implementation of protection measures such as fencing or use of sensitive construction techniques. With implementation of MM CUL-4, the Dal Rae Restaurant sign would remain intact and impacts would be less than significant. See **Section 8.1.1** for the proposed mitigation and impacts after incorporation of mitigation.

The new at-grade alignment would introduce new visual, audible, and atmospheric elements within the immediate surroundings of the Dal Rae Restaurant. The setting of the building is modern and adjacent to a major road. The at-grade alignment would follow the existing transportation corridor and would not limit views of the resource. The alteration of the setting with the new visual element of the at-grade alignment would not materially impair its significance and would result in a less than significant impact.

#### **7.1.1.2.10 Atchison, Topeka & Santa Fe Railway Depot, 9122 Washington Boulevard**

The Atchison, Topeka & Santa Fe Railway Depot (Pico Rivera Historical Museum) is significant for its association with early transportation, agriculture and settlement, and for its architectural style and as a rare example of its type. Alternative 1 would construct the alignment at-grade in the center of

Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, ROW clearing, pavement improvements, and lighting and traffic signal modifications.

Under Alternative 1, the Atchison, Topeka & Santa Fe Railway Depot would not be physically demolished, destroyed, relocated, or altered. The new at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. However, the setting of the building already includes modern infrastructure and uses and has changed substantially since the building's period of significance, 1896. The at-grade alignment would follow the existing transportation corridor and would not limit views of the resource. The alteration of the setting with the new visual element of the at-grade alignment would not materially impair its significance and would result in a less than significant impact.

#### **7.1.1.2.11 Cliff May-Designed Ranch House, 6751 Lindsey Avenue**

The Cliff May-designed Ranch House at 6751 Lindsey Avenue is significant for its Ranch-style architectural design. Alternative 1 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, utility relocation, roadway improvements, and lighting and traffic signal modifications.

Under Alternative 1, the Cliff May-designed Ranch House would not be physically demolished, destroyed, relocated, or altered. The new at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. However, the setting of the building already includes modern infrastructure and uses and has changed since the building's period of significance, 1953 to 1956. The at-grade alignment would follow the existing transportation corridor and would not limit views of the resource. Because the setting already features modern development and activities, the significance of the historical resource would not be materially impaired; therefore, Alternative 1 would result in a less than significant impact.

#### **7.1.1.2.12 Steak Corral Restaurant, 11605 Washington Boulevard**

The Steak Corral Restaurant is significant for its associations with social history as a post-World War II theme restaurant and for its architectural design. Alternative 1 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, utility relocation, roadway improvements, and lighting and traffic signal modifications.

Under Alternative 1, the Steak Corral Restaurant would not be physically demolished, destroyed, or relocated. The new at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. The setting of the building is modern and adjacent to a major road. The at-grade alignment would follow the existing transportation corridor and would not limit views of the resource. The alteration of the setting with the new visual element of the at-grade alignment would not materially impair its significance and would result in a less than significant impact.

#### **7.1.1.2.13 Rheem Laboratory, 12000 Washington Boulevard**

The Rheem Laboratory is significant for its role in the development of manufacturing and scientific research in the Whittier/Santa Fe Springs area in the 1950s. Alternative 1 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems,

restriping, curb-and-gutter/sidewalk reconstruction, utility relocation, roadway improvements, and lighting and traffic signal modifications.

Under Alternative 1, the Rheem Laboratory would not be physically demolished, destroyed, or relocated. The new at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. The setting of the building is modern and adjacent to a major road. The at-grade alignment would follow the existing transportation corridor and would not limit views of the resource. The alteration of the setting with the new visual element of the at-grade alignment would not materially impair its significance and would result in a less than significant impact.

## Design Options

### *Atlantic/Pomona Station Option*

Construction of Alternative 1 with the Atlantic/Pomona Station Option would not affect historical resources differently than the base Alternative 1. No historical resources are within the vicinity of the Atlantic/Pomona Station Option. The Atlantic/Pomona Station Option segment of the alignment would have no direct or indirect impacts on any historical resources or their immediate surroundings due to the significant distance of from historical resources in the APE.

However, as with the base Alternative 1, construction of other portions of Alternative 1 would result in significant impacts on historical resources, including Golden Gate Theater, Pacific Metals Company with the Commerce MSF site option, and Dal Rae Restaurant. Therefore, although construction of the Atlantic/Pomona Station Option segment would not have a significant impact on historical resources construction of Alternative 1 with the Atlantic/Pomona Station Option would result in a significant impact on historical resources. Implementation of MM CUL-1, which requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater, would reduce vibration impacts on the Golden Gate Theater to less than significant. Implementation of MM CUL-2 and 3, which require preparation of historical archival documentation and an interpretive program for the Pacific Metals Company building, would reduce impacts but they would remain significant and unavoidable. Implementation of MM CUL-4, which requires avoidance of the Dal Rae Restaurant sign to prevent damage to the historical significance of the Dal Rae Restaurant, would reduce impacts to less than significant. See **Section 8.1.1** for the proposed mitigation and impacts after incorporation of mitigation.

### *Montebello At-Grade Option*

Greenwood School, the South Montebello Irrigation District Building, and the William and Florence Kelly House are located within the vicinity of the Montebello At-Grade Option. As with the base Alternative 1, these resources would not be physically demolished, destroyed, relocated, or altered. However, the at-grade alignment would introduce new visual, audible, and atmospheric elements within its immediate surroundings. The setting of the buildings is modern and adjacent to a major road. The at-grade alignment and station would follow the existing transportation corridor and would not limit views of the resource. The Montebello At-Grade Option segment of the alignment would not have significant impacts on any historical resources.

However, as with the base Alternative 1, construction of other portions of Alternative 1 would result in significant impacts on historical resources, including the Golden Gate Theater, Pacific Metals

Company with the Commerce MSF site option, and Dal Rae Restaurant. Therefore, although construction of the Montebello At-Grade Option segment would not have a significant impact on historical resources, construction of Alternative 1 with the Montebello At-Grade Option would result in a significant impact. Implementation of MM CUL-1, which requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater, would reduce vibration impacts on the Golden Gate Theater to less than significant. Implementation of MM CUL-2 and 3, which require preparation of historical archival documentation and an interpretive program for the Pacific Metals Company building, would reduce impacts but they would remain significant and unavoidable. Implementation of MM CUL-4, which requires avoidance of the Dal Rae Restaurant sign to prevent damage to the historical significance of the Dal Rae Restaurant, would reduce impacts to less than significant. See **Section 8.1.1** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.1.2 Alternative 2 Atlantic to Commerce/Citadel IOS

### 7.1.2.1 Operational Impacts

Project activities after construction of the alignment would be limited to the operation and maintenance of the LRT. Potential operational impacts on historical resources would be indirect (i.e., visual, audible, or atmospheric intrusions) and related to new LRT traffic within the ROW.

Under Alternative 2, operational impacts would not physically demolish, destroy, relocate, or alter any historical resources. The immediate surroundings, or setting, of the historical resources in the APE will be altered by the addition of LRT traffic within the ROW, either underground, on aerial structures, or at-grade within an existing street.

The Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report found that no severe noise impacts are predicted, and no severe noise impacts would occur on historical resources under Alternative 2. Therefore, operational noise would not cause a substantial adverse change in the significance of a historic resource.

The vibration assessment in the same report found that Project vibration levels do not impact any vibration sensitive historical resources. As identified in the Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report, construction of Alternative 2 with mitigation is expected to result in less than significant impacts. Therefore, operational vibration would not cause a substantial adverse change in the significance of a historic resource.

The visual assessment for the Project in the Eastside Transit Corridor Phase 2 Visual and Aesthetics Impacts Report found that the visual character of the corridor would change slightly under Alternative 2, but that the operational impacts would have no effect on the surrounding visual character, and no effect with respect to light and glare. Because the aboveground setting already features modern traffic activities, none of the historical resources in the APE would be materially impaired by operation of the LRT; Alternative 2 operational activities would blend with the existing traffic pattern along Washington Boulevard. Therefore, visual changes would not cause a substantial adverse change in the significance of a historic resource.



As described above, direct and indirect impacts on historical resources (i.e., visual, audible, or atmospheric intrusions) would not cause a substantial adverse change in the significance of a historic resource. Operational impacts on historical resources would be less than significant.

## Design Option

### *Atlantic/Pomona Station Option*

Operation of Alternative 2 with the Atlantic/Pomona Station Option would not physically demolish, destroy, relocate, or alter any historical resources. No severe noise impacts are predicted, and no severe noise impacts would occur on historical resources. Vibration levels would not impact any vibration sensitive historical resources. Therefore, operation of Alternative 2 with the Atlantic/Pomona Station Option would result in less than significant noise and vibration impacts and would not cause a substantial adverse change in the significance of a historic resource.

The visual character of the corridor would change slightly under Alternative 2 with the Atlantic/Pomona Station Option, however, operations would have a less than significant effect on the surrounding visual character and with respect to light and glare. Because the aboveground setting already features modern traffic activities, none of the historical resources in the APE would be materially impaired by operation of the LRT. Operational activities would blend with the existing traffic pattern along Washington Boulevard. Therefore, operation of Alternative 2 with the Atlantic/Pomona Station Option would not cause a substantial adverse change in the significance of a historic resource. Operation of Alternative 2 with the Atlantic/Pomona Station Option would have a less than significant impact on historical resources.

## 7.1.2.2 Construction Impacts

Project activities during construction of the alignment would include property acquisitions, demolition of historical resources, and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new infrastructure that would demolish or alter historical resources and/or their immediate surroundings.

### 7.1.2.2.1 Golden Gate Theater, 5176 Whittier Boulevard

The Golden Gate Theater is significant for its social interrelationship with the surrounding community and as an excellent example of Art Deco and Spanish Churrigueresque style. Alternative 2 would construct the guideway alignment with a tunnel configuration beneath Atlantic Boulevard and the Atlantic/Whittier station, an underground, center platform station located beneath the intersection of Atlantic and Whittier Boulevards. The guideway and station would be within roughly 80 feet of the Golden Gate Theater. Construction methods may use heavy equipment, including excavators, cranes, tractor trailer rigs, loaders, earthmovers asphalt milling machines, asphalt paving machines, TBM, loaders, bulldozers, dump trucks, compactors/rollers, and concrete trucks.

Under Alternative 2, the Golden Gate Theater would not be physically demolished, destroyed, relocated, or altered. Due to the underground nature of the improvements, no permanent visual impacts on this historical resource or its setting are anticipated from the guideway and station. Construction of the guideway and station has the potential to cause vibrations and ground settlement

adjacent that could impact the Golden Gate Theater. Vibration levels from construction activities along Alternative 2 would include the use of TBMs, bulldozers, dump trucks, and vibratory rollers. The use of impact pile drivers would be avoided whenever possible to eliminate the potential of vibration impacts (such as minor cosmetic structural damage) at nearby sensitive receptors. As a result of the preliminary construction vibration estimates identified in the Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report, construction activities are predicted to exceed the FTA impact criteria at the closest residences and commercial properties. Therefore, a significant impact would occur. MM CUL-1, as identified in **Section 8.1.1**, would require building protection measures to be put in place, such as ground improvements and/or use of lower vibration-generating construction equipment, as identified in a pre-construction survey. MM CUL-1 would reduce the potential for vibration generated during construction activities to damage the Golden Gate Theater. See **Section 8.1.2** for the proposed mitigation and impacts after incorporation of mitigation.

### 7.1.2.2.2 Vail Field Industrial Addition

The Vail Field Industrial Addition is a potential historic district that is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the area of industrial community planning and development in the growing Los Angeles metropolitan area during the period of significance from 1951 to 1960 and under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack individual distinction. Forty buildings that contribute to the potential historic district have been identified. Alternative 2 would construct the guideway alignment with a tunnel configuration beneath Smithway Street and daylighting after crossing Saybrook Avenue to transition to an aerial structure that would parallel Washington Boulevard. It would continue in an aerial configuration along Washington Boulevard, within the potential historic district boundary, and then merge into the center median of Washington Boulevard around Garfield Avenue. The alignment would transition to an at-grade configuration at Montebello Boulevard. The alignment would be located beneath and adjacent to the southeast portion of the potential historic district.

Alternative 2 would acquire five properties containing historical resources that contribute to the potential historic district (not including proposed acquisitions related to the Commerce MSF site option discussed below in **Section 7.1.4**):

- 2343 Saybrook Avenue (APN 6336-011-007)
- 2401 Saybrook Avenue (APN 6336-010-013)
- 6466 Gayhart Street (APN 6336-011-012)
- 6565 Washington Boulevard (APN 6336-011-013)
- 6625 East Washington Boulevard (APN 6336-013-012)

The acquired properties would be used for TPSS locations, station locations, parking facilities, ROW clearing, and station/loading platform construction. Construction staging areas lay down areas, and other construction support functions could be located at sites that would be permanently acquired.

Under Alternative 2, five contributing resources to the Vail Field Industrial Addition would be acquired and potentially demolished. Physical demolition of these district contributors would impair the significance of the potential historic district, by removing in an adverse manner some of the physical

characteristics of the historical resource that conveys its significance. However, the demolition of these peripheral contributors would leave the core of the potential historic district intact with a sufficient number of contributors with characteristics to convey its historical significance (not including proposed changes related to the Commerce MSF site option discussed below in **Section 7.1.4**). The potential historic district, with a reduced boundary, would still convey its historical significance and would be eligible for listing in the CRHR; therefore, Alternative 2 would not have a substantial adverse change on the Vail Field Industrial Addition and would result in a less than significant impact.

In addition, the transition from the guideway to an aerial structure would be located within the boundary and setting of the Vail Field Industrial Addition. The district is an entity of various industrial facilities and its setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views within or of the district. The alteration of the setting with the new visual element of the aerial structure would not change the district's historic character or materially impair its significance and would result in a less than significant impact.

### **7.1.2.2.3 Pacific Metals Company, 2187 Garfield Avenue**

The Pacific Metals Company building is individually significant for its associations with industry and for its architecture and also contributes to the Vail Field Industrial Addition. Alternative 2 would terminate at the Commerce/Citadel station, approximately 1,400 feet from the Pacific Metals Company building, although the lead tracks to the Commerce MSF would extend further east approximately 480 feet from the building,

Under Alternative 2, the Pacific Metals Company Building would not be physically demolished, destroyed, relocated, or altered. The new lead tracks would not limit views of the resource. The new lead tracks would introduce a new visual element but would not change the historic character of the building. The alteration of the setting with the new visual element of the lead tracks would not materially impair its significance and would result in a less than significant impact.

### **7.1.2.2.4 Goodyear Warehouse, 2353 Garfield Avenue**

The Goodyear Warehouse is individually significant for its associations with industry and also contributes to the Vail Field Industrial Addition. Alternative 2 would construct of an aerial structure parallel to Washington Boulevard, approximately 110 feet from the northwest corner of the Goodyear Warehouse.

Under Alternative 2, the aerial structure would be located opposite Washington Boulevard, and the Goodyear Warehouse would not be physically demolished, destroyed, relocated, or altered. The historical resource's setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views of the resource. The new aerial structure across the street would introduce a new visual element but would not change the historic character of the building. The alteration of the setting with the new visual element of the aerial structure would not materially impair its significance and would result in a less than significant impact.

## Design Option

### *Atlantic/Pomona Station Option*

Construction of Alternative 2 with the Atlantic/Pomona Station Option would result in significant impacts on one historical resource, the Golden Gate Theater. No historical resources are within the vicinity of the Atlantic/Pomona Station Option; therefore, the Atlantic/Pomona Station Option would have no direct or indirect impacts on historical resources or their immediate surroundings due to the significant distance from historical resources in the APE. Overall, construction of Alternative 2 with the Atlantic/Pomona Station Option would result in a significant impact. MM CUL-1, which requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater, would reduce vibration impacts on the Golden Gate Theater to less than significant. See **Section 8.1.2** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.1.3 Alternative 3 Atlantic to Greenwood IOS

### 7.1.3.1 Operational Impacts

Project activities after construction of the alignment would be limited to the operation and maintenance of the LRT. Potential operational impacts on historical resources would be indirect (i.e., visual, audible, or atmospheric intrusions) and related to new LRT traffic within the ROW. All other potential impacts that are related to Alternative 1 Washington would be avoided under the IOS options.

Under Alternative 3, operational impacts would not physically demolish, destroy, relocate, or alter any historical resources. The immediate surroundings, or setting, of the historical resources in the APE will be altered by the addition of LRT traffic within the ROW, either underground, on aerial structures, or at-grade within an existing street.

The Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report found that corridor-wide project noise levels along Alternative 1 are predicted to exceed the FTA moderate impact criteria at 28 residences (none are historic resources) and Greenwood Elementary School (a historic resource). Moderate noise levels at Greenwood Elementary School would not affect the resource's significance or alter its character-defining features. Noise impacts would not exceed the FTA moderate noise impact criteria at any historical resources under Alternative 2. Thus, operation of Alternative 3 would have less than significant noise impacts and would not cause a substantial adverse change in the significance of a historical resource.

The vibration assessment in the same report found that Project vibration levels are predicted to exceed the FTA frequent impact criteria at 85 residences and two schools (none are historical resources). These impacts are due to the proximity of residences to proposed switches and proximity to the tunnel section of the alignment. Maximum vibration levels at historic resources along the proposed Washington Alternative are predicted to range from 67 VdB at the Golden Gate Theater to 70 VdB at the Former AT&SF Depot (along Washington Boulevard). Due to the strategic location of switches, none of the vibration levels predicted at historical resources are predicted to exceed the FTA frequent impact criteria along Alternative 3. Thus, operation of Alternative 3 would have a less than significant

vibration impact and would not cause a substantial adverse change in the significance of a historical resource.

The visual assessment for the Project in the Visual and Aesthetics Impacts Report found that the visual character of the corridor would change slightly under Alternative 3, but that the operational impacts would have no effect on the surrounding visual character, and no effect with respect to light and glare. Because the aboveground setting already features modern traffic activities, none of the historical resources in the APE would be materially impaired by operation of the LRT; Alternative 3 operational activities would blend with the existing traffic pattern along Washington Boulevard. therefore, visual changes would not cause a substantial adverse change in the significance of a historic resource.

As described above, direct and indirect impacts on historical resources (i.e., visual, audible, or atmospheric intrusions) would not cause a substantial adverse change in the significance of a historic resource. Operational impacts on historical resources would be less than significant.

## Design Options

### *Atlantic/Pomona Station Option*

As with the base Alternative 3, operation of Alternative 3 with the Atlantic/Pomona Station Option would not physically demolish, destroy, relocate, or alter any historical resources. The immediate surroundings, or setting, of the historical resources in the APE will be altered by the addition of LRT traffic within the ROW, either underground, on aerial structures, or at-grade within an existing street.

The Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report found that corridor-wide project noise levels along Alternative 3 are predicted to exceed the FTA moderate impact criteria at 28 residences (none are historic resources) and Greenwood Elementary School (a historical resource). Moderate noise levels at Greenwood Elementary School would not affect the resource's significance or alter its character-defining features. Noise impacts would not exceed the FTA moderate noise impact criteria at any historical resources. Because switches are not sited in close proximity to historical resources, none of the vibration levels predicted at historical resources are predicted to exceed the FTA frequent impact criteria along the alignment. Therefore, operation Alternative 3 with the Atlantic/Pomona Station Option would have less than significant noise and vibration impacts and would not cause a substantial adverse change in the significance of a historical resource.

Operation of Alternative 3 with the Atlantic/Pomona Station Option would have a less than significant effect on the surrounding visual character and no effect with respect to light and glare. Because the aboveground setting already features modern traffic activities, none of the historical resources in the APE would be materially impaired by operation of the LRT. Operational activities would blend with the existing traffic pattern along Washington Boulevard. Therefore, visual changes associated with operation of Alternative 3 with the Atlantic/Pomona Station Option would not cause a substantial adverse change in the significance of a historical resource. Operation of Alternative 3 with the Atlantic/Pomona Station Option would have a less than significant impact on historical resources.

### *Montebello At-Grade Option*

As with the base Alternative 3, operation of Alternative 3 with the Montebello At-Grade Option would not physically demolish, destroy, relocate, or alter any historical resources. The immediate

surroundings, or setting, of the historical resources in the APE will be altered by the addition of LRT traffic within the ROW, either underground, on aerial structures, or at-grade within an existing street.

The Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report found that corridor-wide project noise levels along Alternative 3 are predicted to exceed the FTA moderate impact criteria at 28 residences (none are historic resources) and Greenwood Elementary School (a historical resource). Moderate noise levels at Greenwood Elementary School would not affect the resource's significance or alter its character-defining features. Noise impacts would not exceed the FTA moderate noise impact criteria at any historical resources. Under CEQA, moderate impacts are not considered significant. Because switches are not sited in close proximity to historical resources, none of the vibration levels predicted at historical resources are predicted to exceed the FTA frequent impact criteria along the alignment. Therefore, operation of Alternative 3 with the Montebello At-Grade Option would have less than significant noise and vibration impacts and would not cause a substantial adverse change in the significance of a historical resource.

Operation of Alternative 3 with the Montebello At-Grade Option would have a less than significant effect on the surrounding visual character and no effect with respect to light and glare. Because the aboveground setting already features modern traffic activities, none of the historical resources in the APE would be materially impaired by operation of the LRT. Operational activities would blend with the existing traffic pattern along Washington Boulevard. Therefore, visual changes associated with operation of Alternative 3 with the Montebello At-Grade Option would not cause a substantial adverse change in the significance of a historical resource. Operation of Alternative 3 with the Atlantic/Pomona Station Option would have a less than significant impact on historical resources.

### **7.1.3.2 Construction Impacts**

Project activities during construction of the alignment would include property acquisitions, demolition of historical resources, and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new infrastructure that would demolish or alter historical resources and/or their immediate surroundings.

#### **7.1.3.2.1 Golden Gate Theater, 5176 Whittier Boulevard**

The Golden Gate Theater is significant for its social interrelationship with the surrounding community and as an excellent example of Art Deco and Spanish Churrigueresque style. Alternative 3 would construct the guideway alignment with a tunnel configuration beneath Atlantic Boulevard and the Atlantic/Whittier station, an underground, center platform station located beneath the intersection of Atlantic and Whittier Boulevards. The depth of excavation for the tunnel alignment and the underground stations would extend to approximately 60 feet bgs. The guideway and station would be within roughly 80 feet of the Golden Gate Theater. Construction methods may use heavy equipment, including excavators, cranes, tractor trailer rigs, loaders, earthmovers asphalt milling machines, asphalt paving machines, TBM, loaders, bulldozers, dump trucks, compactors/rollers, and concrete trucks.

Under Alternative 3, the Golden Gate Theater would not be physically demolished, destroyed, relocated, or altered. Due to the underground nature of the improvements, no permanent visual impacts on this historical resource or its setting are anticipated from the guideway and station. Construction of the guideway and station has the potential to cause vibrations and ground settlement

adjacent that could impact the Golden Gate Theater. Vibration levels from construction activities along Alternative 3 would include the use of TBMs, bulldozers, dump trucks, and vibratory rollers. The use of impact pile drivers would be avoided whenever possible to eliminate the potential of vibration impacts (such as minor cosmetic structural damage) at nearby sensitive receptors. As a result of the preliminary construction vibration estimates identified in the Eastside Transit Corridor Phase 2 Noise and Vibration Impacts Report, construction activities are predicted to exceed the FTA impact criteria at the closest residences and commercial properties. Therefore, a significant impact would occur. MM CUL-1, as identified in **Section 8.1.1**, would require building protection measures to be put in place, such as ground improvements and/or use of lower vibration-generating construction equipment, as identified in a pre-construction survey. MM CUL-1 would reduce the potential for vibration generated during construction activities to damage the Golden Gate Theater. See **Section 8.1.3** for the proposed mitigation and impacts after incorporation of mitigation.

### 7.1.3.2.2 Vail Field Industrial Addition

The Vail Field Industrial Addition is a potential historic district that is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the area of industrial community planning and development in the growing Los Angeles metropolitan area during the period of significance from 1951 to 1960 and under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack individual distinction. Forty buildings that contribute to the potential historic district have been identified. Alternative 3 would construct the guideway alignment with a tunnel configuration beneath Smithway Street and daylighting after crossing Saybrook Avenue to transition to an aerial structure that would parallel Washington Boulevard. It would continue in an aerial configuration along Washington Boulevard, within the potential historic district boundary, and then merge into the center median of Washington Boulevard around Garfield Avenue. The alignment would transition to an at-grade configuration at Montebello Boulevard. The alignment would be located beneath and adjacent to the southeast portion of the historic district.

Alternative 3 would acquire six properties containing historical resources that contribute to the potential historic district (not including proposed acquisitions related to the Commerce MSF site option discussed below in **Section 7.1.4**):

- 2343 Saybrook Avenue (APN 6336-011-007)
- 2401 Saybrook Avenue (APN 6336-010-013)
- 6466 Gayhart Street (APN 6336-011-012)
- 6565 Washington Boulevard (APN 6336-011-013)
- 6625 East Washington Boulevard (APN 6336-013-012)
- 2187 Garfield Avenue (APN 6336-013-014) (Pacific Metals Company, see additional information in **Section 7.1.2.2.3**)

The acquired properties would be used for TPSS locations, station locations, parking facilities, ROW clearing, and station/loading platform construction. Construction staging areas lay down areas, and other construction support functions could be located at sites that would be permanently acquired.

Under Alternative 3, six contributing resources to the Vail Field Industrial Addition would be acquired and potentially demolished. Physical demolition of these district contributors would impair the significance of the potential historic district, by removing in an adverse manner some of the physical characteristics of the historical resource that conveys its significance. However, the demolition of these peripheral contributors would leave the core of the potential historic district intact with a sufficient number of contributors with characteristics to convey its historical significance (not including proposed changes related to the Commerce MSF site option discussed below in **Section 7.1.4**). The potential historic district, with a reduced boundary, would still convey its historical significance and would be eligible for listing in the CRHR; therefore, Alternative 3 would not have a substantial adverse change on the Vail Field Industrial Addition and would result in a less than significant impact.

In addition, the transition from the guideway to an aerial structure would be located within the boundary and setting of the Vail Field Industrial Addition. The district is an entity of various industrial facilities and its setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views within or of the district. The alteration of the setting with the new visual element of the aerial structure would not change the district's historic character or materially impair its significance and would result in a less than significant impact.

### 7.1.3.2.3 Pacific Metals Company, 2187 Garfield Avenue

The Pacific Metals Company building is individually significant for its associations with industry and for its architecture and also contributes to the Vail Field Industrial Addition. As discussed further in **Section 7.3.4.1.1**, if the Commerce MSF site option is selected, Alternative 3 with the Commerce MSF site option would acquire the property and demolish the building for the construction of an aerial structure parallel to Washington Boulevard. Physical demolition would materially impair the significance of the historical resource and would result in a significant impact if the Commerce MSF site option is selected. MM CUL-2 and MM CUL-3 identified in **Section 8.1.3**, require preparation of historical archival documentation and an interpretive program that identify the historical significance of the building. MM CUL-4 and MM CUL-5 would ensure that information about the historic resource is preserved, which would reduce impacts; however, because the historic resource would be demolished, impacts would remain significant and unavoidable. See **Section 8.1.3** for the proposed mitigation and impacts after incorporation of mitigation.

As discussed further in **Section 7.1.4.2.2**, if the Montebello MSF site option is selected, the aerial structure would be located in the median of Washington Boulevard between Gayhart Street and Yates Avenue approximately 60 feet from the southeast corner of the Pacific Metals Company building. The Pacific Metals Company building would not be acquired, and it would not be physically demolished, destroyed, relocated, or altered. The historical resource's setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views of the resource. The new aerial structure would introduce a new visual element but would not change the historic character of the building. The alteration of the setting with the new visual element of the aerial structure would not materially impair its significance and would result in a less than significant impact if the Montebello MSF site option is selected.

### 7.1.3.2.4 Goodyear Warehouse, 2353 Garfield Avenue

The Goodyear Warehouse is individually significant for its associations with industry and also contributes to the Vail Field Industrial Addition. Alternative 3 would construct of an aerial structure



parallel to Washington Boulevard, approximately 110 feet from the northwest corner of the Goodyear Warehouse.

Under Alternative 3, the aerial structure would be located opposite Washington Boulevard, and the Goodyear Warehouse would not be physically demolished, destroyed, relocated, or altered. The historical resource's setting is industrial. The aerial structure would generally follow existing transportation corridors and would not limit views of the resource. The new aerial structure across the street would introduce a new visual element but would not change the historic character of the building. The alteration of the setting with the new visual element of the aerial structure would not materially impair its significance and would result in a less than significant impact.

### **7.1.3.2.5 Greenwood Elementary School, 900 South Greenwood Avenue**

The Greenwood Elementary School is significant for its contribution to the patterns of school building in Southern California during its period of significance, 1947–1948. Alternative 3 would construct the alignment at-grade in the center of Washington Boulevard, including overhead catenary systems, restriping, curb-and-gutter/sidewalk reconstruction, ROW clearing, pavement improvements, and lighting and traffic signal modifications; the Greenwood station, an aerial, side platform station located in the median of Washington Boulevard east of Greenwood Avenue; and a parking facility along Greenwood Avenue and Washington Boulevard. The alignment would be approximately 450 feet from the school and separated by the proposed parking facility location.

Under Alternative 3, the Greenwood Elementary School would not be physically demolished, destroyed, relocated, or altered. Due to the considerable distance between the Greenwood Elementary School and Washington Boulevard, no visual impacts on this historical resource or its setting are anticipated from the at-grade alignment or station. The lot adjacent to the school to the south is already paved, serves a similar use, and would be minimally altered to serve as a surface parking facility. Changes adjacent to the Greenwood Elementary School would result in no impact.

## **Design Options**

### ***Atlantic/Pomona Station Option***

Construction of Alternative 3 with the Atlantic/Pomona Station Option would result in significant impacts on historical resources, including the Golden Gate Theater, Vail Field Industrial Addition, Pacific Metals Company (if the Commerce MSF site option is selected), and Goodyear Warehouse. No historical resources are within the vicinity of the Atlantic/Pomona Station Option; therefore, the Atlantic/Pomona Station Option would have no direct or indirect impacts on any historical resources or their immediate surroundings due to the significant distance of from historical resources in the APE. Overall, construction of Alternative 3 with the Atlantic/Pomona Station Option would result in a significant impact. Implementation of MM CUL-1, which requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater, would reduce vibration impacts on the Golden Gate Theater to less than significant. Implementation of MM CUL-2 and 3, which require preparation of historical archival documentation and an interpretive program for the Pacific Metals Company building, would reduce impacts but they would remain significant and unavoidable. See **Section 8.1.3** for the proposed mitigation and impacts after incorporation of mitigation.

### **Montebello At-Grade Option**

Construction of the base Alternative 3 or Alternative 3 with the Montebello At-Grade Option would result in significant impacts on historical resources, including the Golden Gate Theater, Vail Field Industrial Addition, Pacific Metals Company (if the Commerce MSF site option is selected), and Goodyear Warehouse.

The Montebello At-Grade Option is located within the vicinity of the Greenwood School, the South Montebello Irrigation District Building, and the Willian and Florence Kelly House. These resources would not be physically demolished, destroyed, relocated, or altered, and there would be no significant impacts on these buildings. However, overall, construction of Alternative 3 with the Montebello At-Grade Option would result in a significant impact. Implementation of MM CUL-1, which requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater, would reduce vibration impacts on the Golden Gate Theater to less than significant. Implementation of MM CUL-2 and 3, which require preparation of historical archival documentation and an interpretive program for the Pacific Metals Company building, would reduce impacts but they would remain significant and unavoidable. See **Section 8.1.3** for the proposed mitigation and impacts after incorporation of mitigation.

## **7.1.4 Maintenance and Storage Facilities**

### **7.1.4.1 Operational Impacts**

#### **7.1.4.1.1 Commerce MSF**

Project activities during operation of the Commerce MSF site option would be limited to the MSF operations. Operation of the MSF site option would not physically demolish, destroy, relocate, or alter any historical resources and thus no direct impacts would occur. Potential operational impacts on historical resources would be indirect (i.e., visual, audible, or atmospheric intrusions), such as changes in the character of the property's use or of physical features within the property's setting, that contribute to its historic significance.

After construction of the Commerce MSF site option within the boundary of the Vail Field Industrial Addition potential historic district (a historical resource under existing conditions) would not retain sufficient integrity for eligibility for listing in the NRHP or CRHR, and it would no longer be considered a historical resource. Therefore, because the Vail Field Industrial Addition would no longer be a historical resource, operation of the MSF would not cause indirect impacts that would cause a substantial adverse change in the significance of a historical resource. The construction of the Commerce MSF site option would result in the Vail Field Industrial Addition historic district's loss of eligibility as a historical resource; therefore, the operation of the Commerce MSF would not have a direct or indirect impact on historical resources.

#### **7.1.4.1.2 Montebello MSF**

No historical resources are within the vicinity of the Montebello MSF site option. Operation of the Montebello MSF site option would have no direct or indirect impacts on any historical resources or

their immediate surroundings. Due to the distance of the new MSF from historical resources in the APE, operation of the Montebello MSF site option would result in no impact.

## Design Option

### *Montebello MSF At-Grade Option*

No historical resources are within the vicinity of the Montebello MSF At-Grade Option. Operation of the Montebello MSF At-Grade Option would have no direct or indirect impacts on any historical resources or their immediate surroundings. Due to the distance of the aerial structure from historical resources in the APE, operation of the Montebello MSF At-Grade Option would result in no impact.

## 7.1.4.2 Construction Impacts

### 7.1.4.2.1 Commerce MSF

Project activities during construction of the Commerce MSF site option would include property acquisitions, demolition of historical resources, and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new infrastructure that would demolish or alter historical resources and/or their immediate surroundings.

### **Pacific Metals Company, 2187 Garfield Avenue**

The Pacific Metals Company building is individually significant for its associations with industry and for its architecture and also contributes to the Vail Field Industrial Addition. The Commerce MSF site option would acquire the property and demolish the building for the construction of lead tracks into the Commerce MSF site option.

Under the Commerce MSF site option for Alternative 1 and Alternative 3 (including the design options), the historical resource would be acquired and demolished. Physical demolition would materially impair the significance of the historical resource and would result in a significant impact. MM CUL-2 and MM CUL-3 identified in **Section o**, require preparation of historical archival documentation and an interpretive program that identify the historical significance of the building. MM CUL-2 and MM CUL-3 would ensure that information about the historic resource is preserved, which would reduce impacts; however, because the historic resource would be demolished, impacts would remain significant and unavoidable. See **Section o** for the proposed mitigation and impacts after incorporation of mitigation. Under Alternative 2, the alignment would terminate west of the Pacific Metals Company building and this building would not be demolished. The Pacific Metals Company building would not be impacted under Alternative 2.

### **Vail Field Industrial Addition**

The Vail Field Industrial Addition is a potential historic district that is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the area of industrial community planning and development in the growing Los Angeles metropolitan area during the period of significance from 1951 to 1960 and under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack

individual distinction. Forty buildings that contribute to the potential historic district have been identified. The Commerce MSF site option would be located within the boundary of the potential historic district.

The Commerce MSF site option would acquire the following 16 properties containing historical resources that contribute to the potential historic district (not including proposed acquisitions related to Alternatives discussed above):

- 2200 Saybrook Avenue (APN 6336-012-036)
- 2211 Davie Avenue (APN 6336-012-037)
- 6400 Corvette Street (APN 6336-012-030)
- 6415 Corvette Street (APN 6336-012-022; 6336-012-021)
- 6436 Corvette Street (APN 6336-012-031)
- 6440 Corvette Street (APN 6336-012-032)
- 6460 Corvette Street (APN 6336-012-033)
- 6465 Corvette Street (APN 6336-012-023)
- 6474 Corvette Street (APN 6336-012-034)
- 6480 Corvette Street (APN 6336-012-035)
- 6489 Corvette Street (APN 6336-012-024)
- 6400 Fleet Street (APN 6336-012-016)
- 6440 Fleet Street (APN 6336-012-017)
- 6444 Fleet Street (APN 6336-012-018)
- 6466 Fleet Street (APN 6336-012-019)
- 6490 Fleet Street (APN 6336-012-020)

The acquired properties would be used for the location of the Commerce MSF site option.

For the Commerce MSF site option, 16 contributing resources to the Vail Field Industrial Addition would be acquired and demolished. Physical demolition of these district contributors would impair the significance of the potential historic district, by removing in an adverse manner some of the physical characteristics of the historical resource that conveys its significance. The demolition of these core contributors would materially impair the potential historic district because an insufficient number of contributors with characteristics to convey its historical significance would be retained (not including proposed changes related to the Build Alternatives discussed above). The potential historic district would no longer convey its historical significance and would be ineligible for listing in the CRHR; therefore, the Commerce MSF site option would have a substantial adverse change on the Vail Field

Industrial Addition and result in a significant impact. MM CUL-5 and MM CUL-6, identified in **Section o**, require preparation of historical archival documentation and an interpretive program that identify the historical significance of the building. MM CUL-5 and MM CUL-6 would ensure that information about the Vail Field Industrial Addition is preserved, which would reduce impacts; however, because 16 buildings contributing to the potential historic district would be demolished, impacts would remain significant and unavoidable. See **Section o** for the proposed mitigation and impacts after incorporation of mitigation.

#### **7.1.4.2.2 Montebello MSF**

Project activities during construction of the Montebello MSF site option would include property acquisitions and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new infrastructure that would alter historical resources and/or their immediate surroundings. No historical resources are within the footprint of the Montebello MSF site option. The guideway alignment with the Montebello MSF site option would be located near the Pacific Metals Company building.

#### **Pacific Metals Company, 2187 Garfield Avenue**

The Pacific Metals Company building is individually significant for its associations with industry and for its architecture and also contributes to the Vail Field Industrial Addition. The guideway alignment with the Montebello MSF site option would be located in the median of Washington Boulevard between Gayhart Street and Yates Avenue approximately 60 feet from the southeast corner of the Pacific Metals Company building, specifically avoiding the Pacific Metals Company building.

Under the Montebello MSF site option, the Pacific Metals Company Building would not be physically demolished, destroyed, relocated, or altered. The guideway alignment would generally follow existing transportation corridors and would not limit views of the resource. The new guideway alignment across the street would introduce a new visual element but would not change the historic character of the building. Additionally, the Pacific Metals Company building is approximately 1,000 feet from the Montebello MSF site open and approximately 2,000 feet from the lead tracks into the site. There is existing industrial development located between the Pacific Metals Company Building and the MSF site option. The Montebello MSF site option would not limit views of the resource or change the historic character of the building.

The alteration of the setting with the Montebello MSF site option and the new visual element of the guideway alignment would not materially impair the historic significance of the Pacific Metals Company building and would result in a less than significant impact.

### **Design Option**

#### ***Montebello MSF At-Grade Option***

The historical resources impacts associated with the Montebello MSF At-Grade Option would be similar to the base Montebello MSF site option. Project activities during construction of the Montebello MSF At-Grade Option would include property acquisitions and new construction of permanent Project features. Potential construction impacts on historical resources would be direct or indirect (i.e., visual, audible, or atmospheric intrusions) and related to the construction of new

infrastructure that would alter historical resources and/or their immediate surroundings. No historical resources are within the footprint of the Montebello MSF site option. The guideway alignment with the Montebello MSF site option would be located near the Pacific Metals Company building. As with the base Montebello MSF site option, the guideway would be located in the median of Washington Boulevard and the Pacific Metals Company Building would not be physically demolished, destroyed, relocated, or altered, nor would views of the building or the building's character be altered.

The alteration of the setting with the Montebello MSF At-Grade Option and the new visual element of the guideway alignment would not materially impair the historic significance of the Pacific Metals Company building and would result in a less than significant impact

## 7.2 Impact CUL-2: Archaeological Resources

**Impact CUL-2: Would a Build Alternative cause a substantial adverse change in the significance of a unique archaeological resource pursuant to 15064.5?**

### 7.2.1 Alternative 1 Washington

The CHRIS records search, additional archival research, outreach, and field survey failed to identify any archaeological sites within the ADI. However, it is possible that unknown archaeological resources lay buried within the ADI. The project DSA has been used by Native American peoples for thousands of years and was used with increasing intensity throughout the historic period.

#### 7.2.1.1 Operational Impacts

Project activities during Project operations would be limited to the operation and maintenance of the LRT. Under Alternative 1, operational impacts would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts to archaeological resources.

#### Design Options

##### *Atlantic/Pomona Station Option*

If the Atlantic/Pomona Station Option is selected, the operational impacts would be the same as those described under the base Alternative 1. Operation of Alternative 1 with the Atlantic/Pomona Station Option would not physically demolish, destroy, relocate, or alter any archaeological resources and would thus have no impact on archaeological resources.

##### *Montebello At-Grade Option*

If the Montebello At-Grade Option is selected, the operational impacts would be the same as those described under the base Alternative 1. Operational impacts would not physically demolish, destroy, relocate, or alter any archaeological resources. Operation of Alternative 1 with the Montebello At-Grade Option would not impact archaeological resources.

### 7.2.1.2 Construction Impacts

Significant buried archaeological resources may exist within the ADI, and it is possible these archaeological materials could be unearthed during project excavation activities. The alignment for this alternative is largely within the public ROW that has been disturbed with utility and street construction, but these disturbances are relatively shallow. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance, but other proposed construction activities have the potential to encounter intact archaeological resources. A significant discovery of an unknown archaeological resource at the Site of the Battle of Rio San Gabriel or elsewhere on the alignment could result in a significant impact.

As discussed in greater detail in the Eastside Transit Corridor Phase 2 Tribal Cultural Resources Impacts Report, tunnel boring would occur through areas that may have unknown archaeological resources. The TBM does not allow for discovery of intact archaeological resources because the method of construction limits observation of impacted soils. However, the TBM would only be used at depths containing soils deposited prior to human occupation, and thus archaeological resources are not anticipated to be present where the TBM would be operated. Therefore, because the TBM would be used at depths with soils deposited prior to human occupation, tunneling is not expected to disturb or destroy unknown archaeological resources and impacts associated with tunnel boring are less than significant.

Additionally, construction of the bridges over the Rio Hondo and San Gabriel River has the potential to impact archaeological resources that have been buried by recent or historical sediment deposition. Deeper impacts within Holocene soils, such as the installation of piles for aerial structures and the mass excavation required for tunnel construction have the potential to encounter deeply buried resources. Therefore, construction of Alternative 1 has the potential to disturb and destroy a significant unknown archaeological resource and would therefore result in a significant impact. MM CUL-7, which requires monitoring during ground disturbance at the Site of the Battle of Rio San Gabriel to ensure that appropriate treatment measures are put in place to protect and document the resource(s) if any significant resources are encountered and MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a Cultural Resources Monitoring and Mitigation Plan (CRMMP) be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.1** for the proposed mitigation and impacts after incorporation of mitigation. for the proposed mitigation

## Design Options

### *Atlantic/Pomona Station Option*

The CHRIS records search, additional archival research, outreach, and field survey failed to identify any archaeological sites within the ADI. However, it is possible that significant buried archaeological resources may exist within the ADI, and that these archaeological materials could be unearthed during project excavation activities. Due to the excavations associated with the Atlantic/Pomona Station Option, there would be potential to encounter buried resources at this location. Therefore, excavation associated with the Atlantic/Pomona Station Option and remainder of Alternative 1 has the potential to disturb and destroy a significant archaeological resource. If unmitigated, this disturbance of a significant archaeological resource would result in a significant impact. MM CUL-7, which requires monitoring during ground disturbance at the Site of the Battle of Rio San Gabriel to ensure that

appropriate treatment measures are put in place to protect and document the resource(s) if any significant resources are encountered and MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.1** for the proposed mitigation and impacts after incorporation of mitigation. for the proposed mitigation

### ***Montebello At-Grade Option***

The CHRIS records search, additional archival research, outreach, and field survey failed to identify any archaeological sites within the ADI. However, it is possible that significant buried archaeological resources may exist within the ADI, and that these archaeological materials could be unearthed during project excavation activities. Due to the shallower construction associated with the Montebello At-Grade Option as opposed to installation of piles for the aerial structures, there would be less potential to encounter deeply buried resources as compared to the base Alternative 1 at this location. However, excavation associated with the Montebello At-Grade Option and remainder of Alternative 1 has the potential to disturb and destroy a significant archaeological resource. If unmitigated, this disturbance of a significant archaeological resource would result in a significant impact. MM CUL-7, which requires monitoring during ground disturbance at the Site of the Battle of Rio San Gabriel to ensure that appropriate treatment measures are put in place to protect and document the resource(s) if any significant resources are encountered and MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.1** for the proposed mitigation and impacts after incorporation of mitigation. for the proposed mitigation

## **7.2.2 Alternative 2 Atlantic to Commerce/Citadel IOS**

### **7.2.2.1 Operational Impacts**

Project operations would be limited to the operation and maintenance of the LRT. Under Alternative 2, operational impacts would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts to archaeological resources.

### **Design Option**

#### ***Atlantic/Pomona Station Option***

Operation of Alternative 2 with the Atlantic/Pomona Station Option would not physically demolish, destroy, relocate, or alter any archaeological resources and would thus have no impact on archaeological resources.



## 7.2.2.2 Construction Impacts

Project excavation activities during construction of the Alternative 2 could unearth significant buried archaeological resources that may exist within the ADI. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance. Further, the TBM would only be used at depths containing soils deposited prior to human occupation, and thus archaeological resources are not anticipated to be present where the TBM would be operated. However, other proposed construction activities have the potential to encounter intact archaeological resources. Deeper impacts within Holocene soils, such as the installation of piles for the aerial structures leading to the Commerce MSF site option and the excavation of the TBM launch pit and extraction pit, could encounter deeply buried resources. Therefore, construction of Alternative 2 has the potential to disturb and destroy a significant archaeological resource. Disturbance of significant unknown archaeological resources would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.2** for the proposed mitigation and impacts after incorporation of mitigation.

### Design Option

#### *Atlantic/Pomona Station Option*

Project excavation activities during construction of the Alternative 2 with the Atlantic/Pomona Station Option could unearth significant buried archaeological resources that may exist within the ADI. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance, but other proposed construction activities have the potential to encounter intact archaeological resources. Deeper impacts within Holocene soils, such as the installation of piles for the aerial structures and excavation for the TBM launch pit and extraction pit could encounter deeply buried resources. Therefore, construction of Alternative 2 with the Atlantic/Pomona Station Option has the potential to disturb and destroy a significant archaeological resource, and would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.2** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.2.3 Alternative 3 Atlantic to Greenwood IOS

### 7.2.3.1 Operational Impacts

Project operations would be limited to the operation and maintenance of the LRT. Under Alternative 3, operational impacts would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts to archaeological resources.

## Design Options

### *Atlantic/Pomona Station Option*

As with the base Alternative 3, operation of Alternative 3 with the Atlantic/Pomona Station Option would not physically demolish, destroy, relocate, or alter any archaeological resources and would thus have no impacts on archaeological resources.

### *Montebello At-Grade Option*

As with the base Alternative 3, operation of Alternative 3 with the Montebello At-Grade Option would not physically demolish, destroy, relocate, or alter any archaeological resources and would thus have no impacts on archaeological resources.

## 7.2.3.2 Construction Impacts

Significant buried archaeological resources may exist within the ADI, and it is possible these archaeological materials could be unearthed during project excavation activities. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance. Further, the TBM would only be used at depths containing soils deposited prior to human occupation, and thus archaeological resources are not anticipated to be present where the TBM would be operated. However, other proposed construction activities have the potential to encounter intact archaeological resources. Deeper impacts within Holocene soils, such as the installation of piles for aerial structures and the excavation required for the TBM launch pit and extraction pit have the potential to encounter deeply buried resources. Therefore, construction of Alternative 3 has the potential to disturb and destroy a significant archaeological resource. Disturbance of significant unknown archaeological resources would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.3** for the proposed mitigation and impacts after incorporation of mitigation.

## Design Options

### *Atlantic/Pomona Station Option*

Construction of Alternative 3 with the Atlantic/Pomona Station Option would have similar archaeological resources impacts as the base Alternative 3. Significant buried archaeological resources may exist within the ADI, and it is possible these archaeological materials could be unearthed during project excavation activities. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance, but other proposed construction activities have the potential to encounter intact archaeological resources. Deeper impacts within Holocene soils, such as the installation of piles for aerial structures and the excavation required for the TBM launch pit and extraction pit, have the potential to encounter deeply buried resources. Therefore, construction of Alternative 3 with the Atlantic/Pomona Station Option has the potential to disturb and destroy a significant archaeological resource, which would result in a significant impact. MM CUL-8, which requires that construction workers receive training on

how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.3** for the proposed mitigation and impacts after incorporation of mitigation.

### ***Montebello At-Grade Option***

Construction of Alternative 3 with the Montebello At-Grade Option would have similar archaeological resources impacts as the base Alternative 3. Significant buried archaeological resources may exist within the ADI, and it is possible these archaeological materials could be unearthed during project excavation activities. Shallow construction work, such as for the at-grade portions of the alignment, has limited potential to encounter intact archaeological resources due to prior disturbance, but installation of posts to support catenary systems for the at-grade alignment and other deeper construction activities in Holocene soils could encounter intact archaeological resources. Due to the shallower construction associated with the Montebello At-Grade Option, there would be less potential to encounter deeply buried resources as compared to the base Alternative 3 at this location. However, as with the entire Alternative 3, construction of the Montebello At-Grade Option still has the potential to disturb and destroy a significant archaeological resource. If unmitigated, disturbance of significant unknown archaeological resources would result in potentially significant impacts. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.3** for the proposed mitigation and impacts after incorporation of mitigation.

## **7.2.4 Maintenance and Storage Facilities**

### **7.2.4.1 Operational Impacts**

#### **7.2.4.1.1 Commerce MSF**

Operation of the Commerce MSF site option would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts to archaeological resources.

#### **7.2.4.1.2 Montebello MSF**

Operation of the Montebello MSF site option would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts on archaeological resources.

### **Design Option**

#### ***Montebello MSF At-Grade Option***

Operation of the Montebello MSF At-Grade Option would not physically demolish, destroy, relocate, or alter any archaeological resources. There would be no operational impacts to archaeological resources.

## 7.2.4.2 Construction Impacts

### 7.2.4.2.1 Commerce MSF

Significant buried archaeological resources may exist within the footprint of the Commerce MSF site option and it is possible these archaeological materials could be unearthed during project excavation activities. Shallow construction work for the MSF has limited potential to encounter intact archaeological resources due to prior disturbance, but deeper construction activities have the potential to encounter intact archaeological resources.

Therefore, construction of the Commerce MSF site option has the potential to disturb and destroy a significant archaeological resource. Disturbance of significant unknown archaeological resources would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.4** for the proposed mitigation and impacts after incorporation of mitigation.

### 7.2.4.2.2 Montebello MSF

Significant buried archaeological resources may exist within the footprint of the Montebello MSF site option and it is possible these archaeological materials could be unearthed during project excavation activities. Shallow construction work for the MSF has limited potential to encounter intact archaeological resources due to prior disturbance, but deeper construction activities have the potential to encounter intact archaeological resources.

Therefore, construction of the Montebello MSF site option has the potential to disturb and destroy a significant archaeological resource. Disturbance of significant unknown archaeological resources would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.4** for the proposed mitigation and impacts after incorporation of mitigation.

## Design Option

### *Montebello MSF At-Grade Option*

Significant buried archaeological resources may exist within the footprint of the Montebello MSF site option and it is possible these archaeological materials could be unearthed during project excavation activities. Construction of the Montebello MSF At-Grade Option would have the potential to disturb and destroy a significant archaeological resource. Disturbance of significant unknown archaeological resources would result in a significant impact. MM CUL-8, which requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, would establish protections for unanticipated discoveries of archaeological resources and reduce impacts to less than significant. See **Section 8.2.4** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.3 Impact CUL-3: Disturbance of Human Remains

Impact CUL-3: Would a Build Alternative disturb any human remains, including those interred outside of formal cemeteries?

### 7.3.1 Alternative 1 Washington

#### 7.3.1.1 Operational Impacts

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 1. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 1 would have no impacts on human remains.

#### Design Options

##### *Atlantic/Pomona Station Option*

Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 1 with the Atlantic/Pomona Station Option would have no impacts on human remains.

##### *Montebello At-Grade Option*

Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 1 with the Montebello At-Grade Option would have no impacts on human remains.

#### 7.3.1.2 Construction Impacts

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of Alternative 1 has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be reduced to less than significant. See **Section 8.3.1** for the proposed mitigation and impacts after incorporation of mitigation.

## Design Options

### *Atlantic/Pomona Station Option*

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during excavation activities. Therefore, construction of Alternative 1 with the Atlantic/Pomona Station Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.1** for the proposed mitigation and impacts after incorporation of mitigation.

### *Montebello At-Grade Option*

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during excavation activities. Therefore, construction of Alternative 1 with the Montebello At-Grade Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.1** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.3.2 Alternative 2 Atlantic to Commerce/Citadel IOS

### 7.3.2.1 Operational Impacts

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 2. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 2 would have no impacts on human remains.

## Design Option

### *Atlantic/Pomona Station Option*

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 2 with the Atlantic/Pomona Station Option. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 2 with the Atlantic/Pomona Station Option would have no impacts on human remains.

### 7.3.2.2 Construction Impacts

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of Alternative 2 has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in potentially significant impacts. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.2** for the proposed mitigation and impacts after incorporation of mitigation.

#### Design Option

##### *Atlantic/Pomona Station Option*

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of Alternative 2 with the Atlantic/Pomona Station Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.2** for the proposed mitigation and impacts after incorporation of mitigation.

## 7.3.3 Alternative 3 Atlantic to Greenwood IOS

### 7.3.3.1 Operational Impacts

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 3. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 3 would have no impacts on human remains.

#### Design Options

##### *Atlantic/Pomona Station Option*

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 3 with the Atlantic/Pomona Station Option. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 3 with the Atlantic/Pomona Station Option would have no impacts on human remains.

### ***Montebello At-Grade Option***

There are no known cemeteries or archaeological sites including human remains within the ADI for Alternative 3 with the Montebello At-Grade Option. Operational activities would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of Alternative 3 with the Montebello At-Grade Option would have no impacts on human remains.

## **7.3.3.2 Construction Impacts**

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of the Alternative 3 has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in potentially significant impacts. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.3** for the proposed mitigation and impacts after incorporation of mitigation.

### **Design Options**

#### ***Atlantic/Pomona Station Option***

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of Alternative 3 with the Atlantic/Pomona Station Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in potentially significant impacts. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.3** for the proposed mitigation and impacts after incorporation of mitigation.

#### ***Montebello At-Grade Option***

There are no known cemeteries or archaeological sites including human remains within the ADI. Unknown human burials may exist within the ADI, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of Alternative 3 with the Montebello At-Grade Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would result in potentially significant impacts. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.3** for the proposed mitigation and impacts after incorporation of mitigation. for the proposed mitigation.



## 7.3.4 Maintenance and Storage Facilities

### 7.3.4.1 Operational Impacts

#### 7.3.4.1.1 Commerce MSF

Operation of the Commerce MSF site option would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of the Commerce MSF site option would have no impact on human remains.

#### 7.3.4.1.2 Montebello MSF

Operation of the Montebello MSF site option would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of the Montebello MSF site option would have no impact on human remains.

### Design Option

#### *Montebello MSF At-Grade Option*

Operation of the Montebello MSF At-Grade Option would not involve excavation and would not have the potential to disturb any human remains, including those interred outside of formal cemeteries. Therefore, operation of the Montebello MSF At-Grade Option would have no impact on human remains.

### 7.3.4.2 Construction Impacts

#### 7.3.4.2.1 Commerce MSF

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the Commerce MSF site option, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of the Commerce MSF site option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would be a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.4** for the proposed mitigation and impacts after incorporation of mitigation.

#### 7.3.4.2.2 Montebello MSF

There are no known cemeteries or archaeological sites including human remains within the ADI. However, unknown human burials may exist within the Montebello MSF site option, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of the Montebello MSF site option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would be a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would

occur and would reduce impacts to less than significant. See **Section 8.3.4** for the proposed mitigation and impacts after incorporation of mitigation

## Design Option

### *Montebello MSF At-Grade Option*

If the Montebello MSF At-Grade Option were constructed, the construction impacts would be the same as those described under Alternative 3 with an aerial alignment at this location. Unknown human burials may exist within the Montebello MSF At-Grade Option, and it is possible these burials could be unearthed during project excavation activities. Therefore, construction of the Montebello MSF At-Grade Option has the potential to disturb and destroy an unknown burial. Disturbance of unknown burial sites would be a significant impact. MM CUL-9, which establishes procedures for consultation and treatment if human remains are discovered, would ensure proper treatment would occur and impacts would be less than significant. See **Section 8.3.4** for the proposed mitigation and impacts after incorporation of mitigation.

## 8.0 MITIGATION MEASURES AND IMPACTS AFTER MITIGATION

### 8.1 Impact CUL-1: Historical Resources

Impact CUL-1: Would a Build Alternative cause a substantial adverse change in the significance of a historical resource pursuant to 15064.5?

#### 8.1.1 Alternative 1 Washington

As discussed in **Section 7.1.1**, construction of the base Alternative 1 would result in significant impacts on the following historical resources:

- Golden Gate Theater
- Pacific Metals Company Building (Commerce MSF site option only)
- Dal Rae Restaurant

##### 8.1.1.1 Potential Operational or Construction Mitigation Measures

Operational impacts on historical resources would be less than significant; therefore, no operational mitigation measures are required.

The mitigation measures outlined below address the potential significant impacts to historical resources during project construction. MM CUL-1 requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater. If the Commerce MSF site option is implemented, MM CUL-2 and MM CUL-3 require preparation of historical archival documentation and an interpretive program that identify the historical significance of the Pacific Metals Company Building to reduce impacts associated with building demolition. MM CUL-4 requires avoidance of the Del Rae Restaurant sign to prevent damage to the historical significance of the Del Rae Restaurant.

- MM CUL-1:** Protection Measures – Differential Settlement/Vibration/TBM Specifications for Golden Gate Theater. Metro shall conduct a pre-construction baseline survey, implement building protection measures, and conduct a post-construction survey of the Golden Gate Theater in relation to Guideway Alignment construction adjacent to the historical resource. Building protection measures shall be implemented in conjunction with MM NOI-1 through NOI-15.
- Metro shall conduct a pre-construction survey to establish baseline, preconstruction conditions and to assess the building category and the potential for ground borne vibration to cause damage. Geotechnical investigations shall be

undertaken to evaluate soil, groundwater, seismic, and environmental conditions along the alignment. This analysis shall inform the development of appropriate support mechanisms for cut and fill construction areas or areas that could experience differential settlement as a result of using a TBM in close proximity to the historical resource. An architectural historian or historical architect who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61) shall review final design documents prior to implementation of measures.

- Metro shall implement building protection measures such as underpinning, soil grouting, or other forms of ground improvement, as well as lower vibration equipment and/or construction techniques. If the historical resource has the potential to be impacted by differential settlement caused by TBM construction, Metro shall require the use of an earth pressure balance or slurry shield TBM.
- A post-construction survey shall also be undertaken to ensure that no significant impacts had occurred to historical resources. An architectural historian or historical architect who meets the Secretary of the Interior's Professional Qualification Standards (36 CFR Part 61) shall prepare an assessment of the implementation of the mitigation measures.

**MM CUL-2:** Historical Resource Archival Documentation. This mitigation measure applies to Alternative 1 Washington Boulevard and Alternative 3 Atlantic to Greenwood IOS if the Commerce MSF site option is selected. Documentation for the Pacific Metals Company Building shall be undertaken if the Pacific Metals Company Building is acquired and demolished. Metro shall provide archival documentation of the historical resource(s) following the guidelines of the National Park Service's Historic American Building Survey/Historic American Engineering Record/Historic American Landscape Survey (HABS/HAER/HALS) program. At a minimum, the documentation shall consist of:

- Large-format photography including negatives and archival prints
- Written narrative following the HABS/HAER/HALS short format
- Site plan

Metro shall provide copies of the documentation to the city of Commerce for archival purposes. Large-format photography shall be completed prior to any demolition activities that would affect the contributors to the Pacific Metals Company Building. The documentation shall be prepared so that the original archival-quality documentation could be donated for inclusion in the Library of Congress if the National Park Service accepts these materials. Copies of documentation shall also be offered to the Commerce Public Library and local historical societies upon request.

**MM CUL-3:** Interpretive Program. This mitigation measure applies to Alternative 1 Washington Boulevard and Alternative 3 Atlantic to Greenwood IOS if the Commerce MSF site option is selected. An interpretive program for the Pacific Metals Company Building shall be undertaken if the Pacific Metals Company Building is acquired and demolished. Metro shall provide interpretive materials in the form of an exhibit, pamphlet, website, or similar, that describe and/or illustrate the historic significance

of the Pacific Metals Company Building. The interpretive materials shall include a discussion of industrial activities related to the district and its role in the development of Commerce and a description of the construction history of the district during its period of significance. Interpretive materials shall be provided to the city of Commerce for public education purposes. Copies of interpretive materials shall also be offered to the Commerce Public Library and local historical societies upon request.

- MM CUL-4:** Protection Measures – Avoidance for the Dal Rae Restaurant Sign. If Alternative 1 is selected, Metro shall conduct a pre-construction baseline survey, implement building protection measures, and conduct a post-construction survey of the Dal Rae Restaurant Sign in relation to at-grade alignment construction with a sliver property acquisition adjacent to the historical resource.
- Metro shall conduct a pre-construction survey to establish baseline, preconstruction conditions and to assess the potential for damage related to improvements within the sliver property acquisition. An architectural historian or historical architect who meets the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61) shall review proposed protection measures.
  - Metro shall implement building protection measures such as fencing or sensitive construction techniques based on final project design.
  - A post-construction survey shall be undertaken to ensure that no significant impacts had occurred to the historical resource. An architectural historian or historical architect who meets the Secretary of the Interior’s Professional Qualification Standards (36 CFR Part 61) shall prepare an assessment of the implementation of the mitigation measure.

### **8.1.1.2 Design Option Potential Operational or Construction Mitigation Measures**

#### **Atlantic/Pomona Station Option**

MM CUL-1 through MM CUL-4, described above, will be implemented if Alternative 1 with Atlantic/Pomona Station Option and the Commerce MSF site option is selected. MM CUL-1 and MM CUL-4 will be implemented if Alternative 1 with the Atlantic/Pomona Station Option and the Montebello MSF site option (or design option) is selected.

#### **Montebello At-Grade Option**

MM CUL-1 through MM CUL-4, described above, will be implemented if Alternative 1 with the Montebello At-Grade Option and the Commerce MSF site option is selected. MM CUL-1 and MM CUL-4 will be implemented if Alternative 1 with the Montebello At-Grade Option and the Montebello MSF site option (or design option) is selected.

### 8.1.1.3 Impacts After Mitigation

#### 8.1.1.3.1 Operational Impacts Determination

No mitigation is required for operation of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

#### 8.1.1.3.2 Construction Impacts Determination

After implementation of mitigation measures, construction of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would result in less than significant impacts with mitigation on the following historical resources:

- Golden Gate Theater
- Dal Rae Restaurant

If the Commerce MSF site option is selected, construction would result in a significant and unavoidable impact on the following historical resource:

- Pacific Metals Company Building

Mitigation measures in **Section 8.1.1.1** address the potential significant impact to this historical resource. Mitigation would reduce impacts but cannot reduce impacts related to demolition to a less than significant level.

## 8.1.2 Alternative 2 Atlantic to Commerce/Citadel IOS

As discussed in **Section 7.1.2**, construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option would result in potential significant impacts on the Golden Gate Theater.

### 8.1.2.1 Potential Operational or Construction Mitigation Measures

Operational impacts on historical resources would be less than significant; therefore, no operational mitigation measures are required.

MM CUL-1, discussed in **Section 8.1.1.1**, will be implemented for the construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option. MM CUL-1 requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater.

## 8.1.2.2 Impacts After Mitigation

### 8.1.2.2.1 Operational Impacts Determination

No mitigation is required for the operation of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option.

### 8.1.2.2.2 Construction Impacts Determination

After implementation of mitigation measures, construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option would result in a less than significant impact on the Golden Gate Theater.

## 8.1.3 Alternative 3 Atlantic to Greenwood IOS

As discussed in **Section 7.1.3**, the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would result in potential significant impacts on the following historical resources:

- Golden Gate Theater
- Pacific Metals Company Building (Commerce MSF site option only)

### 8.1.3.1 Potential Operational or Construction Mitigation Measures

Operational impacts on historical resources would be less than significant; therefore, no operational mitigation measures are required for operation of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

MM CUL-1, MM CUL-4, and MM CUL-5, described in **Section 8.1.1.1** and **Section 8.1.4.1**, will be implemented if the Commerce MSF site option is selected. MM CUL-1 will be implemented if the Montebello MSF site option is selected. MM CUL-1 requires building protection measures to be put in place to reduce potential vibration damage to the Golden Gate Theater. If the Commerce MSF site option is implemented, MM CUL-2 and MM CUL-3 require preparation of historical archival documentation and an interpretive program that identify the historical significance of the Pacific Metals Building to reduce impacts associated with building demolition.

### 8.1.3.2 Impacts After Mitigation

#### 8.1.3.2.1 Operational Impacts Determination

No mitigation is required for operation of the base Alternative 3 or operation of Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

### 8.1.3.2.2 Construction Impacts Determination

After implementation of mitigation measures, construction of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would result in a less than significant impact with mitigation on the following historical resource:

- Golden Gate Theater

If the Commerce MSF site option is selected, the base Alternative 3 would result in a significant and unavoidable impact on the following historical resource:

- Pacific Metals Company Building (Commerce MSF site option only)

Mitigation measures in **Section 8.1.1.1** address the potential significant impact to this historical resource. Mitigation would reduce impacts but cannot reduce impacts related to demolition to a less than significant level.

## 8.1.4 Maintenance and Storage Facilities

### 8.1.4.1 Commerce Potential Operational or Construction Mitigation Measures

As discussed in **Section 7.1.4**, construction of the Commerce MSF site option would result in a significant and unavoidable impact on the following historical resources:

- Vail Field Industrial Addition
- Pacific Metals Company Building (Alternative 1 and Alternative 3 only)

Mitigation measures MM CUL-2 and MM CUL-3, discussed in **Section 8.1.1.1**, will be implemented for the construction of the Commerce MSF site option. Additionally, MM CUL-5 and MM CUL-6 identified below, require preparation of historical archival documentation and an interpretive program that identify the historical significance of the Vail Fields Industrial Addition and the Pacific Metals Company Building. This mitigation would ensure that information about the historic resources is preserved.

**MM CUL-5:** Historical Resource Archival Documentation. If the Commerce MSF site option is selected, documentation for the Vail Field Industrial Addition shall be undertaken. Metro shall provide archival documentation of the historical resource(s) following the guidelines of the National Park Service's Historic American Building Survey/Historic American Engineering Record/Historic American Landscape Survey (HABS/HAER/HALS) program. At a minimum, the documentation shall consist of:

- Large-format photography including negatives and archival prints
- Written narrative following the HABS/HAER/HALS short format



- Site plan

Metro shall provide copies of the documentation to the city of Commerce for archival purposes. Large-format photography shall be completed prior to any demolition activities that would affect the contributors to the Vail Field Industrial Addition. The documentation shall be prepared so that the original archival-quality documentation could be donated for inclusion in the Library of Congress if the National Park Service accepts these materials. Copies of documentation shall also be offered to the Commerce Public Library and local historical societies upon request.

**MM CUL-6:** Interpretive Program. If the Commerce MSF site option is selected, an interpretive program for the Vail Field Industrial Addition shall be undertaken. Metro shall provide interpretive materials in the form of an exhibit, pamphlet, website, or similar, that describe and/or illustrate the historic significance of the Vail Field Industrial Addition. The interpretive materials shall include a discussion of industrial activities related to the district and its role in the development of Commerce and a description of the construction history of the district during its period of significance. Interpretive materials shall be provided to the city of Commerce for public education purposes. Copies of interpretive materials shall also be offered to the Commerce Public Library and local historical societies upon request.

## 8.1.4.2 Montebello Potential Operational or Construction Mitigation Measures

No mitigation is required for operation or construction of the Montebello MSF site option or the Montebello MSF At-Grade Option.

### 8.1.4.3 Impacts After Mitigation

#### 8.1.4.3.1 Operational Impacts Determination

##### Commerce MSF

Operation of the Commerce MSF site option would have no impact under Impact CUL-1 and no mitigation is required.

##### Montebello MSF and Design Option

Operation of the Montebello MSF site option or the Montebello MSF At-Grade Option would have no impact under Impact CUL-1 and no mitigation is required.

#### 8.1.4.3.2 Construction Impacts Determination

##### Commerce MSF

Implementation of MM CUL-2, MM CUL-3, MM CUL-5, and MM CUL-6 would reduce impacts but cannot reduce impacts related to demolition or alterations not consistent with the Secretary of the

Interior's Standards for Rehabilitation to a less than significant level. Impacts resulting from demolition or alterations not consistent with the Secretary of the Interior's Standards for Rehabilitation would remain significant and unavoidable.

### Montebello MSF and Design Option

Construction of the Montebello MSF site option or the Montebello MSF At-Grade Option would have no impact under Impact CUL-1 and no mitigation is required.

## 8.2 Impact CUL-2: Archaeological Resources

**Impact CUL-2: Would a Build Alternative cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5?**

### 8.2.1 Alternative 1 Washington

As discussed in **Section 7.2.1**, a significant discovery of an unknown archaeological resource at the Site of the Battle of Rio San Gabriel or elsewhere on the alignment could result in a significant impact.

#### 8.2.1.1 Potential Operational or Construction Mitigation Measures

There would be no impacts to archaeological sites during operations; therefore, there would be no effect/impact to archaeological resources under state impact criteria. As such, no mitigation measures are required.

The mitigation measures outlined below will be used as needed to reduce significant impacts on unknown significant archaeological resources within the ADI, if any are discovered during construction of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option. MM CUL-7 requires monitoring during ground disturbance at the Site of the Battle of Rio San Gabriel to ensure that if any significant resources are encountered appropriate treatment measures are put in place to protect and document the resource(s) and MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources with the ADI.

**MM CUL-7:** Site of the Battle of Rio San Gabriel. Archaeological monitoring during ground disturbance shall be conducted at the Site of the Battle of Rio San Gabriel, in accordance with the project Cultural Resources Monitoring and Mitigation Plan (CRMMP). The project alignment between Bluff Road in the east and the eastern boundary of the Rio Hondo Spreading Grounds in the west are within the territory through which the Battle of Rio San Gabriel took place and are considered sensitive for cultural resources related to the battle. If monitoring does not reveal any archaeological artifacts, then there would be no effect on the Site of the Battle of Rio

San Gabriel. If archaeological artifacts are discovered, then work shall be halted in the immediate vicinity of the find and a qualified archaeologist shall assess the significance of the find and, if necessary, develop appropriate treatment measures. Treatment measures typically include development of avoidance strategies, capping with fill material, or mitigation of impacts through data recovery programs such as excavation or detailed documentation.

**MM CUL-8:** Unknown Archaeological Resources. Prior to any ground-disturbing activities, all construction personnel involved in ground-disturbing activities shall be provided with appropriate cultural resources training. The training shall instruct the personnel regarding the legal framework protecting cultural resources, typical kinds of cultural resources that may be found within the project area, and proper procedures and notifications for if cultural resources are inadvertently discovered.

In addition, a project-wide CRMMP shall be developed and implemented by Metro. This document shall address areas where potentially significant prehistoric and historic archaeological deposits are likely to be located within the ADI based on background research and a geoarchaeological analysis. Preparation of the CRMMP shall necessitate the completion of pedestrian survey of the private property parcels in the ADI that were not accessible during the preparation of the Eastside Transit Corridor Phase 2 Cultural Resources Impacts Report.

The CRMMP shall include a detailed prehistoric and historic context that clearly demonstrates the themes under which any identified subsurface deposits would be determined significant. Should significant deposits be identified during earth-moving activities, the CRMMP shall address methods for data recovery, anticipated artifact types, artifact analysis, report writing, repatriation of human remains and associated grave goods, and curation.

The CRMMP shall also require that an archaeologist qualified in prehistoric and historical archaeology be retained prior to ground-disturbing activities. The CRMMP will be a guide for monitoring activities. If buried cultural resources, such as flaked or ground stone, historic debris, building foundations, or non-human bone, are discovered during ground-disturbing activities, work will stop in that area and within 50 feet of the find until a qualified archaeologist can assess the significance of the find and, if necessary, develop appropriate treatment measures. As detailed in TCR-1, a Native American monitor shall be retained if treatment involved work at a prehistoric site, or at other locations determined appropriate during tribal consultation. Treatment measures typically include development of avoidance strategies, capping with fill material, or mitigation of impacts through data recovery programs such as excavation or detailed documentation. If during cultural resources monitoring the qualified archaeologist determines that the sediments being excavated are previously disturbed or unlikely to contain significant cultural materials, the qualified archaeologist can specify that monitoring be reduced or eliminated.

## 8.2.1.2 Impacts After Mitigation

### 8.2.1.2.1 Operational Impacts Determination

No operational impacts would occur from operation of Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

### 8.2.1.2.2 Construction Impacts Determination

With implementation of MM CUL-7 and MM CUL-8, discussed in **Section 8.2.1.1**, construction of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a less than significant impact under Impact CUL-2.

## 8.2.2 Alternative 2 Atlantic to Commerce/Citadel IOS

### 8.2.2.1 Potential Operational or Construction Mitigation Measures

There would be no impacts to known archaeological sites during operation of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option; therefore, there would be no effect/impact to archaeological resources under state impact criteria. As such, no mitigation measures are required.

MM CUL-8, outlined in **Section 8.2.1.1** above, will be implemented as needed to minimize adverse effects on unknown significant archaeological resources within the APE, if any are discovered during construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option. MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources with the ADI.

### 8.2.2.2 Impacts After Mitigation

#### 8.2.2.2.1 Operational Impacts Determination

There would be no impacts to archaeological sites during operations; therefore, no mitigation measures are required for operation of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option.

#### 8.2.2.2.2 Construction Impacts Determination

With implementation of MM CUL-8, impacts from construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option would be reduced to a less than significant level. MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are

inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources with the ADI.

## 8.2.3 Alternative 3 Atlantic to Greenwood IOS

### 8.2.3.1 Potential Operational or Construction Mitigation Measures

There would be no impacts to known archaeological sites during operation of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option; therefore, there would be no effect/impact to archaeological, resources under state impact criteria. As such, no mitigation measures are required.

MM CUL-8, outlined in **Section 8.2.1.1** above, will be implemented as needed to minimize adverse effects on unknown significant archaeological resources within the APE, if any are discovered during project construction of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option. MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources with the ADI.

### 8.2.3.2 Impacts After Mitigation

#### 8.2.3.2.1 Operational Impacts Determination

There would be no impacts to archaeological sites during operations; thus, no mitigation measures are required for operation of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

#### 8.2.3.2.2 Construction Impacts Determination

With implementation of MM CUL-8, impacts from construction of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would be reduced to a less than significant level.

## 8.2.4 Maintenance and Storage Facilities

### 8.2.4.1 Commerce Potential Operational or Construction Mitigation Measures

There would be no impacts to known archaeological sites during operations; therefore, there would be no effect/impact to archaeological, resources under state impact criteria. As such, no mitigation measures are required.

MM CUL-8, outlined in **Section 8.2.1.1** above, will be implemented as needed to minimize adverse effects on unknown significant archaeological resources within the ADI, if any are discovered during construction of the Commerce MSF site option.

## 8.2.4.2 Montebello Commerce Potential Operational or Construction Mitigation Measures

There would be no impacts to known archaeological sites during operations; therefore, there would be no effect/impact to archaeological resources under state impact criteria. As such, no mitigation measures are required.

MM CUL-8, outlined in **Section 8.2.1.1** above, will be implemented as needed to minimize adverse effects on unknown significant archaeological resources within the ADI, if any are discovered during construction of the Montebello MSF site option. MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources.

### Design Options

#### *Montebello MSF At-Grade Option*

MM CUL-8, outlined in **Section 8.2.1.1** above, will be implemented as needed to minimize adverse effects on unknown significant archaeological resources within the ADI, if any are discovered during construction of the Montebello MSF At-Grade Option. MM CUL-8 requires that construction workers receive training on how to proceed if cultural resources are inadvertently discovered and that a CRMMP be prepared, which would establish protections for unanticipated discoveries of archaeological resources.

## 8.2.4.3 Impacts After Mitigation

### 8.2.4.3.1 Operational Impacts Determination

#### Commerce MSF

Operation of the Commerce MSF site option would have no impact under Impact CUL-2 and no mitigation is required.

#### Montebello MSF and Design Option

Operation of the Montebello MSF site option and Montebello MSF At-Grade Option would have no impact under Impact CUL-2 and no mitigation is required.

### 8.2.4.3.2 Construction Impacts Determination

#### Commerce MSF

For unknown archaeological resources, MM CUL-8 would reduce impacts to a less than significant level.

#### Montebello MSF and Design Option

For unknown archaeological resources, MM CUL-8 would reduce impacts to a less than significant level.

## 8.3 Impact CUL-3: Disturbance of Human Remains

**Impact CUL-3: Would a Build Alternative disturb any human remains, including those interred outside of formal cemeteries?**

### 8.3.1 Alternative 1 Washington

#### 8.3.1.1 Potential Operational or Construction Mitigation Measures

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact on human remains under state impact criteria. As such, no mitigation measures are required for operation of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

The mitigation measure outlined below which establishes procedures for consultation and treatment if human remains are discovered, will be used as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during project construction of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

**MM CUL-9:** Unanticipated Discovery of Human Remains. If human remains are discovered, work in the immediate vicinity of the discovery shall be suspended and the Los Angeles County Coroner contacted. If the remains are deemed Native American in origin, the Coroner shall contact the NAHC and identify a Most Likely Descendant (MLD) pursuant to PRC Section 5097.98 and CEQA Guidelines Section 15064.5. The MLD may inspect the site within 48 hours of being notified and issue recommendations for scientific removal and nondestructive analysis. If the MLD fails to make recommendations, then Metro and/or the landowner may rebury the remains in a location not subject to further disturbance at their discretion. Work may be resumed at the landowner's discretion but will only commence after consultation and treatment

have been concluded. Work may continue on other parts of the project while consultation and treatment are conducted.

### **8.3.1.2 Impacts After Mitigation**

#### **8.3.1.2.1 Operational Impacts Determination**

No impacts would occur from operation of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

#### **8.3.1.2.2 Construction Impacts Determination**

With implementation of MM CUL-9, construction of the base Alternative 1 or Alternative 1 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a less than significant impact under Impact CUL-3.

## **8.3.2 Alternative 2 Atlantic to Commerce/Citadel IOS**

### **8.3.2.1 Potential Operational or Construction Mitigation Measures**

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact on human remains under state impact criteria. As such, no mitigation measures are required for operation of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option.

MM CUL-9 outlined in **Section 8.3.1.1** above which establishes procedures for consultation and treatment if human remains are discovered, will be implemented as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option.

### **8.3.2.2 Impacts After Mitigation**

#### **8.3.2.2.1 Operational Impacts Determination**

No impacts would occur from operation of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option.

#### **8.3.2.2.2 Construction Impacts Determination**

With implementation of MM CUL-9, construction of the base Alternative 2 or Alternative 2 with the Atlantic/Pomona Station Option would have a less than significant impact under Impact CUL-3.



## 8.3.3 Alternative 3 Atlantic to Greenwood IOS

### 8.3.3.1 Potential Operational or Construction Mitigation Measures

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact human remains under state impact criteria. As such, no mitigation measures are required for operation of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

MM CUL-9 outlined in **Section 8.3.1.1** above, which establishes procedures for consultation and treatment if human remains are discovered, will be implemented as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during construction of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

### 8.3.3.2 Impacts After Mitigation

#### 8.3.3.2.1 Operational Impacts Determination

No impacts would occur from operation of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option.

#### 8.3.3.2.2 Construction Impacts Determination

With implementation of MM CUL-9, construction of the base Alternative 3 or Alternative 3 with the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a less than significant impact under Impact CUL-3.

## 8.3.4 Maintenance and Storage Facilities

### 8.3.4.1 Commerce Potential Operational or Construction Mitigation Measures

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact human remains under state impact criteria. As such, no mitigation measures are required for operation of the Commerce MSF site option.

MM CUL-9 outlined in **Section 8.3.1.1** above which establishes procedures for consultation and treatment if human remains are discovered, will be implemented as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during construction of the Commerce MSF site option.

## 8.3.4.2 Montebello Potential Operational or Construction Mitigation Measures

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact human remains under state impact criteria. As such, no mitigation measures are required for operation of the Montebello MSF site option.

MM CUL-9 outlined in **Section 8.3.1.1** above will be implemented as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during construction of the Montebello MSF site option.

### Design Options

#### *Montebello MSF At-Grade Option*

There would be no impacts to known human remains during operations; therefore, there would be no effect/impact human remains under state impact criteria. As such, no mitigation measures are required for operation of the Montebello MSF At-Grade Option.

MM CUL-9 outlined in **Section 8.3.1.1**, which establishes procedures for consultation and treatment if human remains are discovered, will be implemented as needed to minimize adverse effects on unknown buried human remains, including those interred outside formal cemeteries, if any are discovered during construction of the Montebello MSF At-Grade Option.

## 8.3.4.3 Impacts After Mitigation

### 8.3.4.3.1 Operational Impacts Determination

#### Commerce MSF

Operation of the Commerce MSF site option would have no impact under Impact CUL-3 and no mitigation is required.

#### Montebello MSF and Design Option

Operation of the Montebello MSF site option or the Montebello MSF At-Grade Option would have no impact under Impact CUL-3 and no mitigation is required.

### 8.3.4.3.2 Construction Impacts Determination

#### Commerce MSF

For unknown archaeological resources, MM CUL-9 would reduce impacts to a less than significant level.

## Montebello MSF and Design Option

For unknown archaeological resources, MM CUL-9 would reduce impacts to a less than significant level.

# 8.4 Mitigation Measure Applicability

As described above, one or more Build Alternatives and/or MSF site options have been identified as having significant cultural resources impacts. Mitigation measures to address these impacts are also identified. **Table 8-1** summarizes which mitigation measures are applicable to each Build Alternative and MSF site option. Unless otherwise noted, the Build Alternative mitigation measures apply to the base alternative and design option, and the MSF mitigation measures apply to the Commerce MSF site option and the Montebello MSF site option. If there would be no impact or the impact is less than significant, no mitigation is required and, therefore, as identified in **Table 8-1**, mitigation measures are not applicable (N/A).

**Table 8-1. Summary of Mitigation Measure Alternative Applicability**

Mitigation Measure	Alternative 1	Alternative 2	Alternative 3	MSF
<b>Impact Cul-1: Historical Resources</b>				
MM CUL-1	Applicable	Applicable	Applicable	N/A
MM CUL-2	Applicable to Commerce MSF site option only	N/A	Applicable to Commerce MSF site option only	Applicable to Commerce MSF site option only under Alternative 1 and Alternative 3
MM CUL-3	Applicable to Commerce MSF site option only	N/A	Applicable to Commerce MSF site option only	Applicable to Commerce MSF site option only under Alternative 1 and Alternative 3
MM CUL-4	Applicable	N/A	N/A	N/A
MM CUL-5	Applicable to Commerce MSF site option only	Applicable	Applicable to Commerce MSF site option only	Applicable to Commerce MSF site option only
MM CUL-6	Applicable to Commerce MSF site option only	Applicable	Applicable to Commerce MSF site option only	Applicable to Commerce MSF site option only
<b>Impact CUL-2: Archaeological Resources</b>				
MM CUL-7	Applicable	N/A	N/A	N/A
MM CUL-8	Applicable	Applicable	Applicable	Applicable
<b>Impact CUL-3: Disturbance of Human Remains</b>				
MM CUL-9	Applicable	Applicable	Applicable	Applicable

## 9.0 NO PROJECT ALTERNATIVE

### 9.1 No Project Alternative

#### 9.1.1 Description

The No Project Alternative is required by CEQA Guidelines Section 15126.6 (e)(2) and assumes that the Project would not be implemented by Metro. The No Project Alternative would maintain existing transit service through the year 2042. No new transportation infrastructure would be built within the DSA aside from projects currently under construction or funded for construction and operation by 2042 via the 2008 Measure R or 2016 Measure M sales taxes. This alternative would include the highway and transit projects in Metro's 2020 LRTP Update and the 2020 RTP/SCS. Under the No Project Alternative, none of the proposed Build Alternatives, design options, or MSFs would be constructed or operated.

#### 9.1.2 Impacts

##### 9.1.2.1 Historical Resources

There would be no new operations under the No Project Alternative and therefore, there would be no Project-related impacts from operation on historic resources.

There would be no construction under this alternative. Therefore, there would be no Project-related construction impacts on historic resources.

##### 9.1.2.2 Archaeological Resources

There would be no new transit operations under the No Project Alternative and therefore, there would be no Project-related impacts from operation on archaeological resources.

There would be no construction under this alternative. Therefore, there would be no Project-related construction impacts on archaeological resources.

##### 9.1.2.3 Disturbance of Human Remains

There would be no new transit operations under the No Project Alternative and therefore, there would be no Project-related impacts from operation on human remains.

There would be no construction under this alternative. Therefore, there would be no Project-related construction impacts on human remains.

## 10.0 SUMMARY OF ALTERNATIVES

Table 10-1 provides a summary of impacts for the No Project Alternative, three Build Alternatives, and the MSFs.

**Table 10-1. Significant Impacts Remaining After Mitigation**

Impact Topic	No Project Alternative	Alternative 1	Alternative 2	Alternative 3	MSF
Impact CUL-1: Historical Resources	No impact	Significant and unavoidable impact (Commerce MSF site option); Less than significant impact (Montebello MSF site option)	Significant and Unavoidable	Significant and unavoidable impact (Commerce MSF site option); Less than significant impact (Montebello MSF site option)	Significant and unavoidable impact (Commerce MSF site option); Less than significant impact (Montebello MSF site option)
Impact CUL-2: Archaeological Resources	No impact	Less than significant impact	Less than significant impact	Less than significant impact	Less than significant impact
Impact CUL-3: Disturbance of Human Remains	No impact	Less than significant impact	Less than significant impact	Less than significant impact	Less than significant impact

### 10.1 No Project

There would be no impacts on cultural resources under the No Project Alternative.

### 10.2 Alternative 1 Washington + MSF

With implementation of mitigation, the operation and construction of the base Alternative 1 with the Commerce MSF site option would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have less than significant impacts under Impact CUL-2 (Archaeologic Resources) and Impact CUL-3 (Disturbance of Human Remains). With implementation of mitigation, the operation and construction of the base Alternative 1 with the Montebello MSF site option would have a less than significant impact under Impact CUL-1 (Historical Resources), Impact CUL-2 (Archaeologic Resources), and Impact CUL-3 (Disturbance of Human Remains).

## 10.2.1 Alternative 1 Washington + MSF + Design Options

With implementation of mitigation, the operation and construction of Alternative 1 with the Commerce MSF site option and the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have less than significant impacts under Impact CUL-2 (Archaeologic Resources) and Impact CUL-3 (Disturbance of Human Remains). With implementation of mitigation, the operation and construction of Alternative 1 with the Montebello MSF site option and the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a less than significant impact under Impact CUL-1 (Historical Resources), Impact CUL-2 (Archaeologic Resources), and Impact CUL-3 (Disturbance of Human Remains).

## 10.3 Alternative 2 Atlantic to Commerce/Citadel IOS + MSF

The operation and construction of the base Alternative 2 and the Commerce MSF would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have a less than significant impacts under Impact CUL-2 (Archaeologic Resources) and Impact CUL-3 (Disturbance of Human Remains).

### 10.3.1 Alternative 2 Atlantic to Commerce/Citadel IOS + MSF +Design Option

The operation and construction of Alternative 2, the Commerce MSF, and the Atlantic/Pomona Station Option would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have less than significant impact under Impact CUL-2 (Archaeologic Resources), and Impact CUL-3 (Disturbance of Human Remains).

## 10.4 Alternative 3 Atlantic to Greenwood IOS + MSF

With implementation of mitigation, the operation and construction of the base Alternative 3 with the Commerce MSF site option would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have less than significant impacts under Impact CUL-2 (Archaeologic Resources) and Impact CUL-3 (Disturbance of Human Remains). With implementation of mitigation, the operation and construction of the base Alternative 3 with the Montebello MSF site option would have a less than significant impact under Impact CUL-1 (Historical Resources), Impact CUL-2 (Archaeologic Resources), and Impact CUL-3 (Disturbance of Human Remains).

## 10.4.1 Alternative 3 Atlantic to Greenwood + MSF + Design Options

With implementation of mitigation, the operation and construction of Alternative 3 with the Commerce MSF site option and the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a significant and unavoidable impact under Impact CUL-1 (Historical Resources) and would have less than significant impacts under Impact CUL-2 (Archaeologic Resources) and Impact CUL-3 (Disturbance of Human Remains). With implementation of mitigation, the operation and construction of Alternative 3 with the Montebello MSF site option and the Atlantic/Pomona Station Option and/or the Montebello At-Grade Option would have a less than significant impact under Impact CUL-1 (Historical Resources), Impact CUL-2 (Archaeologic Resources), and Impact CUL-3 (Disturbance of Human Remains).

## 11.0 PREPARERS QUALIFICATIONS

Name	Title	Education	Experience (Years)
Trina Meiser	Architectural Historian	MS – Historic Preservation Planning, Cornell University, 2003 BA – History, Kenyon College, 1998	20
Monica Wilson	Architectural Historian	MS – Public History, California State University, Sacramento, 2015 BA – History, California State University, Sacramento, 2012	8
Marc Beherec	Archaeologist	PhD – Anthropology, University of California, San Diego, 2011 MA – Anthropology, University of California, San Diego, 2004 BA – Anthropology (minor Geology), University of Texas, Austin, 2000	20



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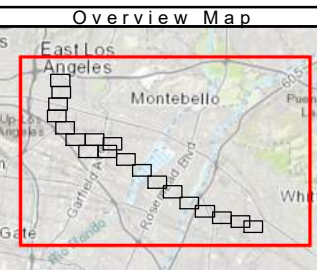
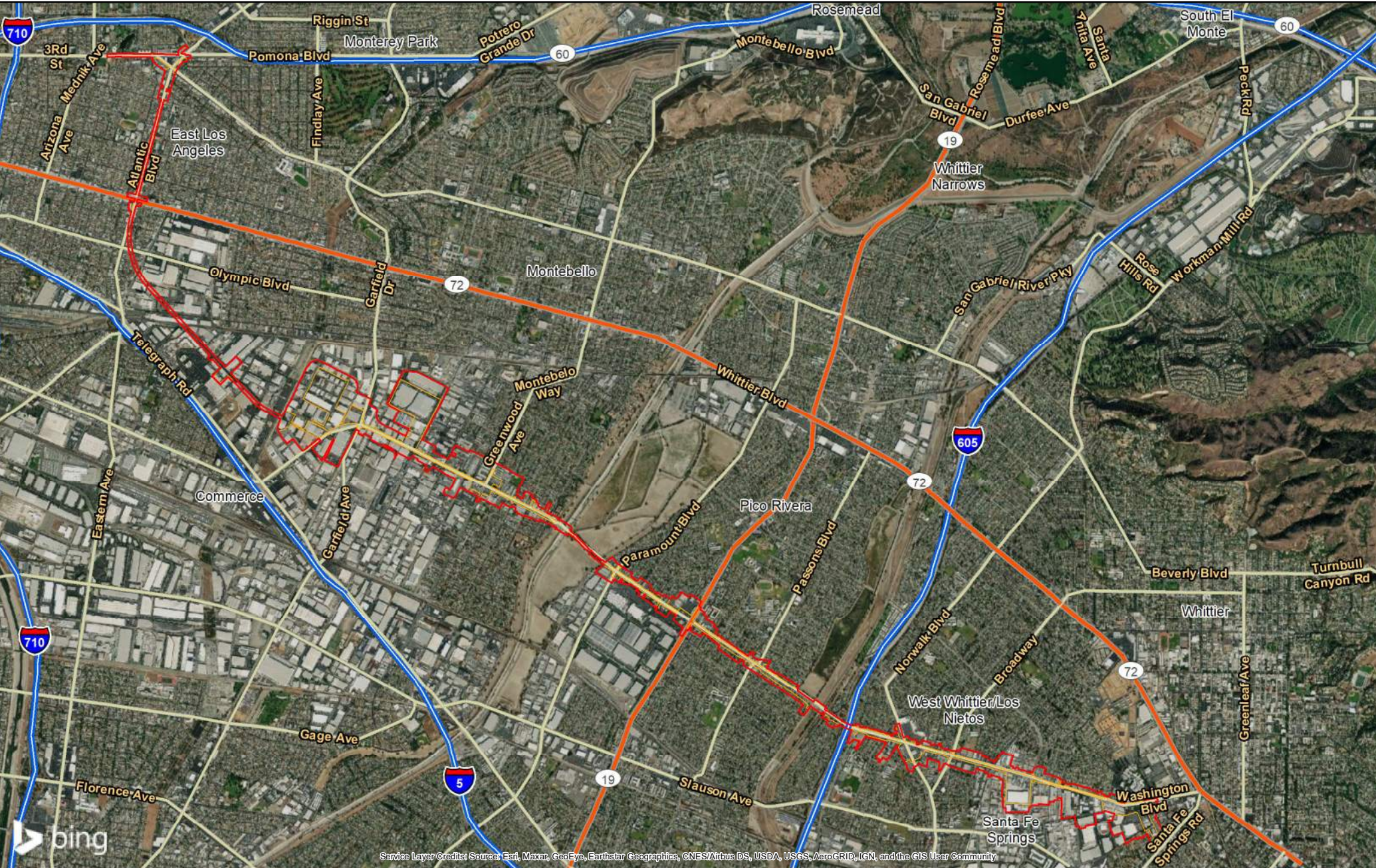
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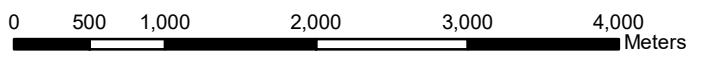
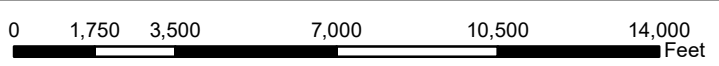
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# ATTACHMENT A – AREA OF POTENTIAL EFFECTS MAP



Area of Potential Effects  
 Area of Direct Impacts



Scale: 1:50,000  
 1 in = 4,167 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



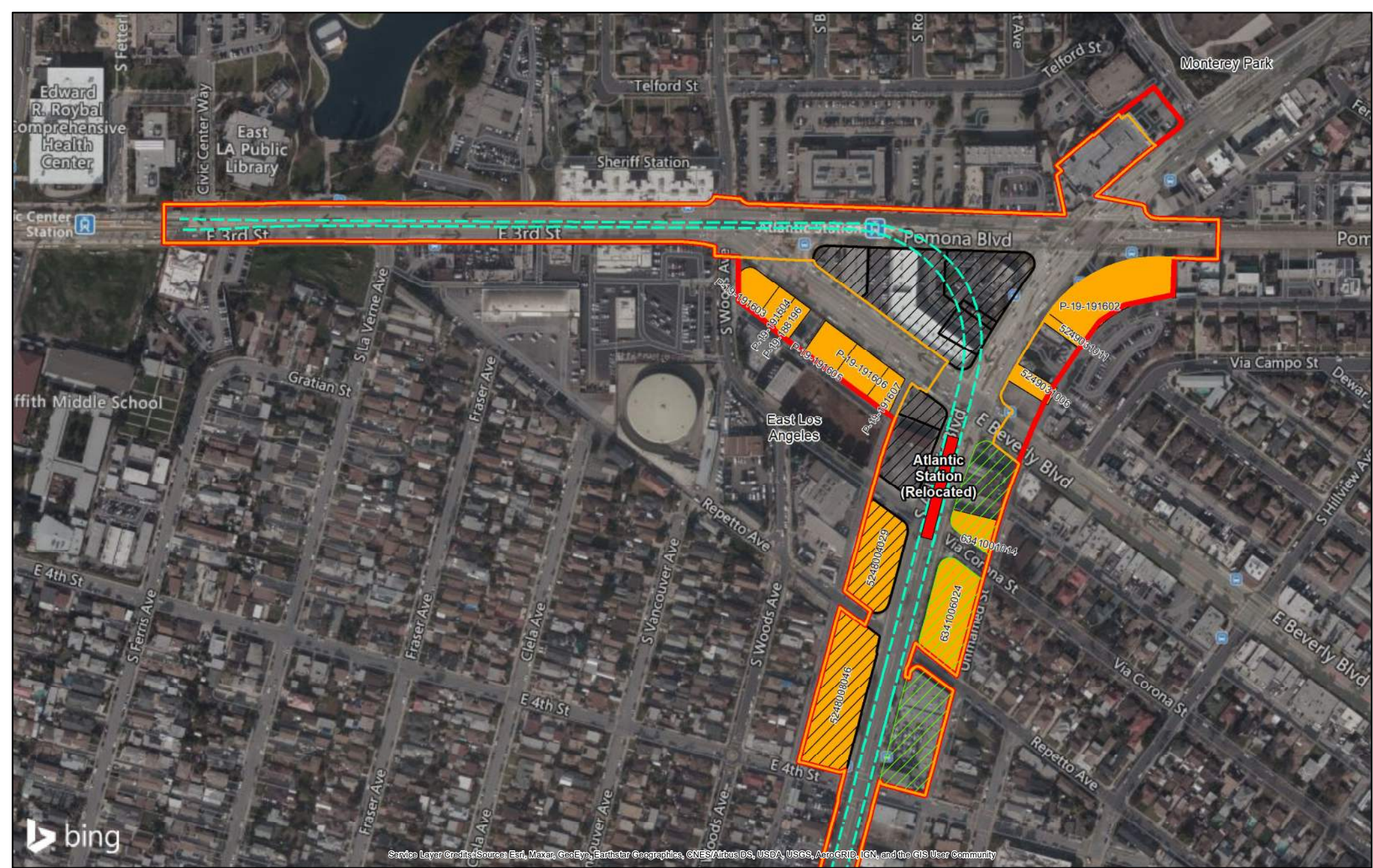
Eastside Transit Corridor Phase 2 Project  
Washington Alternative

### Built Environment

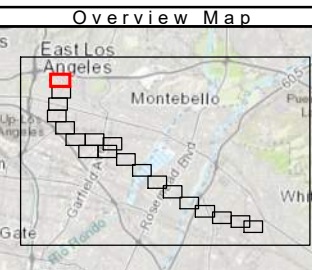
Project: 60039033



Figure 1



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (Underground)
- Potential Staging Area
- Historic Property/Historical Resource**
- Not eligible

0 135 270 540 810 1,080 Feet

0 40 80 160 240 320 Meters

**Scale:** 1:3,900  
1 in = 325 ft

Date: 8/11/2021  
Projection: NAD 83 UTM Zone 11N

Eastside Transit Corridor Phase 2 Project  
Washington Alternative

**Built Environment**

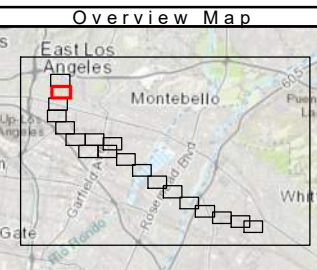
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**AECOM**

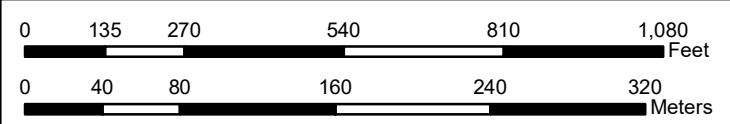
**Figure 2**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- - - Rail Guideway (Underground)
- Potential Staging Area



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

**Built Environment**

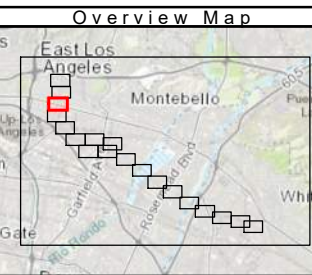
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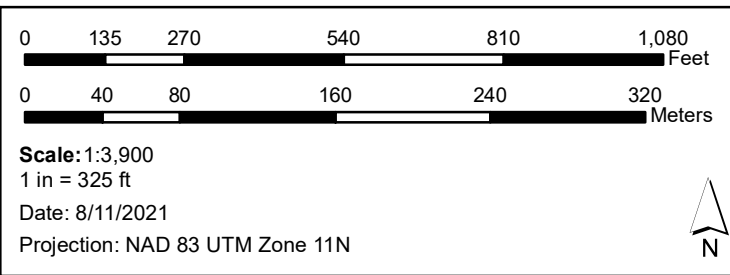




Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (Underground)
- Potential Staging Area
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Eastside Transit Corridor Phase 2 Project  
Washington Alternative

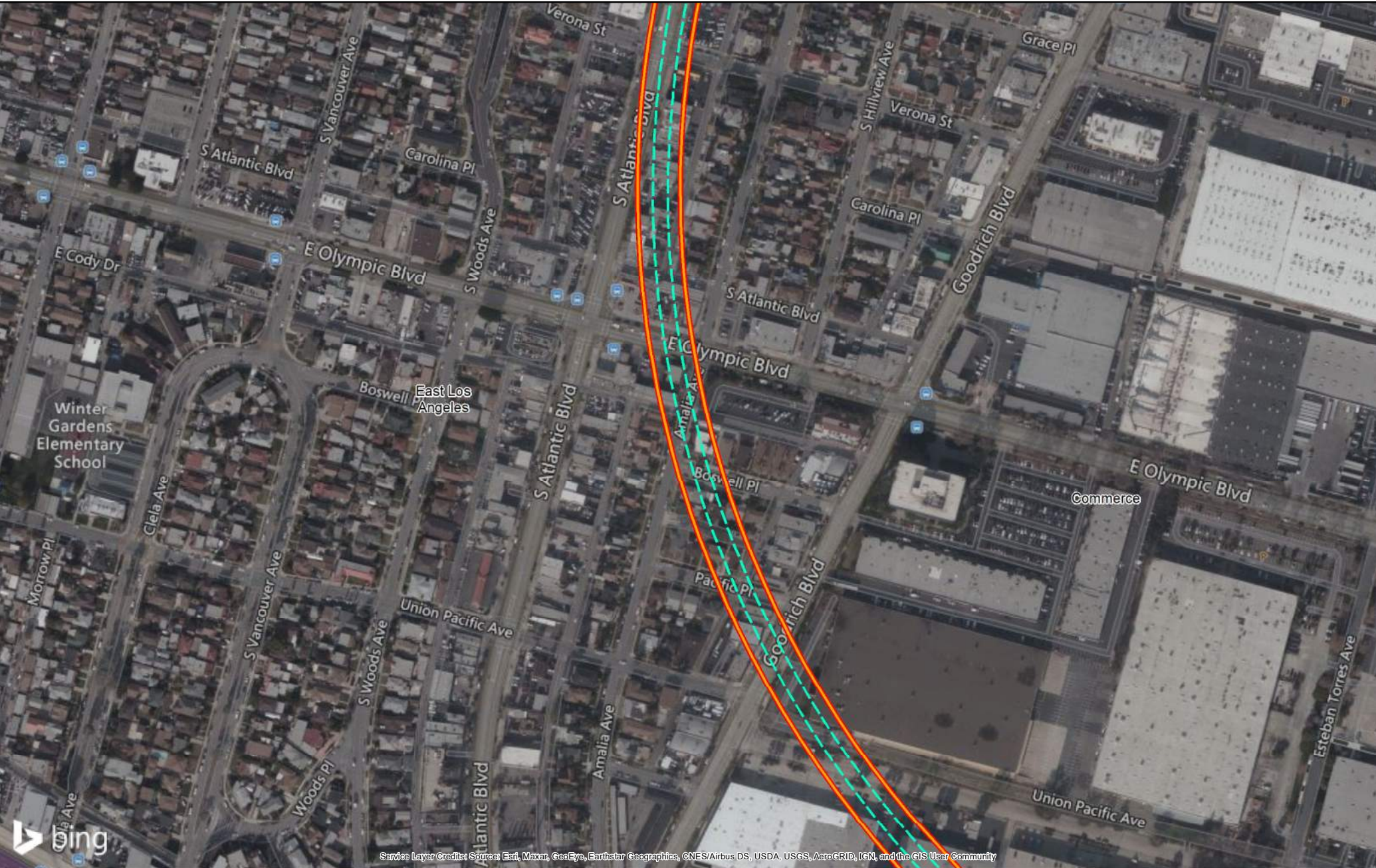
**Built Environment**

Project: 60039033

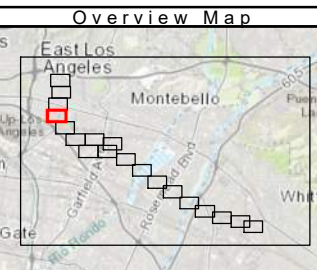
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**Figure 4**

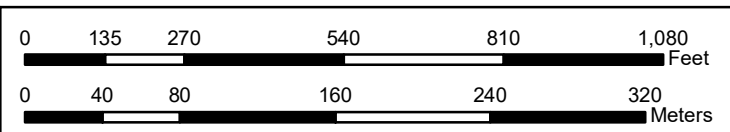




Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- - - Rail Guideway (Underground)



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N

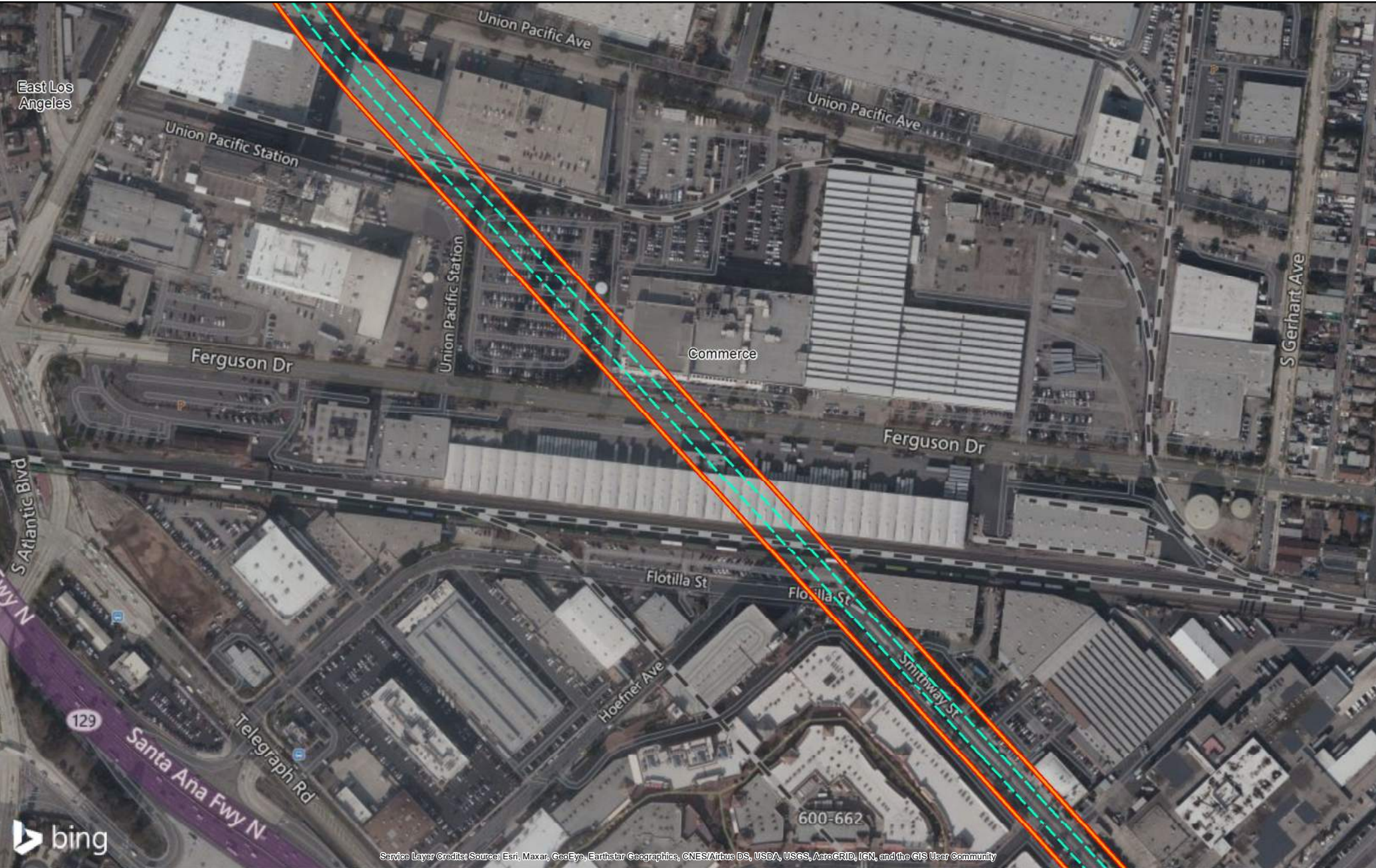


Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

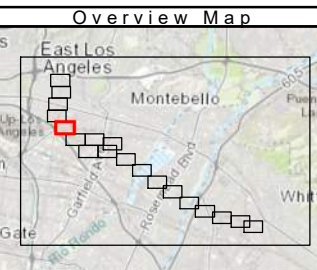
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Project: 60039033





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- Area of Potential Effects
- Area of Direct Impacts
- - - Rail Guideway (Underground)



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N

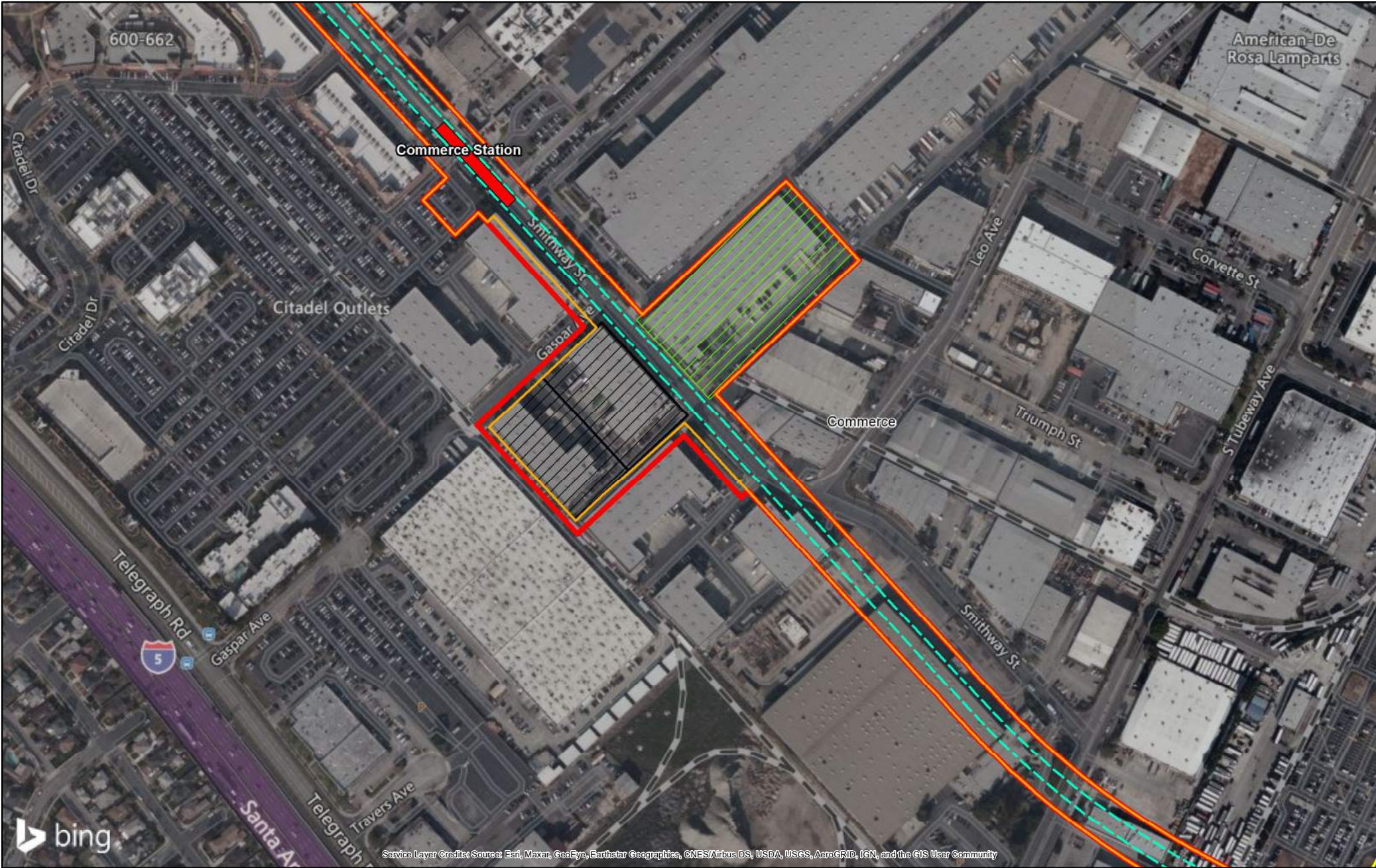


Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

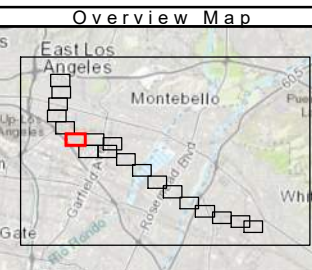
**Built Environment**

Project: 60039033





Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (Underground)
- Potential Staging Area
- Vail Field Industrial Addition Historic District (Eligible)

0 135 270 540 810 1,080 Feet

0 40 80 160 240 320 Meters

**Scale:** 1:3,900  
1 in = 325 ft

Date: 8/11/2021

Projection: NAD 83 UTM Zone 11N

Eastside Transit Corridor Phase 2 Project  
Washington Alternative

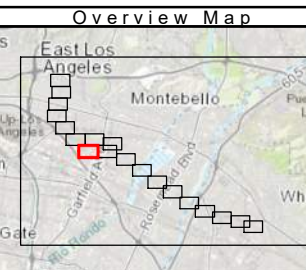
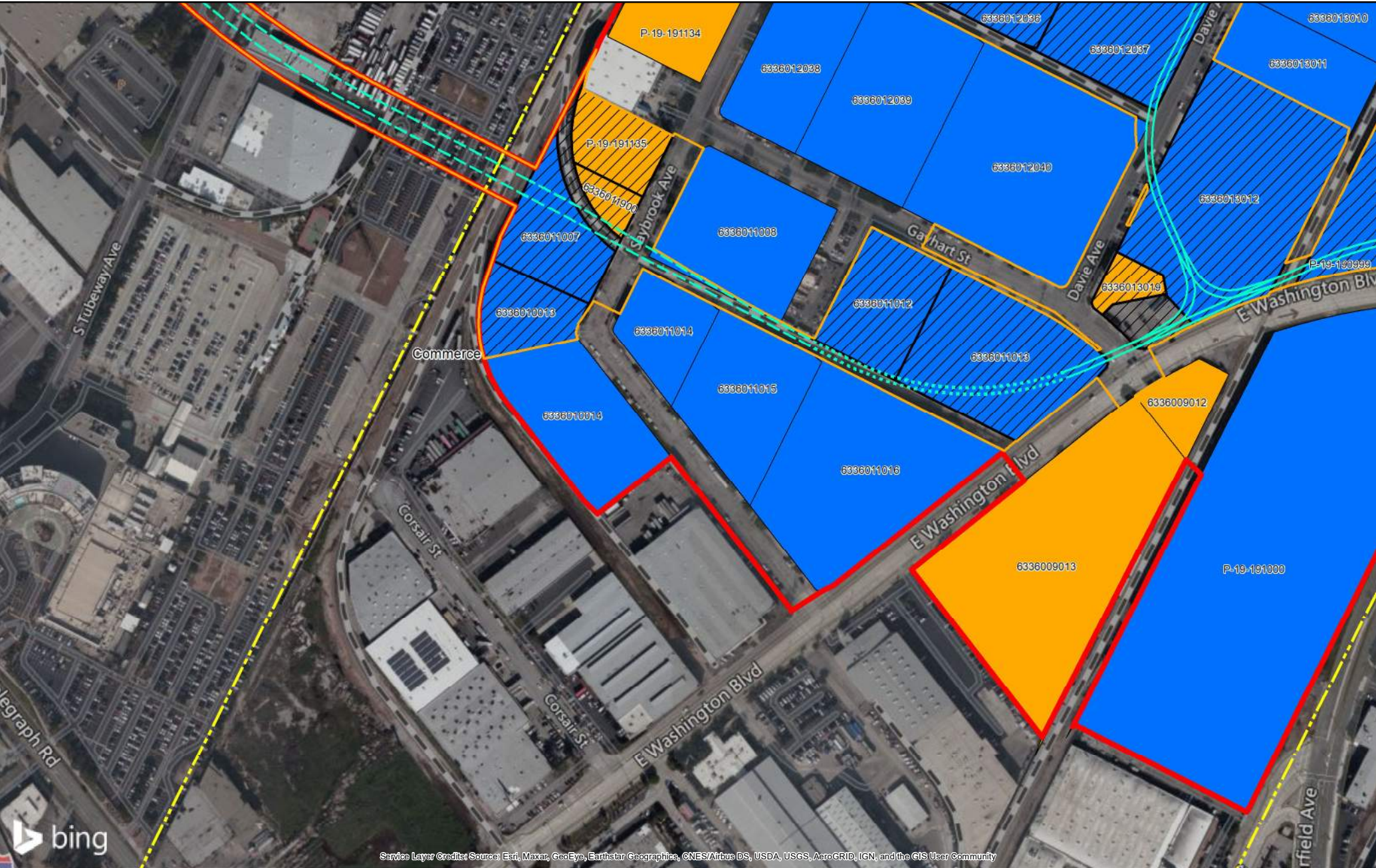
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Project: 60039033

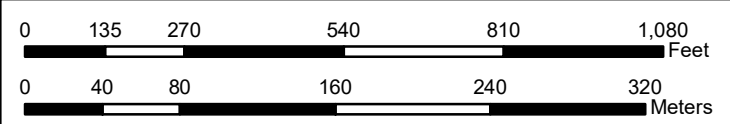
**AECOM**

**Figure 7**





- ▬ Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Rail Guideway (Elevated)
- Rail Guideway (Underground)
- Vail Field Industrial Addition Historic District (Eligible)
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N

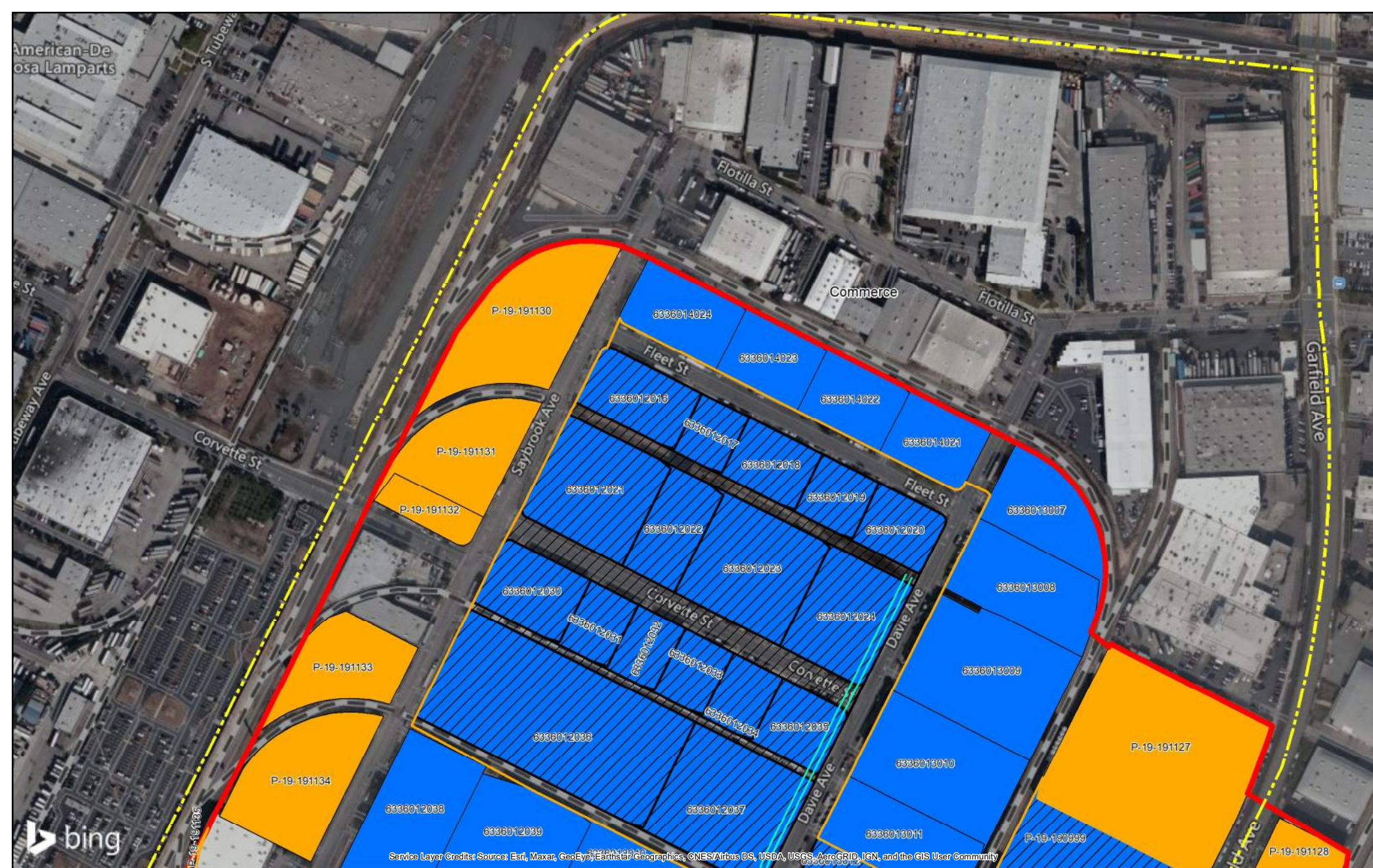


Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

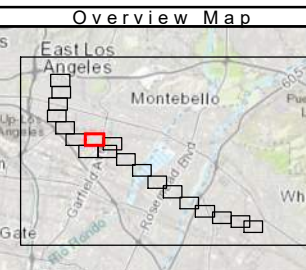
### Built Environment

Project: 60039033





Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar/Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Vail Field Industrial Addition Historic District (Eligible)
- Historic Property/Historical Resource**
- Eligible
- Not eligible

0 135 270 540 810 1,080 Feet

0 40 80 160 240 320 Meters

**Scale:** 1:3,900  
1 in = 325 ft

**Date:** 8/11/2021

**Projection:** NAD 83 UTM Zone 11N

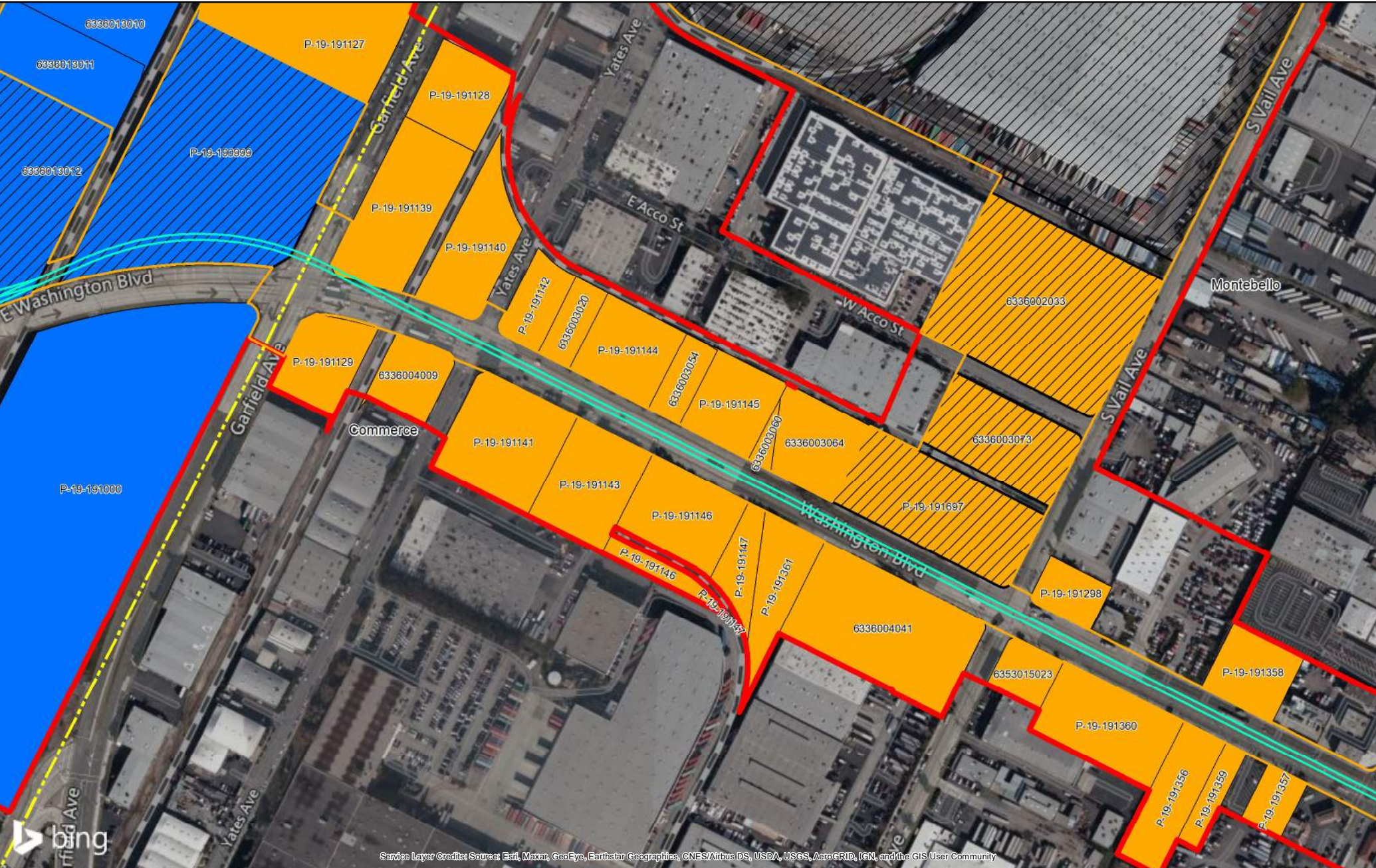
Eastside Transit Corridor Phase 2 Project  
Washington Alternative

**Built Environment**

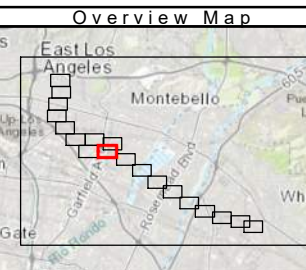
Project: 60039033

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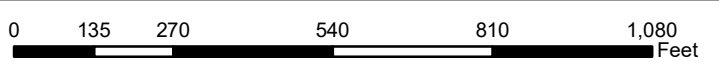
**Figure 9**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- █ Area of Potential Effects
- █ Area of Direct Impacts
- █ Property Acquisition
- Rail Guideway (At-grade)
- █ Vail Field Industrial Addition Historic District (Eligible)
- Historic Property/Historical Resource**
- █ Eligible
- █ Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



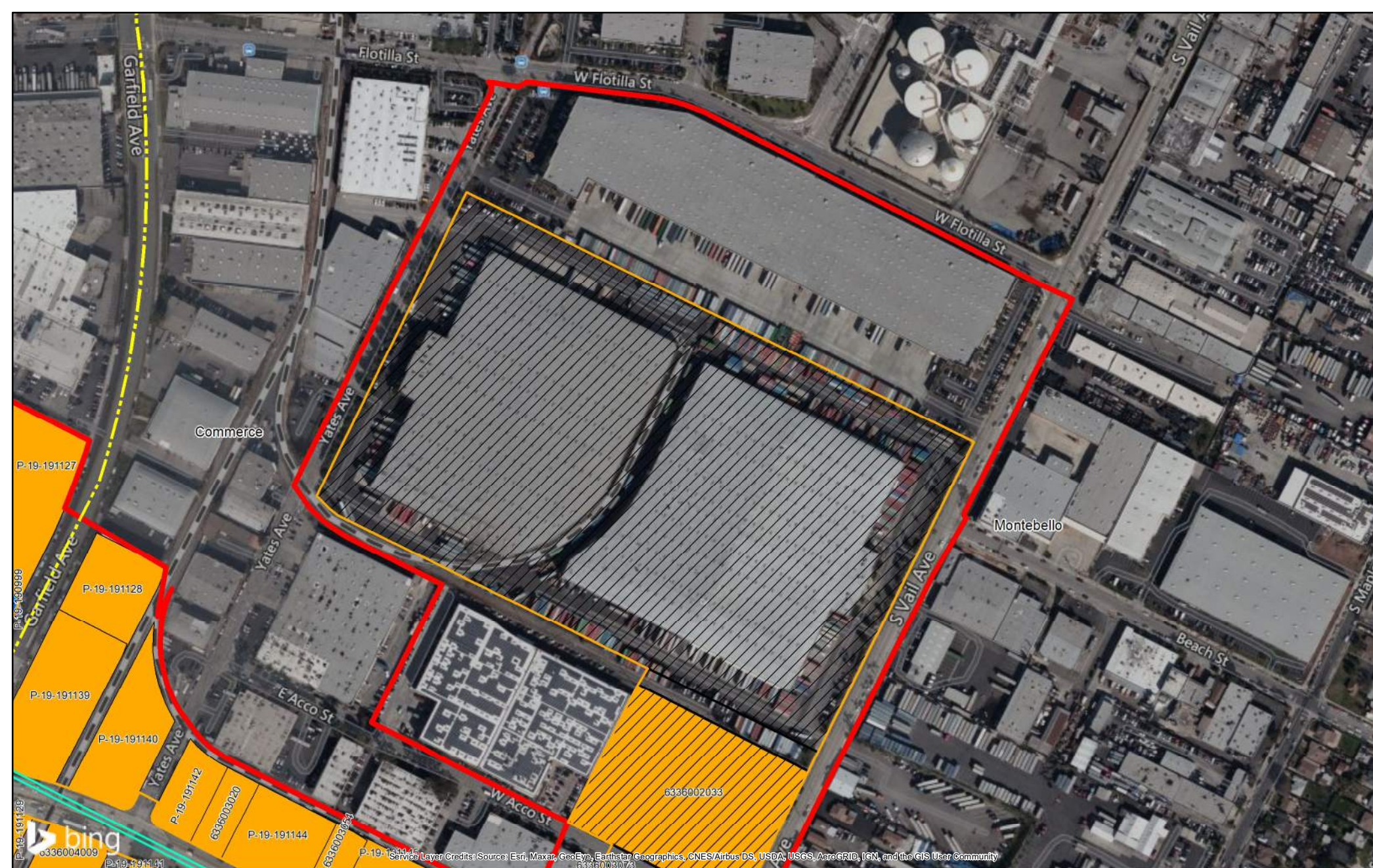
Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

**Built Environment**

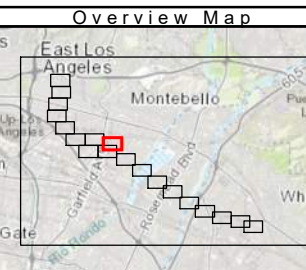
Project: 60039033

**AECOM**

**Figure 10**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Vail Field Industrial Addition Historic District (Eligible)
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



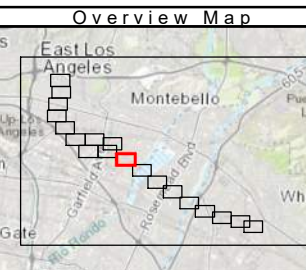
Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

### Built Environment





Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (At-grade)
- Potential Staging Area
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

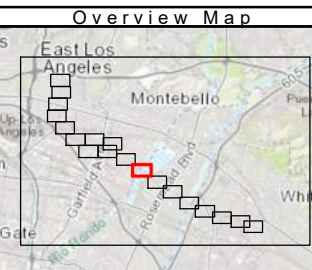
### Built Environment

Project: 60039033

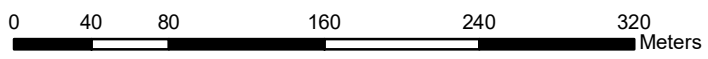
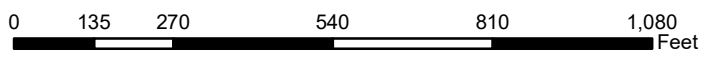




Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Historic Property/Historical Resource**
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N

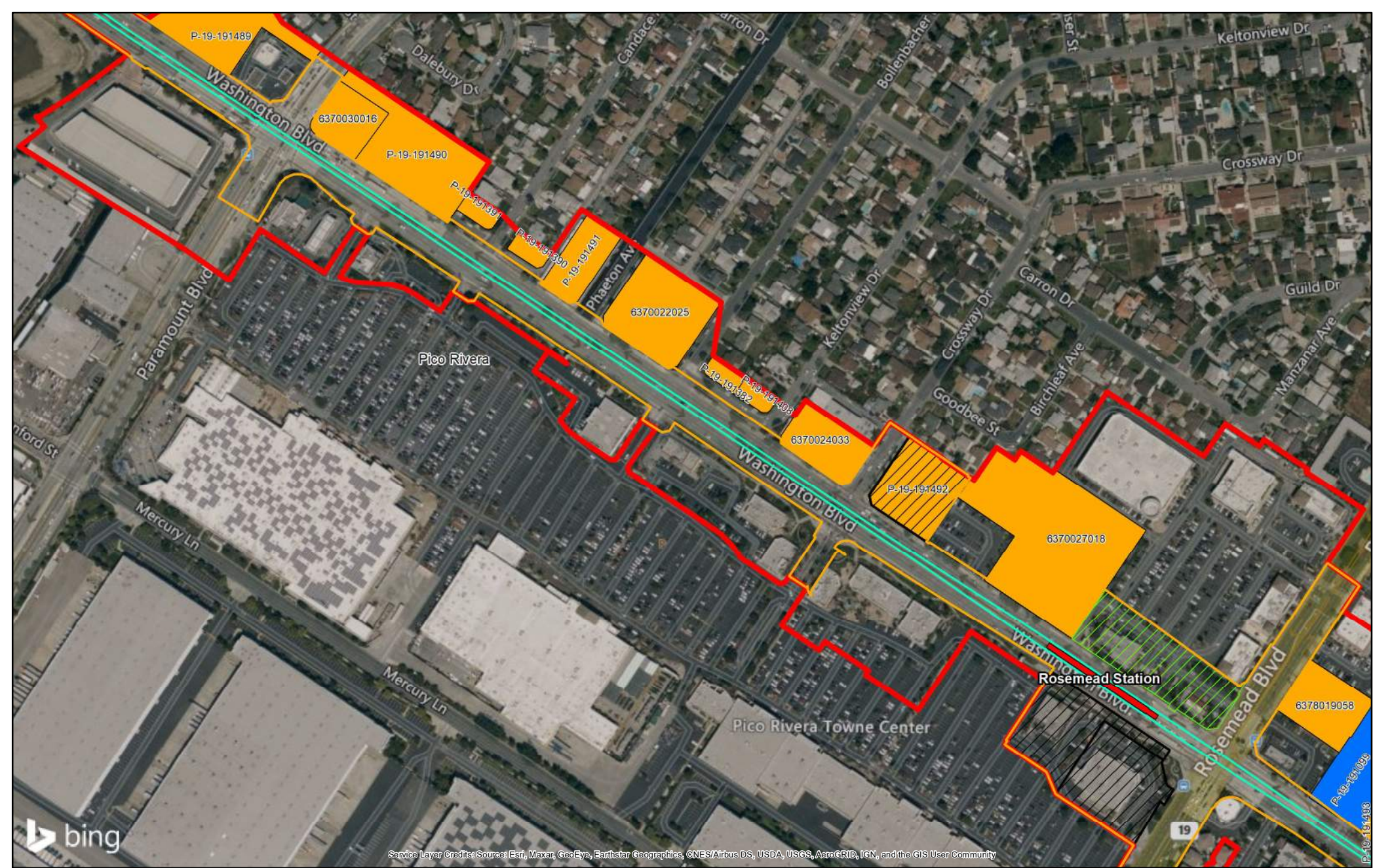


Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

**Built Environment**

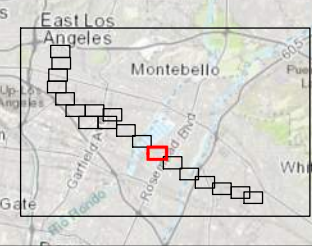
Project: 60039033





Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Overview Map



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (At-grade)
- Potential Staging Area
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



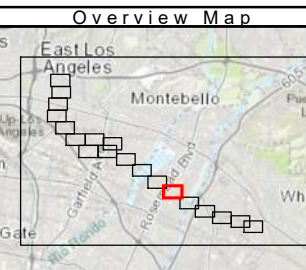
Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

**Built Environment**

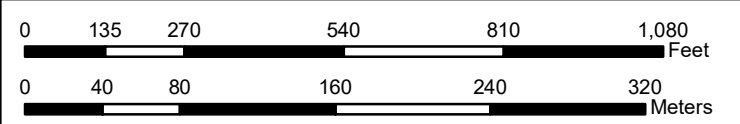
Project: 60039033  
**AECOM** **Figure 14**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- ▭ Area of Potential Effects
- ▭ Area of Direct Impacts
- ▭ Proposed Station
- Property Acquisition
- Rail Guideway (At-grade)
- Potential Staging Area
- Historic Property/Historical Resource**
- Eligible
- Not eligible
- Not Determined During Survey

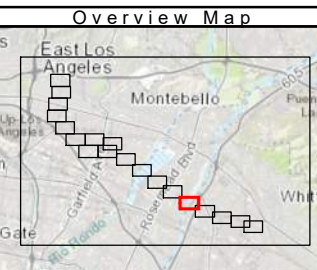


**Scale:** 1:3,900  
 1 in = 325 ft  
**Date:** 8/11/2021  
**Projection:** NAD 83 UTM Zone 11N



Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

### Built Environment



**Legend**

- Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Historic Property/Historical Resource**
- Not eligible

**Scale**

0 135 270 540 810 1,080 Feet

0 40 80 160 240 320 Meters

Scale: 1:3,900  
1 in = 325 ft

Date: 8/11/2021

Projection: NAD 83 UTM Zone 11N

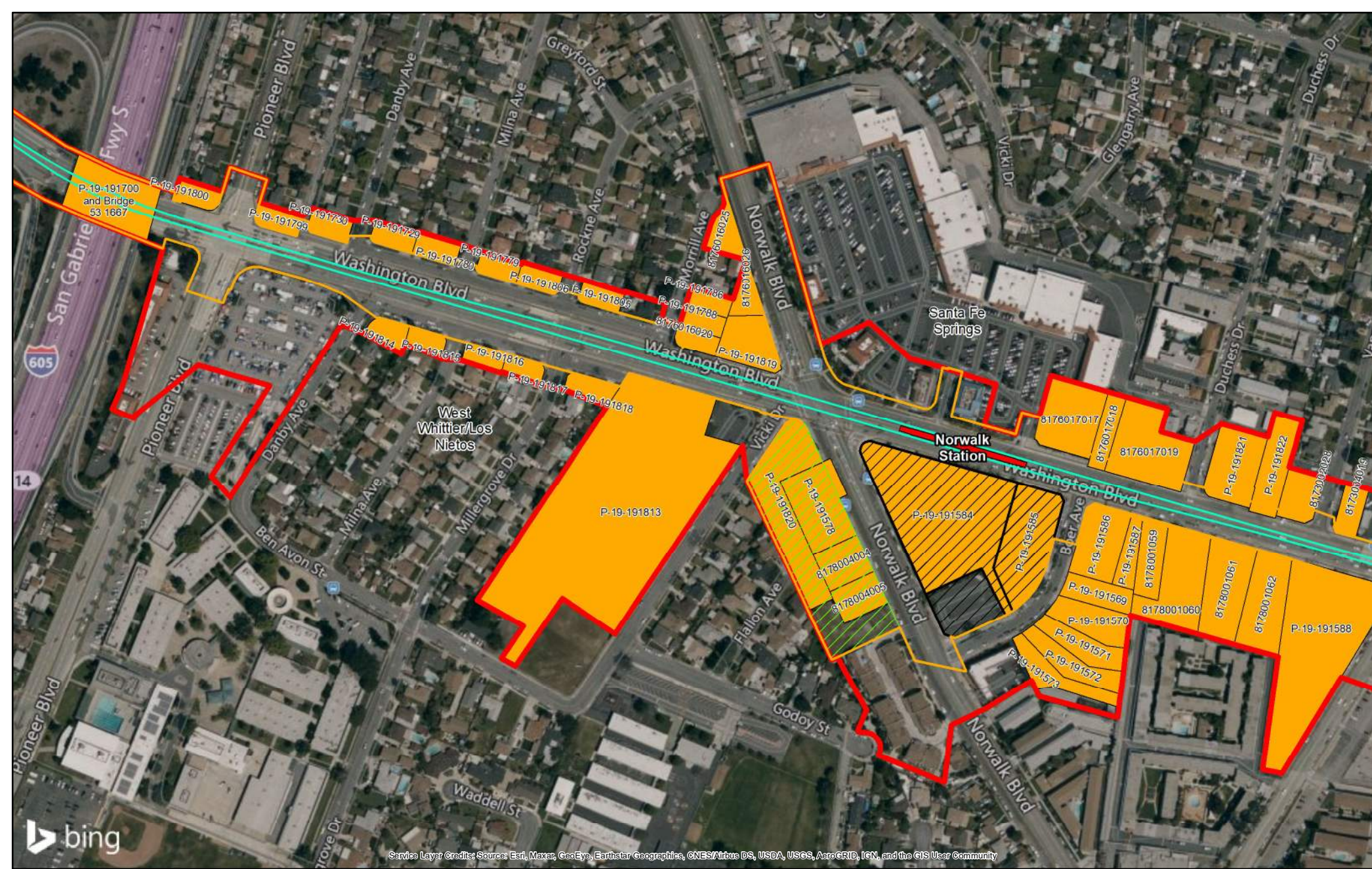
Eastside Transit Corridor Phase 2 Project  
Washington Alternative

**Built Environment**

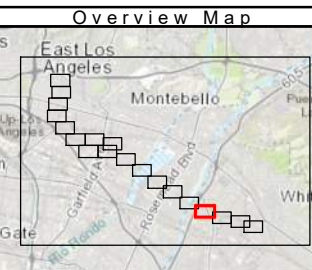
Project: 60039033

**AECOM**

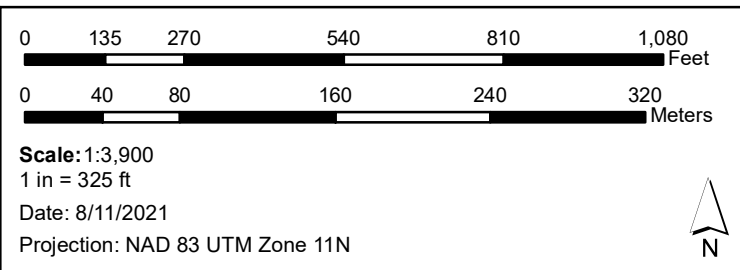
**Figure 16**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (At-grade)
- Potential Staging Area
- Historic Property/Historical Resource**
- Not eligible



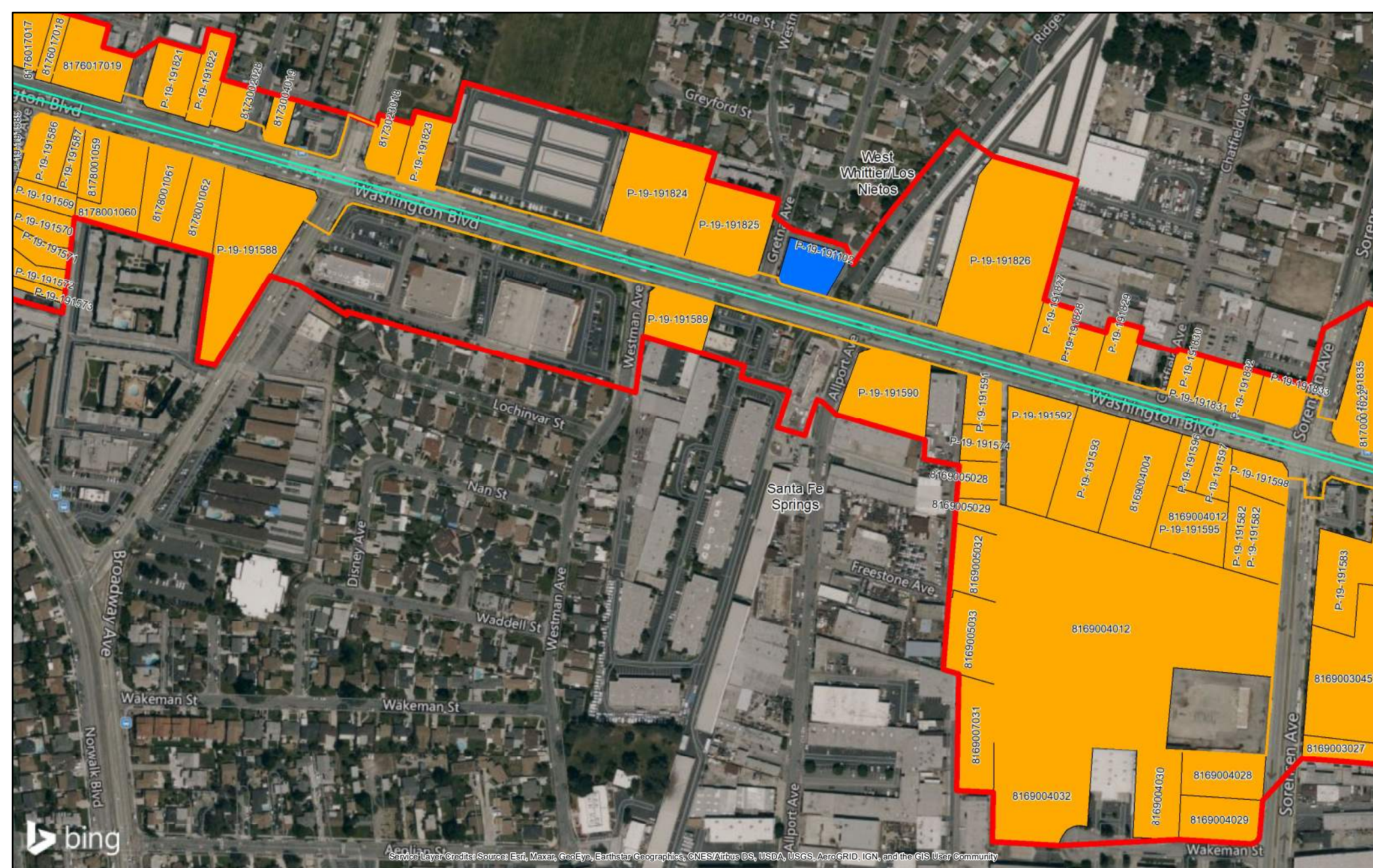
Eastside Transit Corridor Phase 2 Project  
Washington Alternative

## Built Environment

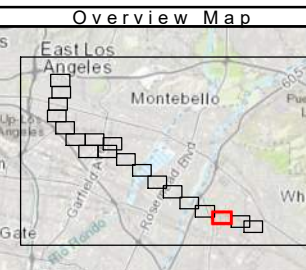
Project: 60039033

**AECOM** Figure 17





Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:4,200  
 1 in = 350 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N



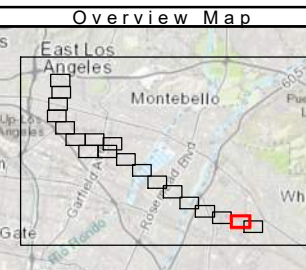
Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

### Built Environment

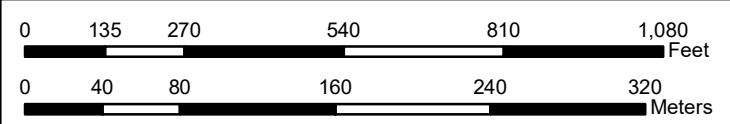
Project: 60039033  
**AECOM**  
**Figure 18**



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- ▭ Area of Potential Effects
- Area of Direct Impacts
- Property Acquisition
- Rail Guideway (At-grade)
- Historic Property/Historical Resource**
- Eligible
- Not eligible



Scale: 1:3,900  
 1 in = 325 ft  
 Date: 8/11/2021  
 Projection: NAD 83 UTM Zone 11N

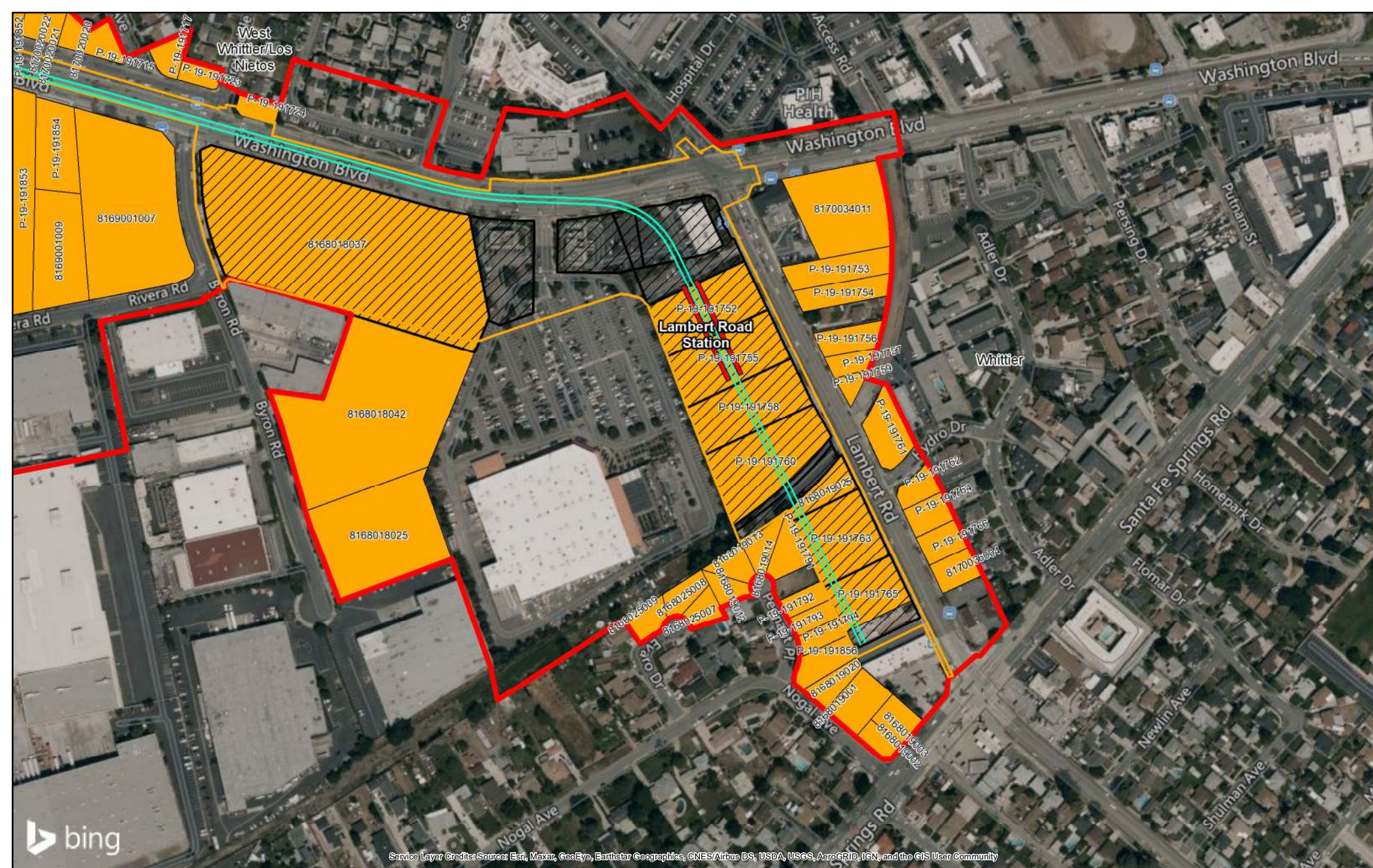


Eastside Transit Corridor Phase 2 Project  
 Washington Alternative

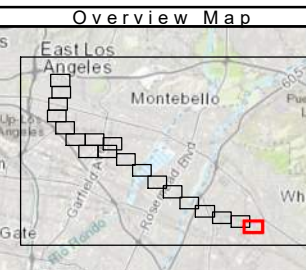
### Built Environment

Project: 60039033  
**AECOM** **Figure 19**

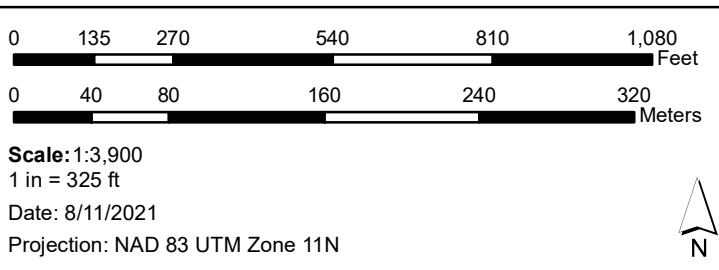




Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



- Area of Potential Effects
- Area of Direct Impacts
- Proposed Station
- Property Acquisition
- Rail Guideway (At-grade)
- Historic Property/Historical Resource**
- Not eligible



Eastside Transit Corridor Phase 2 Project  
Washington Alternative

**Built Environment**

Project: 60039033

**AECOM**

**Figure 20**

# ATTACHMENT B – CONSULTATION CORRESPONDENCE



U.S. Department  
of Transportation  
**Federal Transit  
Administration**

REGION IX  
Arizona, California,  
Hawaii, Nevada, Guam  
American Samoa,  
Northern Mariana Islands

90 7<sup>th</sup> Street  
Suite 15-300  
San Francisco, CA 94103-6701  
415-734-9490

888 South Figueroa Street  
Suite 440  
Los Angeles, CA 90017-5467  
213-202-3950

**DEC - 3 2019**

Andrew Salas, Chairperson  
Gabieleno Band of Mission  
Indians - Kizh Nation  
P.O. Box 393  
Covina, CA, 91723

RE: Section 106 Consultation/AB 52 Notification  
of Undertaking for the Eastside Transit Corridor  
Phase 2 Project, Los Angeles County, California

Dear Mr. Salas:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is conducting consultation under the National Historic Preservation Act (NHPA) of 1966, as amended, for the Eastside Transit Corridor Phase 2 Project (Project) in Los Angeles County, California. LACMTA will seek federal funds from FTA for the Project and therefore, the Project is a federal undertaking subject to Section 106 of the NHPA. FTA is the federal lead agency under the National Environmental Policy Act (NEPA) and LACMTA serves as the lead agency under the California Environmental Quality Act (CEQA) in the preparation of a Supplemental Draft Environmental Impact Statement/Recirculated Draft Environmental Impact Report (SDEIS/RDEIR). FTA is contacting interested parties, including Native American tribes and consulting parties per 36 CFR Part 800.2(c) to identify prehistoric sites, sacred sites, and/or traditional cultural properties located in the vicinity of the Project Area. You have been identified as a party with interest or knowledge of the Project study area.

The Project is also subject to CEQA and consultation requirements under Assembly Bill (AB) 52 (Public Resources Code 21080.3.1) regarding Native American groups. As such, this letter also serves to initiate consultation with Native American groups in compliance with AB 52.

### **Project Description**

The proposed Eastside Transit Corridor Phase 2 Project would extend the existing Metro Gold Line, linking communities east of Los Angeles to the regional transit network. The Project area consists of portions of eight incorporated cities, including Commerce, Montebello, Monterey Park, Pico Rivera, Rosemead, Santa Fe Springs, South El Monte, and Whittier, as well portions of unincorporated Los Angeles County, including East Los Angeles and West Whittier-Los

Nietos (see Attachment 1). Additional information can be found at the Project website at: [https://www.metro.net/projects/eastside\\_phase2/](https://www.metro.net/projects/eastside_phase2/).

Attachment 1 also shows the following three build alternatives for light rail transit (LRT) in the Project area:

- **State Route 60 (SR 60) Alternative:** This LRT alternative would extend the existing Metro Gold Line from the existing Atlantic Station in East Los Angeles to the City of South El Monte. It would include four aerial stations. The alignment would be located primarily along the south side of the SR 60 Freeway right-of-way (ROW), except for a segment that would run along the north side of SR 60 to avoid the OII Superfund Site in Monterey Park.
- **Washington Alternative:** This LRT alternative would extend the Metro Gold Line from the existing Atlantic Station in East Los Angeles to the City of Whittier. It would include six stations in a mix of underground, aerial and at-grade configurations. The alignment configuration would also vary, transitioning from underground to aerial to at-grade along various portions of the alternative. Design options for potential aerial configurations along Washington Boulevard are also under consideration.
- **Combined Alternative:** This LRT alternative would be a combination of the SR 60 and Washington Alternatives and would require infrastructure and operational elements that would otherwise not be required if only one of the alternatives was operated as a “stand alone” line. Specifically, the Combined Alternative would contain a wye junction in East Los Angeles that would connect the SR 60 and Washington Alternatives, allowing train movements between both alignments.

### Consultation


If you have any information or concern regarding potential impacts on prehistoric sites, sacred sites, and/or traditional cultural properties that would be relevant to this Project, please contact Mary Nguyen (FTA) or Jenny Cristales-Cevallos (LACMTA) at the following addresses.

<p>Mary Nguyen Environmental Protection Specialist Federal Transit Administration, Region 9 Los Angeles Metropolitan Office 888 South Figueroa Street, Suite 440 Los Angeles, CA 90017-5467</p>	<p>Jenny Cristales-Cevallos Senior Manager, Transportation Planning Countywide Planning Los Angeles County Metropolitan Transportation Authority One Gateway Plaza Los Angeles, CA 90012</p>
---	--

If you are interested in participating as a Consulting Party for this Project undertaking under the AB 52 guidelines, please respond in writing within 30 days of receipt of this letter to the contact information provided on the attached form (Attachment 2). On the form, include a statement of demonstrated interest in pre-historic and/or historic resources associated with this Project.

If you would like additional information or have any questions about the Project, please feel free to contact Mary Nguyen, Environmental Protection Specialist, by phone (213) 202-3960 or by email at [mary.nguyen@dot.gov](mailto:mary.nguyen@dot.gov).

Sincerely,



Ray Tellis  
Regional Administrator

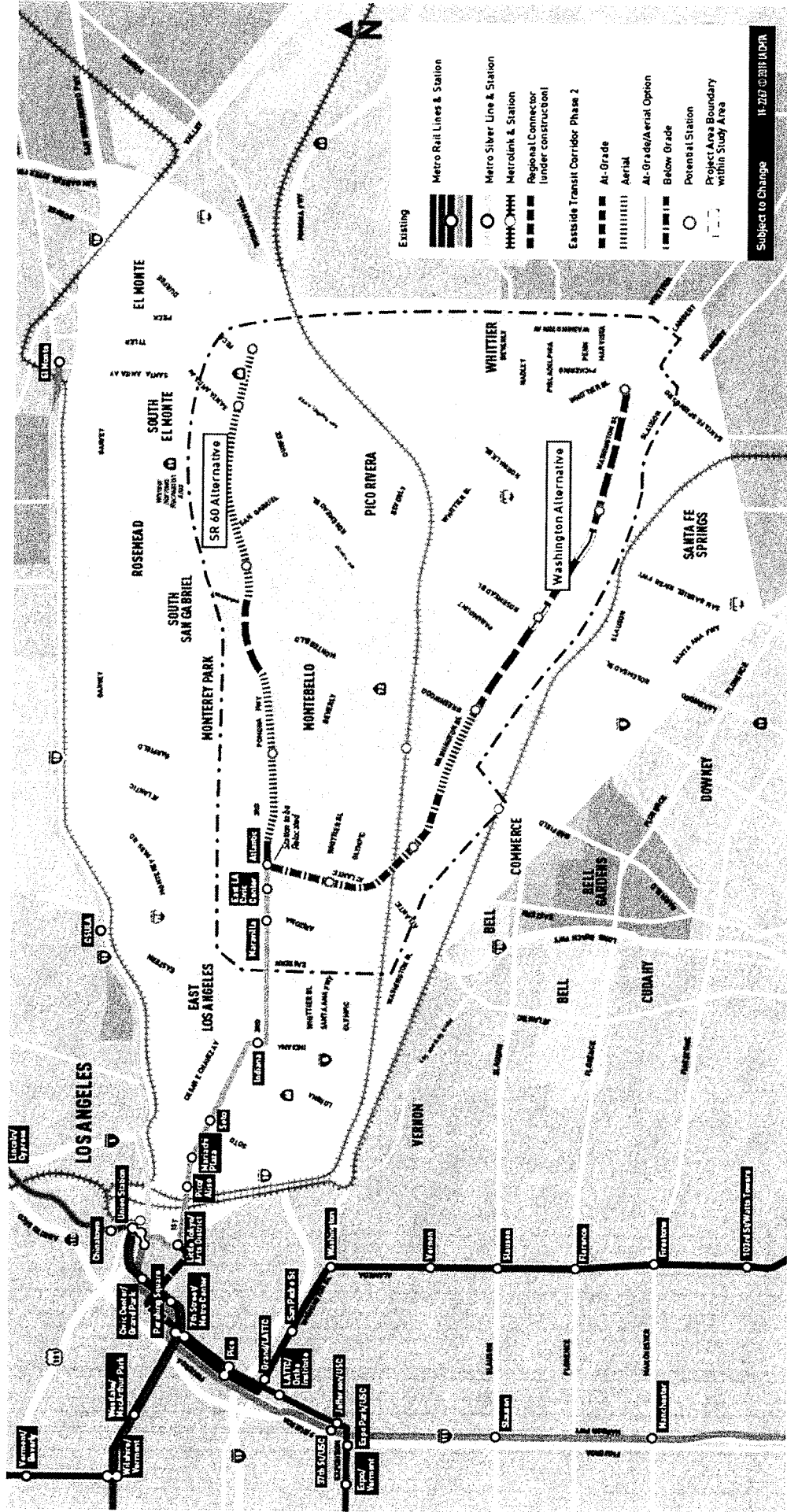
Enclosures:

Attachment 1: Eastside Transit Corridor Phase 2 Project Area and Alternatives

Attachment 2: Assembly Bill 52 Consulting Parties Form

# Attachment 1

## Eastside Transit Corridor Phase 2 Project Area and Alternatives



**Attachment 2**  
**Assembly Bill 52 Consulting Parties Form**  
**Eastside Transit Corridor Phase 2 Project**  
**Los Angeles County, California**

Yes, I, \_\_\_\_\_, wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project. My demonstrated interest in prehistoric and/or historic properties as associated with this Project undertaking is described as follows:

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Or;

No, I, \_\_\_\_\_, do not wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project.

Date

Name of Organization:

Address:

Email Address:

Phone Number:

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---

---

Please return to:

Jenny Cristales-Cevallos  
Senior Manager, Transportation Planning, Countywide Planning  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012  
CristalesCevallosJ@metro.net



U.S. Department  
of Transportation  
**Federal Transit  
Administration**

REGION IX  
Arizona, California,  
Hawaii, Nevada, Guam  
American Samoa,  
Northern Mariana Islands

90 7<sup>th</sup> Street  
Suite 15-300  
San Francisco, CA 94103-6701  
415-734-9490

888 South Figueroa Street  
Suite 440  
Los Angeles, CA 90017-5467  
213-202-3950

**DEC - 3 2019**

Anthony Morales, Chairperson  
Gabieleno/Tongva San Gabriel  
Band of Mission Indians  
P.O. Box 693  
San Gabriel, CA, 91778

RE: Section 106 Consultation/AB 52 Notification  
of Undertaking for the Eastside Transit Corridor  
Phase 2 Project, Los Angeles County, California

Dear Mr. Morales:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is conducting consultation under the National Historic Preservation Act (NHPA) of 1966, as amended, for the Eastside Transit Corridor Phase 2 Project (Project) in Los Angeles County, California. LACMTA will seek federal funds from FTA for the Project and therefore, the Project is a federal undertaking subject to Section 106 of the NHPA. FTA is the federal lead agency under the National Environmental Policy Act (NEPA) and LACMTA serves as the lead agency under the California Environmental Quality Act (CEQA) in the preparation of a Supplemental Draft Environmental Impact Statement/Recirculated Draft Environmental Impact Report (SDEIS/RDEIR). FTA is contacting interested parties, including Native American tribes and consulting parties per 36 CFR Part 800.2(c) to identify prehistoric sites, sacred sites, and/or traditional cultural properties located in the vicinity of the Project Area. You have been identified as a party with interest or knowledge of the Project study area.

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### **Project Description**

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### Consultation

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<p>Mary Nguyen Environmental Protection Specialist Federal Transit Administration, Region 9 Los Angeles Metropolitan Office 888 South Figueroa Street, Suite 440 Los Angeles, CA 90017-5467</p>	<p>Jenny Cristales-Cevallos Senior Manager, Transportation Planning Countywide Planning Los Angeles County Metropolitan Transportation Authority One Gateway Plaza Los Angeles, CA 90012</p>
---	--

If you are interested in participating as a Consulting Party for this Project undertaking under the AB 52 guidelines, please respond in writing within 30 days of receipt of this letter to the contact information provided on the attached form (Attachment 2). On the form, include a statement of demonstrated interest in pre-historic and/or historic resources associated with this Project.

If you would like additional information or have any questions about the Project, please feel free to contact Mary Nguyen, Environmental Protection Specialist, by phone (213) 202-3960 or by email at [mary.nguyen@dot.gov](mailto:mary.nguyen@dot.gov).

Sincerely,

  
for Ray Tellis  
Regional Administrator

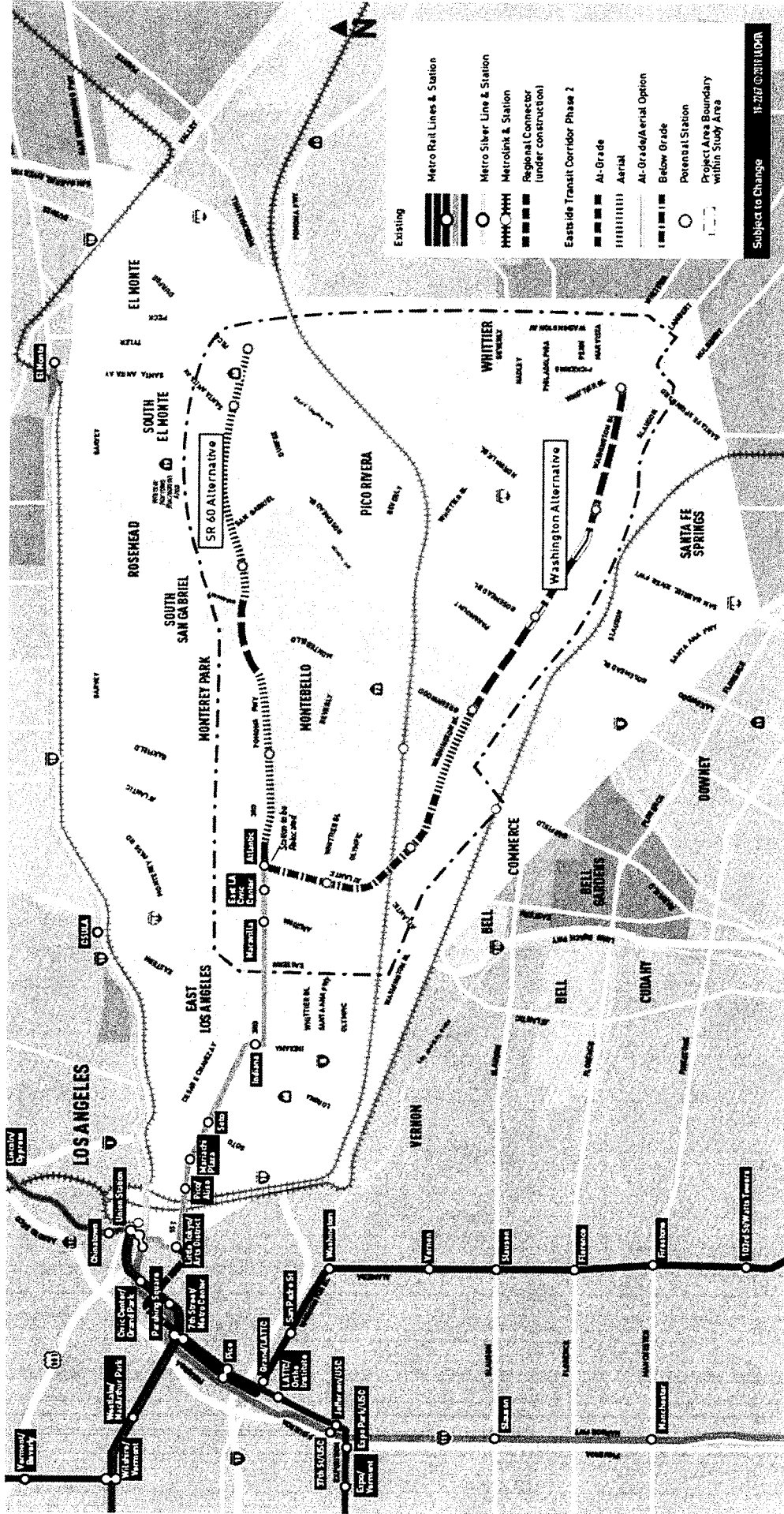
Enclosures:

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# Attachment 1

## Eastside Transit Corridor Phase 2 Project Area and Alternatives



**Attachment 2**  
**Assembly Bill 52 Consulting Parties Form**  
**Eastside Transit Corridor Phase 2 Project**  
**Los Angeles County, California**

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Or;

No, I, \_\_\_\_\_, do not wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project.

Date

Name of Organization:

Address:

Email Address:

Phone Number:

---

---

---

---

---

Please return to:

Jenny Cristales-Cevallos  
Senior Manager, Transportation Planning, Countywide Planning  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012  
CristalesCevallosJ@metro.net



U.S. Department  
of Transportation  
**Federal Transit  
Administration**

REGION IX  
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Hawaii, Nevada, Guam  
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Northern Mariana Islands

90 7<sup>th</sup> Street  
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San Francisco, CA 94103-6701  
415-734-9490

888 South Figueroa Street  
Suite 440  
Los Angeles, CA 90017-5467  
213-202-3950

**DEC - 3 2019**

Charles Alvarez  
Gabrielino-Tongva Tribe  
23454 Vanowen Street  
West Hills, CA, 91307

RE: Section 106 Consultation/AB 52 Notification  
of Undertaking for the Eastside Transit Corridor  
Phase 2 Project, Los Angeles County, California

Dear Mr. Alvarez:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is conducting consultation under the National Historic Preservation Act (NHPA) of 1966, as amended, for the Eastside Transit Corridor Phase 2 Project (Project) in Los Angeles County, California. LACMTA will seek federal funds from FTA for the Project and therefore, the Project is a federal undertaking subject to Section 106 of the NHPA. FTA is the federal lead agency under the National Environmental Policy Act (NEPA) and LACMTA serves as the lead agency under the California Environmental Quality Act (CEQA) in the preparation of a Supplemental Draft Environmental Impact Statement/Recirculated Draft Environmental Impact Report (SDEIS/RDEIR). FTA is contacting interested parties, including Native American tribes and consulting parties per 36 CFR Part 800.2(c) to identify prehistoric sites, sacred sites, and/or traditional cultural properties located in the vicinity of the Project Area. You have been identified as a party with interest or knowledge of the Project study area.

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### **Project Description**

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### Consultation


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<p>Mary Nguyen  Environmental Protection Specialist  Federal Transit Administration, Region 9  Los Angeles Metropolitan Office  888 South Figueroa Street, Suite 440  Los Angeles, CA 90017-5467</p>	<p>Jenny Cristales-Cevallos  Senior Manager, Transportation Planning  Countywide Planning  Los Angeles County Metropolitan  Transportation Authority  One Gateway Plaza  Los Angeles, CA 90012</p>
--	--

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Sincerely,



Ray Tellis  
Regional Administrator

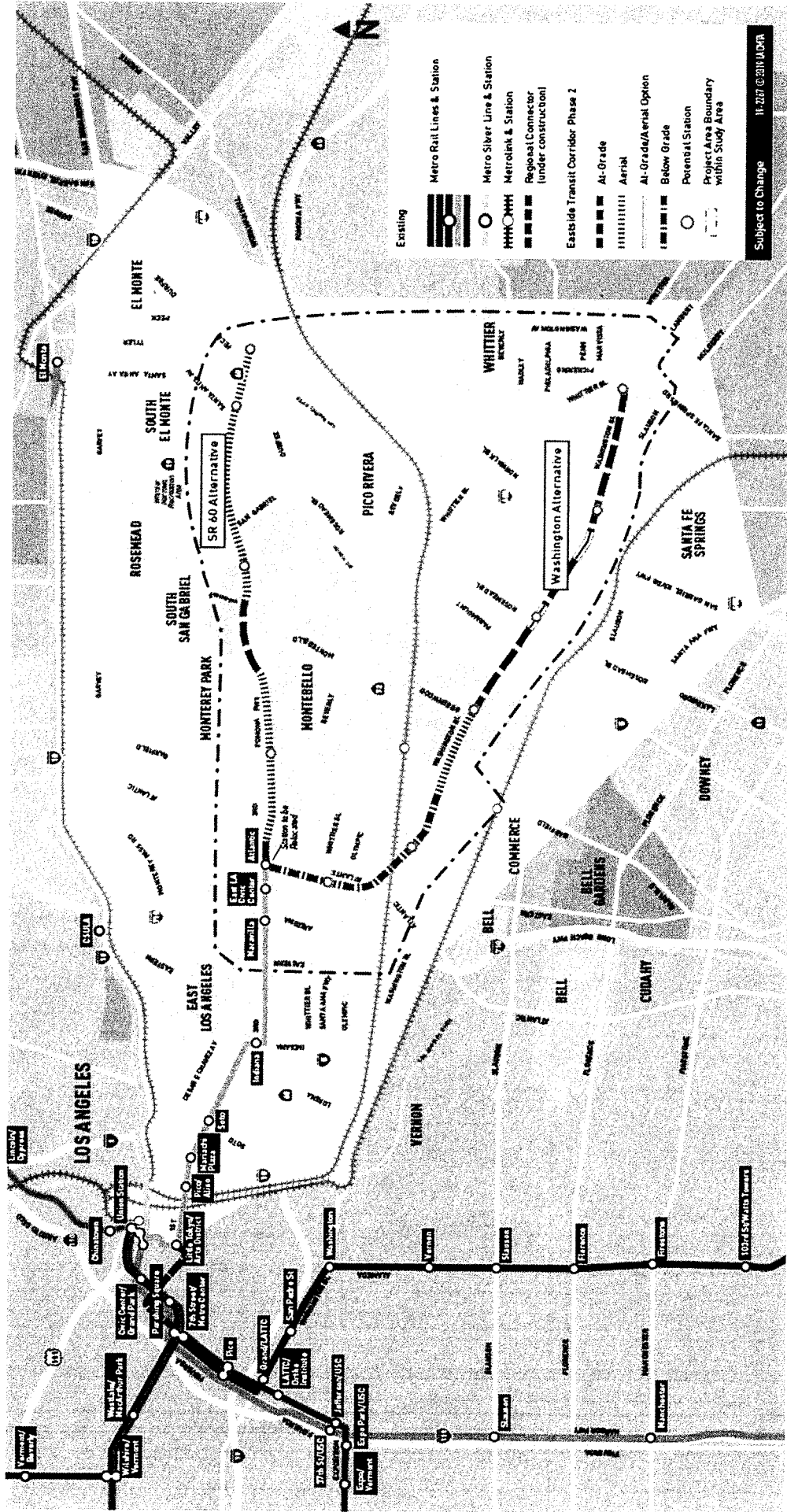
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Attachment 1: Eastside Transit Corridor Phase 2 Project Area and Alternatives

Attachment 2: Assembly Bill 52 Consulting Parties Form

# Attachment 1

## Eastside Transit Corridor Phase 2 Project Area and Alternatives





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**Assembly Bill 52 Consulting Parties Form**  
**Eastside Transit Corridor Phase 2 Project**  
**Los Angeles County, California**

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---

---

Or;

No, I, \_\_\_\_\_, do not wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project.

Date

Name of Organization:

Address:

Email Address:

Phone Number:

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Please return to:  
Jenny Cristales-Cevallos  
Senior Manager, Transportation Planning, Countywide Planning  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012  
CristalesCevallosJ@metro.net



U.S. Department  
of Transportation  
**Federal Transit  
Administration**

REGION IX  
Arizona, California,  
Hawaii, Nevada, Guam  
American Samoa,  
Northern Mariana Islands

90 7<sup>th</sup> Street  
Suite 15-300  
San Francisco, CA 94103-6701  
415-734-9490

888 South Figueroa Street  
Suite 440  
Los Angeles, CA 90017-5467  
213-202-3950

**DEC - 3 2019**

Robert Dorame, Chairperson  
Gabrielino Tongva Indians of  
California Tribal Council  
P.O. Box 490  
Bellflower, CA, 90707

RE: Section 106 Consultation/AB 52 Notification  
of Undertaking for the Eastside Transit Corridor  
Phase 2 Project, Los Angeles County, California

Dear Mr. Dorame:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is conducting consultation under the National Historic Preservation Act (NHPA) of 1966, as amended, for the Eastside Transit Corridor Phase 2 Project (Project) in Los Angeles County, California. LACMTA will seek federal funds from FTA for the Project and therefore, the Project is a federal undertaking subject to Section 106 of the NHPA. FTA is the federal lead agency under the National Environmental Policy Act (NEPA) and LACMTA serves as the lead agency under the California Environmental Quality Act (CEQA) in the preparation of a Supplemental Draft Environmental Impact Statement/Recirculated Draft Environmental Impact Report (SDEIS/RDEIR). FTA is contacting interested parties, including Native American tribes and consulting parties per 36 CFR Part 800.2(c) to identify prehistoric sites, sacred sites, and/or traditional cultural properties located in the vicinity of the Project Area. You have been identified as a party with interest or knowledge of the Project study area.

The Project is also subject to CEQA and consultation requirements under Assembly Bill (AB) 52 (Public Resources Code 21080.3.1) regarding Native American groups. As such, this letter also serves to initiate consultation with Native American groups in compliance with AB 52.

### **Project Description**

The proposed Eastside Transit Corridor Phase 2 Project would extend the existing Metro Gold Line, linking communities east of Los Angeles to the regional transit network. The Project area consists of portions of eight incorporated cities, including Commerce, Montebello, Monterey Park, Pico Rivera, Rosemead, Santa Fe Springs, South El Monte, and Whittier, as well portions of unincorporated Los Angeles County, including East Los Angeles and West Whittier-Los

Nietos (see Attachment 1). Additional information can be found at the Project website at: [https://www.metro.net/projects/eastside\\_phase2/](https://www.metro.net/projects/eastside_phase2/).

Attachment 1 also shows the following three build alternatives for light rail transit (LRT) in the Project area:

- **State Route 60 (SR 60) Alternative:** This LRT alternative would extend the existing Metro Gold Line from the existing Atlantic Station in East Los Angeles to the City of South El Monte. It would include four aerial stations. The alignment would be located primarily along the south side of the SR 60 Freeway right-of-way (ROW), except for a segment that would run along the north side of SR 60 to avoid the OII Superfund Site in Monterey Park.
- **Washington Alternative:** This LRT alternative would extend the Metro Gold Line from the existing Atlantic Station in East Los Angeles to the City of Whittier. It would include six stations in a mix of underground, aerial and at-grade configurations. The alignment configuration would also vary, transitioning from underground to aerial to at-grade along various portions of the alternative. Design options for potential aerial configurations along Washington Boulevard are also under consideration.
- **Combined Alternative:** This LRT alternative would be a combination of the SR 60 and Washington Alternatives and would require infrastructure and operational elements that would otherwise not be required if only one of the alternatives was operated as a “stand alone” line. Specifically, the Combined Alternative would contain a wye junction in East Los Angeles that would connect the SR 60 and Washington Alternatives, allowing train movements between both alignments.

### Consultation

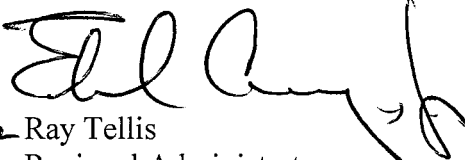
If you have any information or concern regarding potential impacts on prehistoric sites, sacred sites, and/or traditional cultural properties that would be relevant to this Project, please contact Mary Nguyen (FTA) or Jenny Cristales-Cevallos (LACMTA) at the following addresses.

<p>Mary Nguyen Environmental Protection Specialist Federal Transit Administration, Region 9 Los Angeles Metropolitan Office 888 South Figueroa Street, Suite 440 Los Angeles, CA 90017-5467</p>	<p>Jenny Cristales-Cevallos Senior Manager, Transportation Planning Countywide Planning Los Angeles County Metropolitan Transportation Authority One Gateway Plaza Los Angeles, CA 90012</p>
---	--

If you are interested in participating as a Consulting Party for this Project undertaking under the AB 52 guidelines, please respond in writing within 30 days of receipt of this letter to the contact information provided on the attached form (Attachment 2). On the form, include a statement of demonstrated interest in pre-historic and/or historic resources associated with this Project.

If you would like additional information or have any questions about the Project, please feel free to contact Mary Nguyen, Environmental Protection Specialist, by phone (213) 202-3960 or by email at [mary.nguyen@dot.gov](mailto:mary.nguyen@dot.gov).

Sincerely,

  
For Ray Tellis  
Regional Administrator

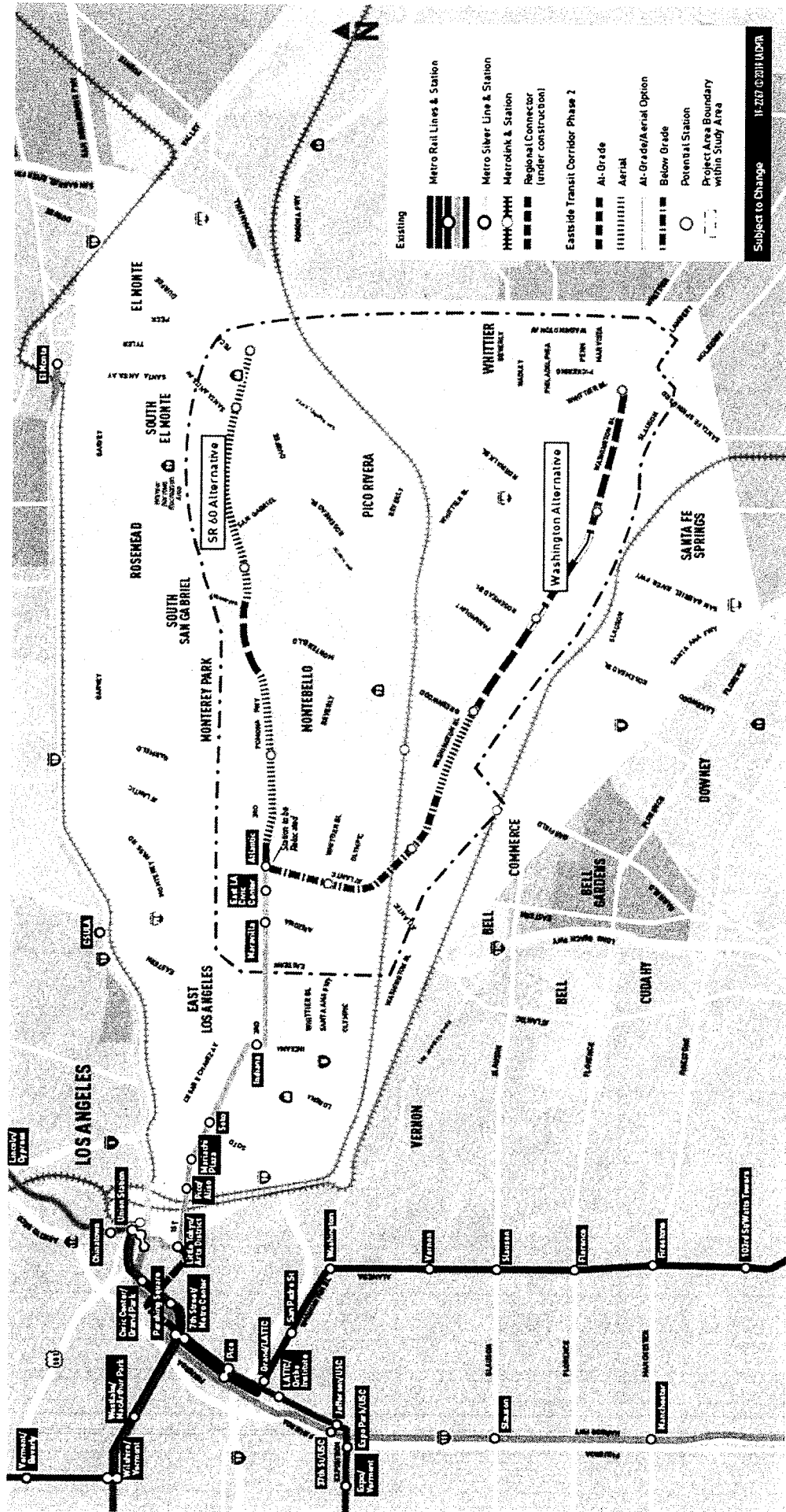
Enclosures:

Attachment 1: Eastside Transit Corridor Phase 2 Project Area and Alternatives

Attachment 2: Assembly Bill 52 Consulting Parties Form

# Attachment 1

## Eastside Transit Corridor Phase 2 Project Area and Alternatives



**Attachment 2**  
**Assembly Bill 52 Consulting Parties Form**  
**Eastside Transit Corridor Phase 2 Project**  
**Los Angeles County, California**

Yes, I, \_\_\_\_\_, wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project. My demonstrated interest in prehistoric and/or historic properties as associated with this Project undertaking is described as follows:

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Or;

No, I, \_\_\_\_\_, do not wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project.

Date

Name of Organization:

Address:

Email Address:

Phone Number:

Please return to:  
Jenny Cristales-Cevallos  
Senior Manager, Transportation Planning, Countywide Planning  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012  
CristalesCevallosJ@metro.net



U.S. Department  
of Transportation  
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REGION IX  
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888 South Figueroa Street  
Suite 440  
Los Angeles, CA 90017-5467  
213-202-3950

**DEC - 3 2019**

Sandonne Goad, Chairperson  
Gabrielino /Tongva Nation  
106 1/2 Judge John Aiso Street, #231  
Los Angeles, CA, 90012

RE: Section 106 Consultation/AB 52 Notification  
of Undertaking for the Eastside Transit Corridor  
Phase 2 Project, Los Angeles County, California

Dear Chairperson Goad:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is conducting consultation under the National Historic Preservation Act (NHPA) of 1966, as amended, for the Eastside Transit Corridor Phase 2 Project (Project) in Los Angeles County, California. LACMTA will seek federal funds from FTA for the Project and therefore, the Project is a federal undertaking subject to Section 106 of the NHPA. FTA is the federal lead agency under the National Environmental Policy Act (NEPA) and LACMTA serves as the lead agency under the California Environmental Quality Act (CEQA) in the preparation of a Supplemental Draft Environmental Impact Statement/Recirculated Draft Environmental Impact Report (SDEIS/RDEIR). FTA is contacting interested parties, including Native American tribes and consulting parties per 36 CFR Part 800.2(c) to identify prehistoric sites, sacred sites, and/or traditional cultural properties located in the vicinity of the Project Area. You have been identified as a party with interest or knowledge of the Project study area.

The Project is also subject to CEQA and consultation requirements under Assembly Bill (52) 52 (Public Resources Code 21080.3.1) regarding Native American groups. As such, this letter also serves to initiate consultation with Native American groups in compliance with AB 52.

### **Project Description**

The proposed Eastside Transit Corridor Phase 2 Project would extend the existing Metro Gold Line, linking communities east of Los Angeles to the regional transit network. The Project area consists of portions of eight incorporated cities, including Commerce, Montebello, Monterey Park, Pico Rivera, Rosemead, Santa Fe Springs, South El Monte, and Whittier, as well portions of unincorporated Los Angeles County, including East Los Angeles and West Whittier-Los Nietos (see Attachment 1). Additional information can be found at the Project website at: [https://www.metro.net/projects/eastside\\_phase2/](https://www.metro.net/projects/eastside_phase2/).

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### Consultation

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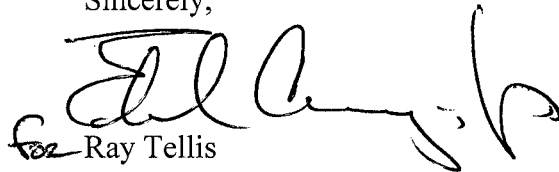
<p>Mary Nguyen Environmental Protection Specialist Federal Transit Administration, Region 9 Los Angeles Metropolitan Office 888 South Figueroa Street, Suite 440 Los Angeles, CA 90017-5467</p>	<p>Jenny Cristales-Cevallos Senior Manager, Transportation Planning Countywide Planning Los Angeles County Metropolitan Transportation Authority One Gateway Plaza Los Angeles, CA 90012</p>
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If you are interested in participating as a Consulting Party for this Project undertaking under the AB 52 guidelines, please respond in writing within 30 days of receipt of this letter to the contact information provided on the attached form (Attachment 2). On the form, include a statement of demonstrated interest in pre-historic and/or historic resources associated with this Project.



If you would like additional information or have any questions about the Project, please feel free to contact Mary Nguyen, Environmental Protection Specialist, by phone (213) 202-3960 or by email at [mary.nguyen@dot.gov](mailto:mary.nguyen@dot.gov).

Sincerely,

A handwritten signature in black ink, appearing to read "Ray Tellis". The signature is fluid and cursive, with a large initial "R" and "T".

Ray Tellis  
Regional Administrator

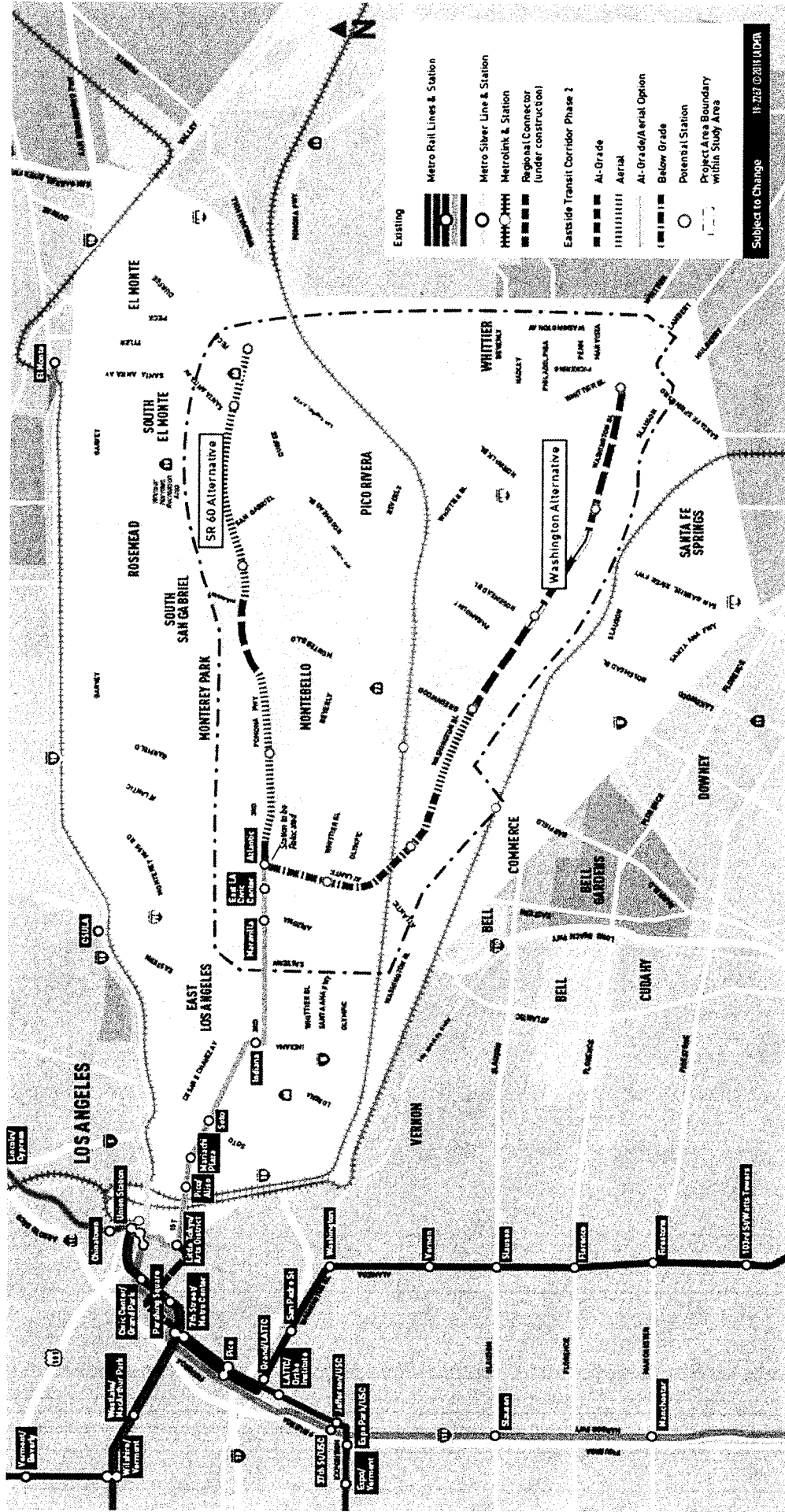
Enclosures:

Attachment 1: Eastside Transit Corridor Phase 2 Project Area and Alternatives

Attachment 2: Assembly Bill 52 Consulting Parties Form

# Attachment 1

## Eastside Transit Corridor Phase 2 Project Area and Alternatives



**Attachment 2**  
**Assembly Bill 52 Consulting Parties Form**  
**Eastside Transit Corridor Phase 2 Project**  
**Los Angeles County, California**

Yes, I, \_\_\_\_\_, wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project. My demonstrated interest in prehistoric and/or historic properties as associated with this Project undertaking is described as follows:

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---

---

---

Or;

No, I, \_\_\_\_\_, do not wish to be a consulting party under Assembly Bill 52 for the Eastside Transit Corridor Phase 2 Project.

Date

Name of Organization:

Address:

Email Address:

Phone Number:

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---

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---

---

Please return to:  
Jenny Cristales-Cevallos  
Senior Manager, Transportation Planning, Countywide Planning  
Los Angeles County Metropolitan Transportation Authority  
One Gateway Plaza  
Los Angeles, CA 90012  
CristalesCevallosJ@metro.net

# ATTACHMENT C – RECORDS SEARCH RESULTS (CONFIDENTIAL)

This attachment is confidential and not part of the EIR pursuant to PRC Section 21082.3(c)(1)).

# ATTACHMENT D – SURVEY RESULTS - DPR 523 FORMS

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
 HRI# \_\_\_\_\_  
 Trinomial \_\_\_\_\_  
 NRHP Status Code 3S; 3CS

Other Listings \_\_\_\_\_  
 Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 30

\*Resource Name or #: (Assigned by recorder) Vail Field Industrial Addition

P1. Other Identifier: Vail Field

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

Address Multiple City Commerce Zip 90040

c. UTM: (Give more than one for large and/or linear resources) Zone 11S; 394982.11 m E/ 3763576.46 m N  
11S; 395514.47 m E/ 3763542.96 m N  
11S; 394821.53 m E/ 3761716.08 m N  
11S; 394340.97 m E /3762301.48 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): (See District Record)

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) (SEE DISTRICT RECORD)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building; HP29. Landscape architecture; HP30. Trees/vegetation

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of landscape elements at 6489 Corvette Street, camera facing east 12/18/2019

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1950-1960

\*P7. Owner and Address: Multiple

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2021.

D1. Historic Name: Vail Field; Western Air Express Airport; Central Manufacturing District

D2. Common Name: None

**\*D3. Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.):

The Vail Field Industrial Addition is a cohesive and intact geographical district that is distinctive as a planned industrial park with Mid-Century Modern-style architectural features, intentional landscape elements, and a truck and rail access plan. The industrial park was built following a type of distribution system that was designed to centralize manufacturing and processing industries at the juncture of major railroads and highways. The subdivision was primarily developed between 1951 and 1960, with some later infill construction and redevelopments from 1960 to the present. Part of the larger, regional Central Manufacturing District that roughly spans from Vernon in the west to Commerce in the east, the setting of the Vail Field Industrial Addition is suburban industrial. The site of the addition is adjacent to Union Pacific RR, BNSF RR, and the Santa Ana Freeway. Visually, the district is characterized as an industrial park with large, sprawling buildings featuring diverse modernistic architectural influences, including International Style, Futurist, and Contemporary elements on eclectic façades, as well as landscape features that accentuate the unconventional industrial aesthetic with garden-like features. Washington Boulevard is the main throughfare which bisects the district, with Telegraph Road and Malt Avenue/Garfield Avenue providing major freight access to the south and east. The district exclusively includes industrial properties that generally contain one- to two-story buildings with concrete walls and flat roofs and expansive square footage. The district features a level topography with parcel lots organized around a grid pattern of roads with parallel railways that curve and loop at the periphery of the district. The facilities are characterized by the dual access to the former internal railway network behind the buildings and streets at the front. The district's hardscape features include paved roads, surface parking lots, and railroad alignments. The district's setting, plan, and landscape have undergone minor changes since it was originally constructed. Landscape elements evidence within the district include landscaped lawns, trees, shrubs, planters, tropical plants, ornamental topiaries, climbing vines, rose bushes, and ornamental rocks.

### **Character-Defining Features**

- Industrial Buildings, including one- to two-story factories, warehouses, and combination buildings with offices and warehouses
- Flat roofs with no overhang
- Elaborated primary entrances including cantilevered porch roofs, fabricated metal porch supports, projecting accent walls, blade signs, angled storefronts, and recessed entrances.
- Location along railway network with utilitarian access at rear of buildings
- Mid-Century Modern construction materials, including tilt-up concrete construction, CMU construction, reinforced concrete construction
- Mid-Century Modern ornamentation, including stone veneer accents, ceramic tile accents, breeze block, and stack bond brick, streamlined concrete features
- Steel industrial ribbon windows
- Louvered vents along windows
- Steel roof and bowstring construction
- Landscaped lawns, trees, shrubs, planters, tropical plants, ornamental topiaries, climbing vines, rose bushes, and ornamental rocks.

As a result of this preliminary district survey, 40 contributors (**Table 1**), 20 noncontributors (**Table 2**), and 41 potential contributors that require further investigation and evaluation (**Table 3**) have been identified. DPR 523 A Primary Records and DPR 523 B BSO Records for the district resources are appended to this district record. The map reference numbers in each table correlate to the district map.

Several important industrial and manufacturing companies established facilities in the industrial hub. The Goodyear Tire and Rubber Company warehouse (2353 Garfield Avenue) is representative of suburban development throughout the region. The facility met Southern California consumers' exploding demand for automotive products during the district's heyday (1952 to 1960) until being replaced by suburban manufacturing locations in Orange and Riverside counties in the early 1960s (*Los Angeles Times*

1960). The Pacific Metals Building (2187 Garfield Avenue) developed in conjunction with the increasing demand for specialty metals. Other steel companies within the district include: the Marwais Steel Company (6466 Gayhart Street), the Bralco Metals Company (6489 Corvette Street), and the Colorado Fuel & Iron Corporation (2444 Saybrook Avenue), which moved its headquarters to the Vail Field Industrial Addition in 1954. At that time, the Colorado Fuel & Iron Corporation was the ninth largest steel producer in the nation (Los Angeles Times 1954). In addition, 6409 Gayhart Street, originally a distribution center for pharmaceutical manufacturers Merck, Sharp & Dohme, was at the time the company's largest domestic branch installation ever constructed (Los Angeles Times 1958). For examples of existing conditions, see **Photographs 1 through 12**.

The non-contributing buildings and structures (see **Table 2**) were constructed outside of the period of significance (1951 to 1960), so they do not contribute to the historical significance of the district, or they have been substantially modified and no longer convey the character of the district's period of significance. Primarily, the non-contributing buildings and structures have experienced major alterations and subsequent construction episodes outside of the district's period of significance, which have altered the form, materials, and visual feel of the property. Many of the properties no longer have their character-defining features or major original and historic-period materials, elements, and arrangements. Lastly, the non-contributing resources lack architectural distinction. The non-contributing resources are located throughout the district.

The preliminary district survey also identified 41 properties within the potential historic district boundary (see **Table 3**) that could contribute to the district's significance from the period of significance. However, these properties require further investigation to evaluate their eligibility for listing in the NRHP/CRHR as contributors to the potential historic district.



**Table 1. Contributing Resources**

Map Reference Number	Parcel	Address	Construction Date	Eligibility
74	6336011007	2343 Saybrook Avenue	1956	3D; 3CD
75	6336010013	2401 Saybrook Avenue	1955	3D; 3CD
76	6336010014	2425 Saybrook Avenue	1955	3D; 3CD
15	6336014024	6415 Fleet Street	1954	3D; 3CD
16	6336014023	6445 Fleet Street	1955	3D; 3CD
17	6336014022	6459 Fleet Street	1954	3D; 3CD
18	6336014021	2041 Davie Avenue	1956	3D; 3CD
27	6336012016	6400 Fleet Street	1954	3D; 3CD
26	6336012017	6440 Fleet Street	1954	3D; 3CD
25	6336012018	6444 Fleet Street	1954	3D; 3CD
24	6336012019	6466 Fleet Street	1954	3D; 3CD
23	6336012020	6490 Fleet Street	1954	3D; 3CD
29, 30	6336012021; 6336012022	6415 Corvette Street	1955	3D; 3CD
31	6336012023	6465 Corvette Street	1954	3D; 3CD
32	6336012024	6489 Corvette Street	1954	3D; 3CD
43	6336012030	6400 Corvette Street	1956	3D; 3CD
42	6336012031	6436 Corvette Street	1956	3D; 3CD
41	6336012032	6440 Corvette Street	1955	3D; 3CD
40	6336012033	6460 Corvette Street	1957	3D; 3CD
39	6336012034	6474 Corvette Street	1956	3D; 3CD
38	6336012035	6480 Corvette Street	1956	3D; 3CD
47	6336012036	2200 Saybrook Avenue	1956	3D; 3CD
48	6336012037	2211 Davie Avenue	1956	3D; 3CD
53	6336012038	6409 Gayhart Street	1957	3D; 3CD
52	6336012039	6433 Gayhart Street	1959	3D; 3CD
51	6336012040	6505 Gayhart Street	1956	3D; 3CD
55	6336011008	6414 Gayhart Street	1956	3D; 3CD
63	6336011012	6466 Gayhart Street	1953	3D; 3CD
64	6336011013	6565 E. Washington Boulevard	1954	3D; 3CD
73	6336011014	2424 Saybrook Avenue	1955	3D; 3CD
72	6336011015	2444 Saybrook Avenue	1954	3D; 3CD
71	6336011016	6541 E. Washington Boulevard	1954	3D; 3CD
19	6336013007	2040 Davie Avenue	1955	3D; 3CD
20	6336013008	2054 Davie Avenue	1954	3D; 3CD
34	6336013009	2110 Davie Avenue	1954	3D; 3CD
37	6336013010	2140 Davie Avenue	1956	3D; 3CD
49	6336013011	2210 Davie Avenue	1955	3D; 3CD
50	6336013012	6625 E. Washington Boulevard	1953	3D; 3CD
36	6336013014	2187 Garfield Avenue	1955	3S; 3D; 3CD
67	6336009018	2353 Garfield Avenue	1952	3S; 3D; 3CD

**Table 2. Non-Contributing Resources**

Map Reference Number	Parcel	Address	Construction Date	Eligibility
14	6336012014	2041 Saybrook Avenue	1955	6Y
28	6336012041	2117 Saybrook Avenue	1967	6Y
44	6336012042	2117 Saybrook Avenue	1967	6Y
45	6336012043	2151 Saybrook Avenue	1983	Non-historic
46	6336012026	2161 Saybrook Avenue	1981	Non-historic
54	6336012027	2211 Saybrook Avenue	1963	6Y
55	6336012028	2253 Saybrook Avenue	1962	6Y
56	6336012029	2267 Saybrook Avenue	1990	Non-historic
57	6336011006	2313 Saybrook Avenue	1955	6Y
58	6336011900	2327 Saybrook Avenue	1962	7R
61	6336011010	6460 Gayhart Street	1995	Non-historic
65	6336013019	2266 Davie Avenue	1964	6Z
66	6336013020	6605 E. Washington Boulevard	1991	Non-Historic
68	6336009011	Vacant Parcel	N/A	Vacant Parcel
69	6336009012	6586 E. Washington Boulevard	1956	6Z
70	6336009013	6550 E. Washington Boulevard	1979	6Z
35	6336013015	2131 Garfield Avenue	1954	6Y

**Table 3. Identified and Unevaluated Parcels within the Historic District Boundary**

Map Reference Number	Parcel	Address	Construction Date	Eligibility
78	6336009014	6500 E. Washington Boulevard	1954	Not evaluated
81	6336009034	2501 S Malt Avenue	1953	Not evaluated
57	6336010016	6303 Corsair Street	1956	Not evaluated
85	6336010018	6363 Corsair Street	1955	Not evaluated
86	6336010017	6333 Corsair Street	1955	Not evaluated
82	6336009021	2601 S Malt Avenue	1954	Not evaluated
77	6336010015	6467 E. Washington Boulevard	1955	Not evaluated
88	6336010020	6310 Corsair Street	1956	Not evaluated
89	6336010021	6393 E. Washington Boulevard	1956	Not evaluated
80	6336009033	2429 S Malt Avenue	1953	Not evaluated
84	6336010019	6423 E. Washington Boulevard	1955	Not evaluated
83	6336009016	6400 E. Washington Boulevard	1954	Not evaluated
79	6336009015	6446 E. Washington Boulevard	1959	Not evaluated
8	6336013006	6510 Flotilla Street	1954	Not evaluated
21	6336013017	2051 Garfield Avenue	1961	Not evaluated
1	6336014010	6401 Flotilla Street	1954	Not evaluated
7	6336013018	2011 Garfield Avenue	1955	Not evaluated
22	6336013016	2085 Garfield Avenue	1957	Not evaluated
2	6336014011	6431 Flotilla Street	1957	Not evaluated
12	6336014017	6416 Flotilla Street	1954	Not evaluated
4	6336014013	6501 Flotilla Street	1954	Not evaluated
10	6336014019	6464 Flotilla Street	1954	Not evaluated
5	6336014014	6525 Flotilla Street	1956	Not evaluated
6	6336014015	6557 Flotilla Street	1956	Not evaluated
11	6336014018	6446 Flotilla Street	1954	Not evaluated
13	6336014016	2001 Saybrook Avenue	1954	Not evaluated
9	6336014020	6480 Flotilla Street	1956	Not evaluated
3	6336014012	6465 Flotilla Street	1966	Not evaluated
101	6336009027	2655 S Malt Avenue	1959	Not evaluated
96	6336009023	2701 Carrier Avenue	1961	Not evaluated
90	6336010908	6233 Telegraph Road	1955	Not evaluated
98	6336009025	2716 Carrier Avenue	1959	Not evaluated
100	6336009031	2747 S Malt Avenue	1956	Not evaluated
99	6336009026	6511 Telegraph Road	1959	Not evaluated
91	6336009905	6350 E. Washington Boulevard	1977	Not evaluated
92	6336009036	6340 E. Washington Boulevard	2009	Not evaluated
97	6336009024	2733 Carrier Avenue	1961	Not evaluated
95	6336009022	2700 Carrier Avenue	1958	Not evaluated
94	6336009035	6333 Telegraph Road	2009	Not evaluated
93	6336009038	6320 E. Washington Boulevard	2015	Not evaluated



Photograph 1. Former Bralco Metals Company building (6489 Corvette Street), view northeast



Photograph 2. Former Titanium Metals Corporation of America building (6465 Corvette Street), view east



Photograph 3. Former W. P. Wooldridge Company building (6440 Fleet Street), view southwest



Photograph 4. Former Marwais Steel Company building (6466 Gayhart Street), view southwest



Photograph 5. Former Hoffman Hardware Company building (6625 E Washington Boulevard), view north



Photograph 6. Former Sues, Young & Brown Inc. building (2200 Saybrook Avenue), view southeast



Photograph 7. Former Colorado Fuel & Iron Corporation building (2444 Saybrook Avenue), view northeast



Photograph 8. Former Premium Autoware Company building (2424 Saybrook Avenue), view north



Photograph 9. Property located at 6500 E. Washington Boulevard, view southeast



Photograph 10. Property located at 2040 Davie Avenue, view northeast





Photograph 11. Property located at 6433 Gayhart Street, view northeast



Photograph 12. Property located at 6436 Corvette Street, view southwest

**\*D4. Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The district boundary commences at the southwest corner at the intersection of Garfield Avenue and the Union Pacific Railroad right-of-way; traverses south along the west side of Garfield Avenue; then southwest along the west side of S. Malt Avenue to the northwest corner at the intersection of Telegraph Road; then northwest along the east side of Telegraph Road to a point at the western boundary of the Vail Field Industrial Addition; then northeast along the addition line to the intersection with the Union Pacific Railroad right-of-way; then curving east along the south side of the Union Pacific Railroad right-of-way to the southwest corner at the intersection of Garfield Avenue. See district boundary on the Location Map and Sketch Map.

**\*D5. Boundary Justification:**

The district boundary was determined based on the historical pattern of development associated with the Vail Field Industrial Addition. Historically, Vail Field was roughly bounded by the Union Pacific Railroad right-of-way to the north, Telegraph Road to the south, Yates Avenue to the east, and a transmission line right-of-way to the west. Due to non-period infill construction, geographical separation, and lack of rail and truck access, the district boundary was determined to only include properties west of Garfield Avenue/Malt Avenue. Within these boundaries are at least 40 contributing resources that illustrate the functional and aesthetic design concepts associated with industrial complexes of the 1950s. The district boundary also includes the rail network and roadway alignments that were integral aspects the development, function, and use of these properties.

**D6. Significance: Theme** Industrial Development      **Area** Commerce  
**Period of Significance** 1951-1960      **Property Type** Industrial      **Applicable Criteria** A/1;C/3

(Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

Historic Context

*Historic Land Use*

In the early twentieth century, the subject property functioned as an airfield. The 400-acre Vail Field was established during the 1920s and featured unpaved, earthen, runways and several storage hangars (**Plates 1, 2, and 3**). The site was used by one of the first airmail contractors, Western Air Express, and served some commercial flights (WPA 2020). The site was also among one of the airfields Charles Lindbergh visited with the Spirit of Saint Louis in 1927. The Standard Oil Company also operated oil wells in the northeastern portion of Vail Field, which was adjacent to one of the company's oil tank farms.



Plate 1. Aerial Photograph of Vail Field, 1928 (UCSB 2020)



Plate 2. Vail Field, 1926 (WPA 2020)



Plate 3. Aerial Photograph of Vail Field, 1941 (UCSB 2020)

#### *Planned Industrial Park Development*

In 1896, financier Frederick H. Prince developed a new concept for planned industrial districts consisting of a cluster of manufacturing and commercial buildings for a variety of businesses centered around critical transportation infrastructure, which would revolutionize industry. Prince acquired the Chicago Junction Railway, the Chicago Union Stockyards, and the adjacent land holdings. To capitalize on the potential to generate traffic on the railroad, Prince developed the Central Manufacturing District, the first modern industrial park in the United States, on 285 acres near the Union Stockyards beginning in 1902. The district included a freight station, which helped to lower the collective shipping costs for businesses within the district, and connections to the main railroad lines. The district had a power and steam plant that powered the buildings and factory equipment. The streets in the district were privately owned, so that Prince's company had total control over operations. Prince set high architectural standards for the district and planted gardens and trees along the parkways (Ibata 1985).

Due to the success of the first Central Manufacturing District, Prince opened a second district on an adjacent tract in 1915. The second district had buildings that faced a railyard at the rear with austere, common industrial designs. However, the building fronts faced a residential neighborhood, so Prince ensured that the façades of the buildings complimented the character of the neighborhood by employing Gothic Revival-style architectural features. Soon after, competitors began to adopt the industrial park model developed by Central Manufacturing District, Inc. (Ibata 1985).

Central Manufacturing District, Inc. expanded to Los Angeles in the 1923 (**Plate 4**). The new industrial park was developed on a 300-acre tract of the old Rancho San Antonio, one of the original Spanish land grants, along the Los Angeles River. Like the second Chicago district, Central Manufacturing District of Los Angeles was centered on a railyard with multiple spurs leading to factories, warehouses, and packing houses built on a grid of streets. The district was adjacent to the Los Angeles Union Stockyards and the Los Angeles Junction Railway, which the company built, and the main lines of the Union Pacific Railroad and the Santa Fe Railroad. The company claimed to offer "service coupled with efficiency, scientific co-operation on a large scale—and strategic location... a

location for its plants where all railroads meet..." (Harman 1923). Prince's influence on the aesthetic of the district was evident, as well. At the center of the district was the monumental Spanish Colonial Revival-style Freight Terminal and Manufacturers' Building on Loma Vista Avenue. Other plants and warehouses displayed popular architectural styles of the period.



Plate 4. Excerpt of map of the Central Manufacturing District of Los Angeles, ca. 1923, west of Vail Field (Huntington Library)

In 1928, the Santa Fe Railroad purchased the Central Manufacturing District for further development and added new areas in 1930, 1932, and between 1947 and 1952 to provide for new and expanding industries and services. Companies located in the district include food, automobile, furniture, household items, machinery, paints, paper, plastics, steel, trucks, wood, cosmetics, processing, and service companies of all types. Today, the district spans approximately 2,800 acres and is partially located within the cities of Commerce, Bell, and Vernon, eastward from Soto Street to Garfield Avenue; the southern edge is bordered partly by Fruitland Avenue and Randolph Street; on the northern edge are Washington Boulevard and the Santa Ana Freeway route, partially extending north beyond the freeway line (LAPL 2020). Architecturally, the new industrial tracts of East Los Angeles contained a wide variety of industrial building types, including warehouses, manufacturing facilities, and combination office/factories with designs ranging from the utilitarian (concrete, brick, or corrugated metal) to the popular architectural styles of the day (Spanish Colonial Revival, Streamline Moderne, Moderne, vernacular Modern, and Modern).

While the Central Manufacturing District of Los Angeles continued to grow, industrial parks multiplied. The model for industrial parks established by the Central Manufacturing District, Inc. was followed across America, until railroad shipping declined in favor of automotive trucking in the post-World War II era. By the late 1940s, advances in mechanical refrigeration technology for trucks made it easier and more versatile for overland freight to use trucks rather than rail transport. Furthermore, the implementation of the Interstate Highway Act of 1956, spurred a trucking industry boom. The Interstate system changed the connectivity of highways in the US and the way in which they were financed (USDOT 2006). The Interstate system expanded more than 40,000 miles highways and significantly expanded the reach of the trucking industry (USDOT 2006). By the late 1950s, industrial complexes were already phasing out direct warehouse-to-railcar loading as a design plan aspect; and planned industrial districts of the 1960s and 1970s prioritized truck access, grander scale, uniformity, and proximity to highways.

#### *Regional Industrial Development*

Industrial development had been present in the East Los Angeles area since the early 1900s. The Simons Brick Company opened

the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including City Hall and the University of California at Los Angeles's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men (and later became known as The Citadel). Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

Following World War II, expansion and industrial development in East Los Angeles increased. Vail Field was among one of the last large, open, and undeveloped areas within the burgeoning industrial area. The airfield had sparsely been developed and its use was discontinued following the end of World War II; the land was quickly targeted for expansion of the Central Manufacturing District. The property's large tracts of open land became attractive as real estate investments, and the airfield ultimately closed by 1950 (WPA 2020).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, located at the corner of what was known as Manchester and Alameda and since renamed Firestone Boulevard, conceived incorporating the neighborhoods of Rosewood Park and Bandini into what is now the city of Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Thanks to the Vail Field Industrial Addition and other industrial parks, Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as The Citadel, a specialty retail center with office space and a 200-room hotel; it was later redeveloped as an outlet mall in the early 2000s. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

#### *Vail Field Industrial Addition*

The Vail Field Industrial Addition was initially developed on the former 400-acre Vail Field starting in 1951. Washington Boulevard and Garfield Avenue were extended through the south and eastern ends of the former airfield, and the runways and hangars were demolished and replaced with railroad alignments and streets (**Plates 4 and 5**).

Several important industrial and manufacturing companies helped to transform the Central Manufacturing District into an industrial hub. The Goodyear Tire and Rubber Company warehouse is representative of suburban development throughout the region. The facility met Southern California consumers' exploding demand for automotive products during the district's heyday (1952 to 1960) until being replaced by suburban manufacturing locations in Orange and Riverside counties in the early 1960s (Los Angeles Times 1960). The Pacific Metals Building was built in association with the increasing demand for specialty metals. Other steel companies within the Central Manufacturing District included: the Marwais Steel Company (**Plate 6**), the Bralco Metals Company, and the Colorado Fuel & Iron Corporation (**Plate 7**) which moved its headquarters to the Central Manufacturing District in 1954. At that time, the Colorado Fuel & Iron Corporation was the 9th largest steel producer in the nation (Los Angeles Times 1954a).

The property at 6414 Gayhart Street, constructed in 1956, was originally the Diamond Match Company warehouse and office facility. The Diamond Match Company was formed in 1881 through a partnership between the Swift, Courtney & Beecher Match Company of Wilmington (Delaware) and the Barber Match Company of Akron (Ohio). By 1889 the company had expanded, incorporating locations in Connecticut and Illinois (**Plate 8**). The Diamond Match Company facility at the Vail Field Industrial Addition was responsible for the self-locking match carton and bee divisions of the firm (Los Angeles Times 1956).

The Ingram Paper Company was located at 6541 E Washington Boulevard in 1954. The Los Angeles based firm, founded in 1923 by J. C. Ingram, specialized in fine and coarse papers, paper bags, and cordage materials. The Ingram Paper Company facility at the Vail Field Industrial Addition was innovative in that the building had continuous conveyors linking main offices to shipping departments, demountable walls that allowed for the building's expansion, and hydraulic powered loading docks to expedite railcar shipping (**Plate 9**) (Los Angeles Times 1953a).



Plate 5. Aerial Photograph of Vail Field Industrial Addition, 1958 (UCSB 2020)



Plate 6. Aerial Photograph of Vail Field addition, 1960 (UCSB 2020)



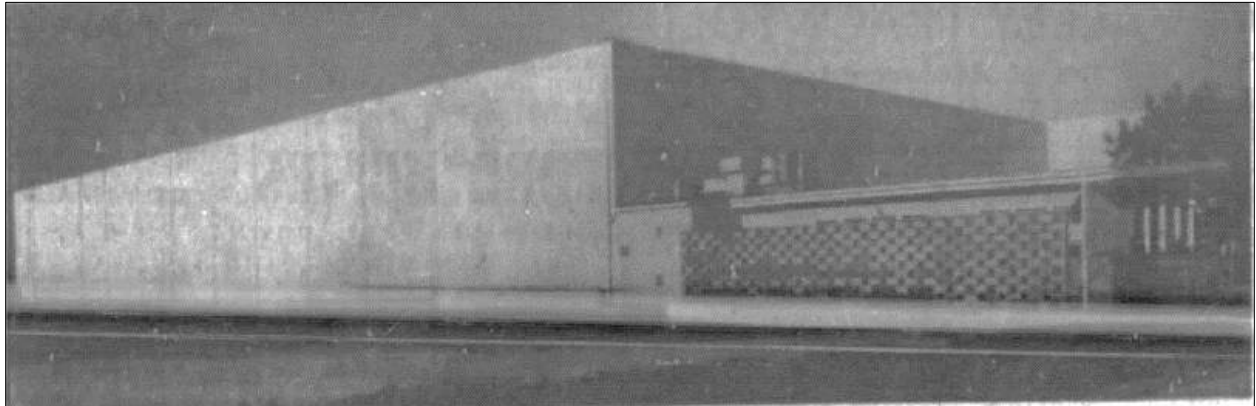


Plate 7. Marwais Steel Company headquarters (1959 building addition) at 6466 Gayhart Street, 1959 (*Los Angeles Times* 1959).

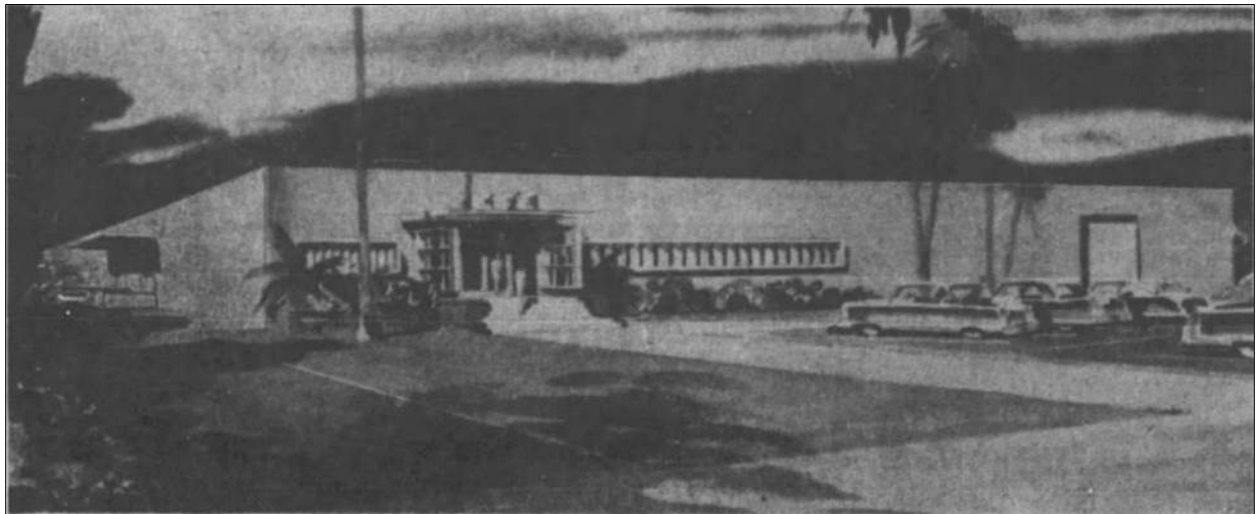


Plate 8. Rendering of the Colorado Fuel & Iron Corporation office and warehouse facility, 1954 (*Los Angeles Times* 1954b).

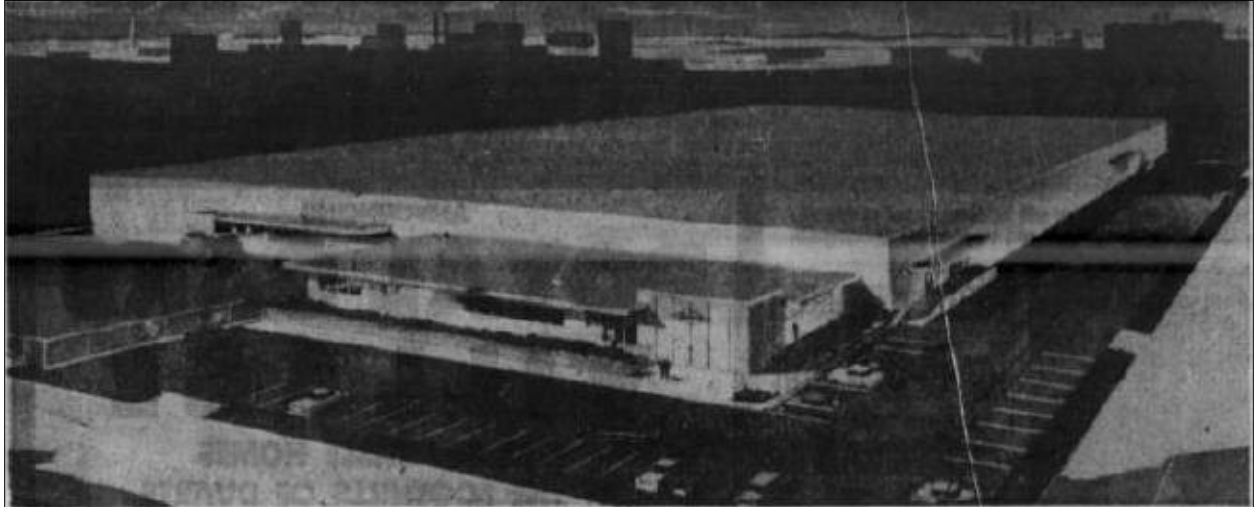


Plate 9. Diamond Match Company facility at 6414 Gayhart Street, 1956 (Los Angeles Times 1956).

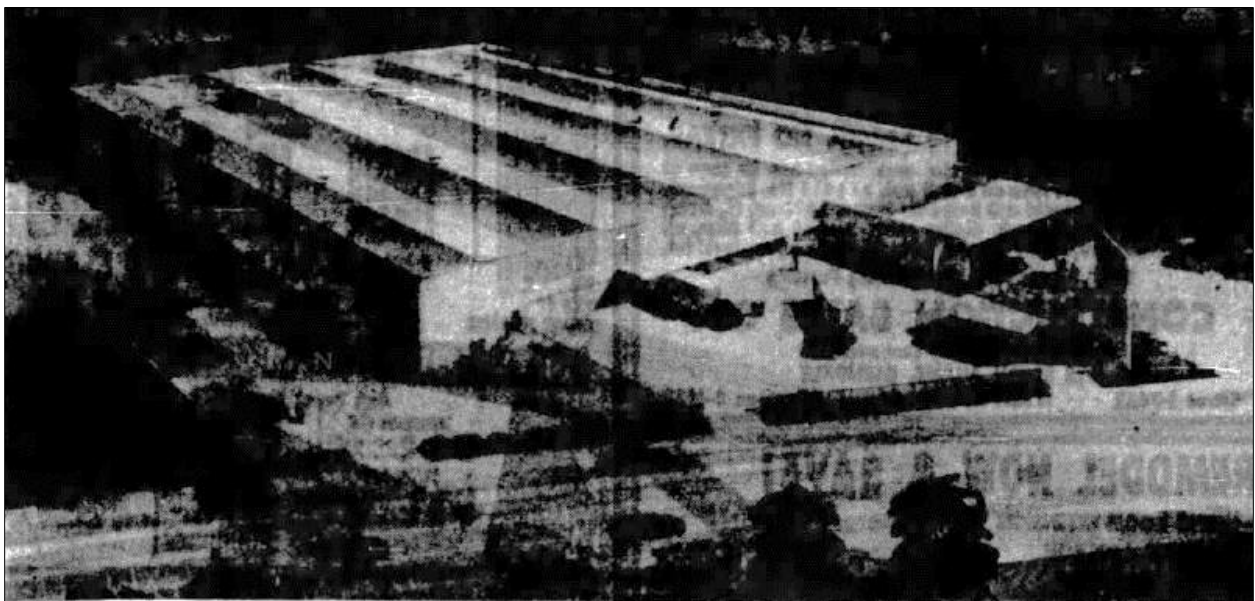


Plate 10. Rendering of the Ingram Paper Company, 1953 (6541 E Washington Boulevard) (Los Angeles Times 1953)

The Admiral Distributors, Inc. TV and appliance center at 6565 E Washington Boulevard also opened in 1954. The company was initially founded in 1934 in Chicago as the Continental Radio and Television Corporation as a maker of consumer electronics, radios and phonographs; the company later became the Admiral Distributors, Inc. The Admiral Distributors location in the Vail Field Industrial Addition included offices, parts and service departments, warehousing, and a display room (Los Angeles Times 1954b).

The property at 6409 Gayhart Street was originally a distribution center for Merck, Sharp & Dohme, pharmaceutical manufacturers. In 1953, Merck & Co. merged with Philadelphia-based Sharp & Dohme, Inc., founded by Alpheus Phineas Sharp and Carl Friedrich Louis Dohme in 1845, becoming the largest US drug maker. At the time of the facility's opening in the Vail Field Industrial Addition, it was the company's largest domestic branch installation ever constructed (Los Angeles Times 1958).

Other companies within the Vail Field Industrial Addition include the Premium Autoware Company (2424 Saybrook Avenue), and the Sylvania Electric Products, Inc (6505 Gayhart Street). The Premium Autoware Company was based in Cleveland, Ohio and the Saybrook Avenue facility was part of the company's expansion into the western states in the mid-twentieth century (**Plate 10**) (Los Angeles Times 1953c). Sylvania Electric Products, Inc. was established in 1901 in Pennsylvania and during the 1940s and 1950s the company witnessed enormous growth, as new plants were opened and it increased its production of materials and components, phosphors and metals (**Plates 11 and 12**). The Sylvania Electric Products, Inc. location at the Vail Field Industrial Addition was the company's first, west coast location followed by another location established in San Francisco (Los Angeles Times 1949; Valley Times 1956).

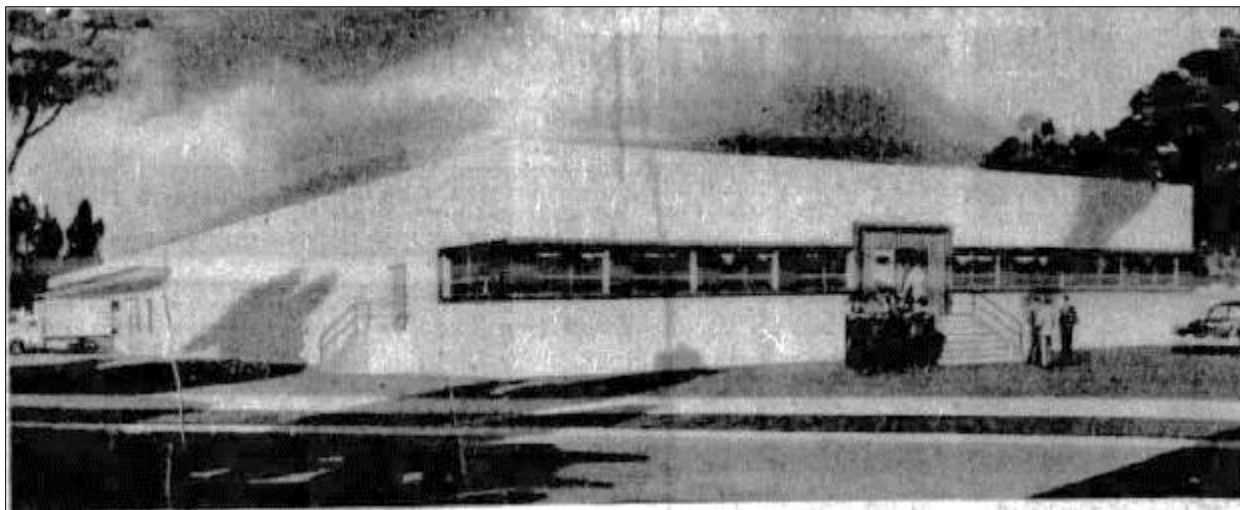


Plate 11. Rendering of the Premium Autoware Company building at 2424 Saybrook Avenue, 1953 (Los Angeles Times 1953b).



Plate 12. Sylvania Electric Products building (6505 Gayhart Street), view to north, 1957 (LAPL 1957).



Plate 13. Sylvania Electric Products building façade (6505 Gayhart Street), 1956 (LAPL 1956).

Many buildings within the Vail Field Industrial Addition were designed with the intent to create a “industrial garden setting” with the incorporation of landscaped lawns, trees, shrubs, planters, and tropical plants (Los Angeles Times 1953a). The majority of the buildings within the district are Modern-style concrete tilt-up construction with stone veneer accents and steel roof construction. The buildings within the Vail Field addition demonstrate a unique variation of styles, scale, materials, and form features that are not typically evidenced in other industrial areas where design repetition is more common.

Several prominent architects are associated with some of the buildings within the district. Architect Herman C. Light designed the Marvais Steel Company building at 6466 Gayhart Street. Light was known for his other Modern Style designs including the 1961 County of Los Angeles, Hall of Records Building #2, in Los Angeles, CA (PCAD 2020). Architect Raymond D. Conwell designed the Sues, Young & Brown Inc. building at 2200 Saybrook Avenue building. Conwell is also well known for his high-style, Modern residential designs in Pasadena, Conejo Valley, and Los Angeles (*Independent Star News* 1959). According to building permits, architect J.E. Macke is also listed as the architect of record for the 6460 Corvette Street property. Another architect, Fred Lowther, he designed similarly programmed industrial manufacturing buildings at 2011, 2042 and 2100 Garfield Ave.

Among the most prominent designers was architect Stiles O. Clements. Clements (1883 - 1966) was a famous and prolific architect of many Los Angeles buildings and renowned for his Art Deco and Streamline Moderne buildings exemplified by the extant El Capitan, Mayan and Wiltern theatres in Los Angeles and the Samson Uniroyal Tire Factory, 1930, a manufacturing and warehouse facility adaptively converted for use as a major Southern California multi-outlet retail facility. The versatile Clements, who trained at the École des Beaux-Arts, Paris, also designed landmark commercial and public buildings, including the Richfield Tower in downtown Los Angeles (demolished). Clements designed two commercial/light industrial buildings within the district in his late career (6825 East Washington Boulevard and 2131 Garfield Avenue).

#### *Mid-Century Modern Architecture (International, Futurist, and Contemporary Styles)*

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of “Modern,” although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010).

The International Style was widely used in governmental, institutional, and commercial buildings from 1945 to the 1960s (rare examples were constructed as early as 1925), is the earliest of the modernist styles. It can be traced back to post-World War I Europe. It is characterized by a complete lack of applied ornament, flat roofs, smooth and uniform wall surfaces, windows with minimal exterior reveals, cantilevered upper floors and balconies, box shape, and horizontality, usually in ribbon windows (Whiffen 1996).

The Futurist Style (Googie/Populuxe), popular from after World War II to the late 1960s, is characterized by abstract, angular or curved shapes; expressive roof forms (flat, gabled, upswept, butterfly, parabolic, boomerang, or folded); large plate glass window walls (aluminum framed), prominent signage (neon or lighted) commonly integrated into the roofline; variety of exterior finishes including stucco, concrete block, brick, stone, plastic, and wood siding; bright colors; screen block and shadow block accents; use of the building as a billboard; porte cocheres and other automobile-friendly features; and asymmetrical façades.

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; “eyebrow” overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984).

### Evaluation

#### *NRHP Criterion A/ CRHR Criterion 1 (Event):*

The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area. The Vail Field Industrial Addition is representative of the mid-twentieth century trends in planned industrial park development that originated with the first Central Manufacturing District built in Chicago in 1902. The trend to cluster manufacturing and other commercial buildings around critical transportation infrastructure, specifically with efficient and affordable access to major railroad trunk lines, grew from the 1900s across America culminating at the end of the 1950s when railroads were in steady decline. After World War II, the former oilfield and airfield property was open land ripe for the postwar industrial development boom that expanded the regional industrial development started in the 1920s. The planned development of the Vail Field Industrial Addition beginning in 1951 was an excellent example of historical trends in community planning, coinciding with warehouse and manufacturing development where truck access rather than railroad access alone, and proximity to the highway system (e.g., the completion of the Santa Ana Freeway in 1953; newly opened Washington Boulevard) were the primary development determinants. The commercial success of the hundreds of major companies that established facilities ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a mid-century industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation.

The Vail Field Industrial Addition is a representative example of the transition period of a development trend. The Vail Field Industrial Addition followed a model for industrial parks that was used until railroad shipping declined in favor of automotive trucking in the post-World War II era. The Vail Field Industrial Addition is a unique example of the last planned industrial parks to follow this pattern. Advances in truck refrigeration and the establishment of the Interstate highway system, spurred a trucking industry boom. The result of the trucking boom led industrial complexes to phase out direct warehouse-to-railcar loading designs and to prioritize truck access, grander scale, uniformity, and proximity to highways.

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

#### *NRHP Criterion B/ CRHR Criterion 2 (Person):*

Research has not revealed any specific associations of the Vail Field Industrial Addition with important historic persons. Research did not indicate that any individuals, such as developers or business owners related to the development and use of the area made demonstrably important contributions to history at the local, state, or national level. The district does not meet NRHP Criterion B/CRHR Criterion 2.

#### *NRHP Criterion C/ CRHR Criterion 3 (Design):*

The Vail Field Industrial Addition is significant at the local level under NRHP Criterion C/CRHR Criterion 3 in the area of Mid-Century Modern industrial architecture as it represents a significant and distinguishable entity whose components may lack individual distinction. The district is also significant in the area of industrial architecture, because it has several excellent local examples of industrial architecture from the 1950s that together are notable for their eclectic Mid-Century Modern style. The district's design is significant for its sprawling buildings featuring diverse modernistic architectural influences, including International Style, Futurist, and Contemporary elements on eclectic façades, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

#### *NRHP Criterion D/ CRHR Criterion 4 (Information Potential):*

The Vail Field Industrial Addition does not and is not likely to yield additional historic information. The history of its development and the construction types and materials are adequately documented to understand the resource. The district does not meet NRHP Criterion D/CRHR Criterion 4.

### Integrity Assessment

**Location** is the place where the historic property was constructed or the place where the historic event took place.

The location of the Vail Field Industrial Addition has remained the same, and it has not been moved since its construction. The integrity of the district's location remains intact.

**Design** is the combination of elements that create the form, plan, space, and style of a property.

In spite of alterations or modifications that have occurred, the district as a whole has maintained its overall original forms, plans, spaces, styles and design elements. A review of building permit data and field survey observations indicate the district has a very high overall integrity of design. The changes to the individual buildings are minor and range from the replacement of elements like signage and loading bay doors, or the addition of Americans with Disabilities Act (ADA)-compliant ramps, and minor landscape alterations. The majority of the district contributors retain their original windows and doors. The district still retains several important design elements. The contributing elements retain a high level of integrity of design.

**Setting** is the physical environment of a historic property.

The historic setting of the Vail Field Industrial Addition has not changed substantially since its original construction in the 1950s. Historic topographic maps, aerial photographs, and assessor's data indicate that the area surrounding the district have undergone moderate changes, with post-1960 infill construction occurring to the east and south of the district boundary. Most noticeable changes to the districts historic setting include the post-2000 development along Telegraph Road and the 1979 warehouse located at 6550 E. Washington Boulevard.

**Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The Vail Field Industrial Addition retains original materials including tilt-up concrete construction, CMU construction, reinforced concrete construction, stone veneer accents, ceramic tile accents, breeze block, stack bond brick, streamlined concrete features, steel industrial ribbon windows, and landscape features. As a whole, the district possesses a high level of integrity of materials.

**Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The Vail Field Industrial Addition retains its integrity of workmanship because the buildings and structures are recognizable as interpretations of their styles. Overall, several methods of construction and evidence of crafts are still apparent in the general form, function, and appearance of the Vail Field Industrial Addition. The district displays characteristics of mid-twentieth century designs, and the workmanship is based on common traditions of that period.

**Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time.

In its current state, the Vail Field Industrial Addition appears to retain several aspects of historic integrity; therefore, the district conveys its character and historic integrity of feeling as a mid-twentieth century planned industrial park. Furthermore, the maintenance of the various landscape elements within the district have preserved the area's industrial garden-like setting.

**Association** is the direct link between an important historic event or person and a historic property.

The Vail Field Industrial Addition continues to function as an industrial manufacturing area. The retention of integrity of location, design, setting, materials, workmanship, and feeling discussed above combine to give the Vail Field Industrial Addition a strong sense of association with the industrial development of the city of Commerce during the mid-twentieth century.

### Conclusion

The Vail Field Industrial District meets NRHP Criterion A/CRHR Criterion 1 and NRHP Criterion C/CRHR Criterion 3. The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties. The district retains integrity of location, design, materials, setting, workmanship, feeling, and association.

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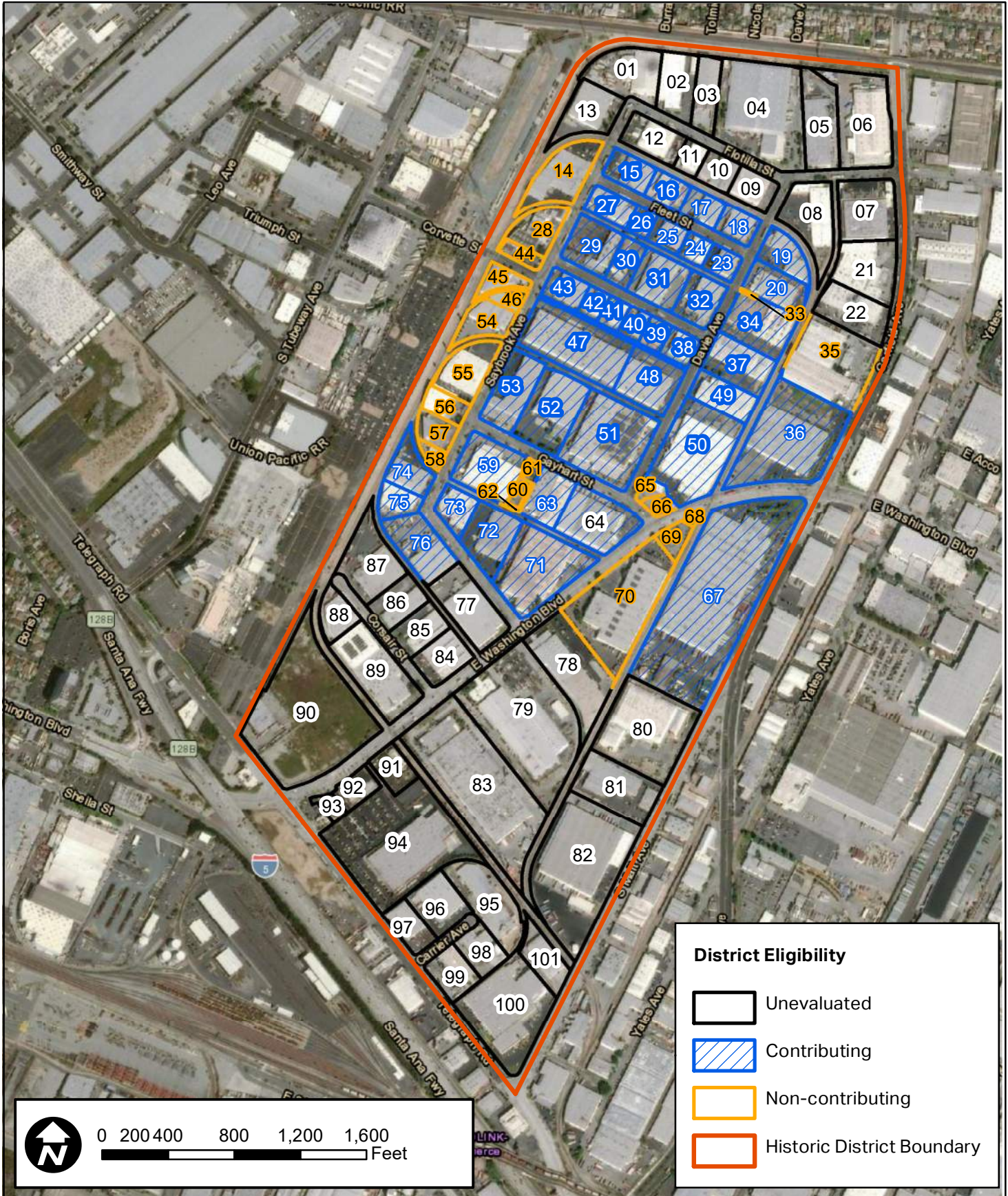
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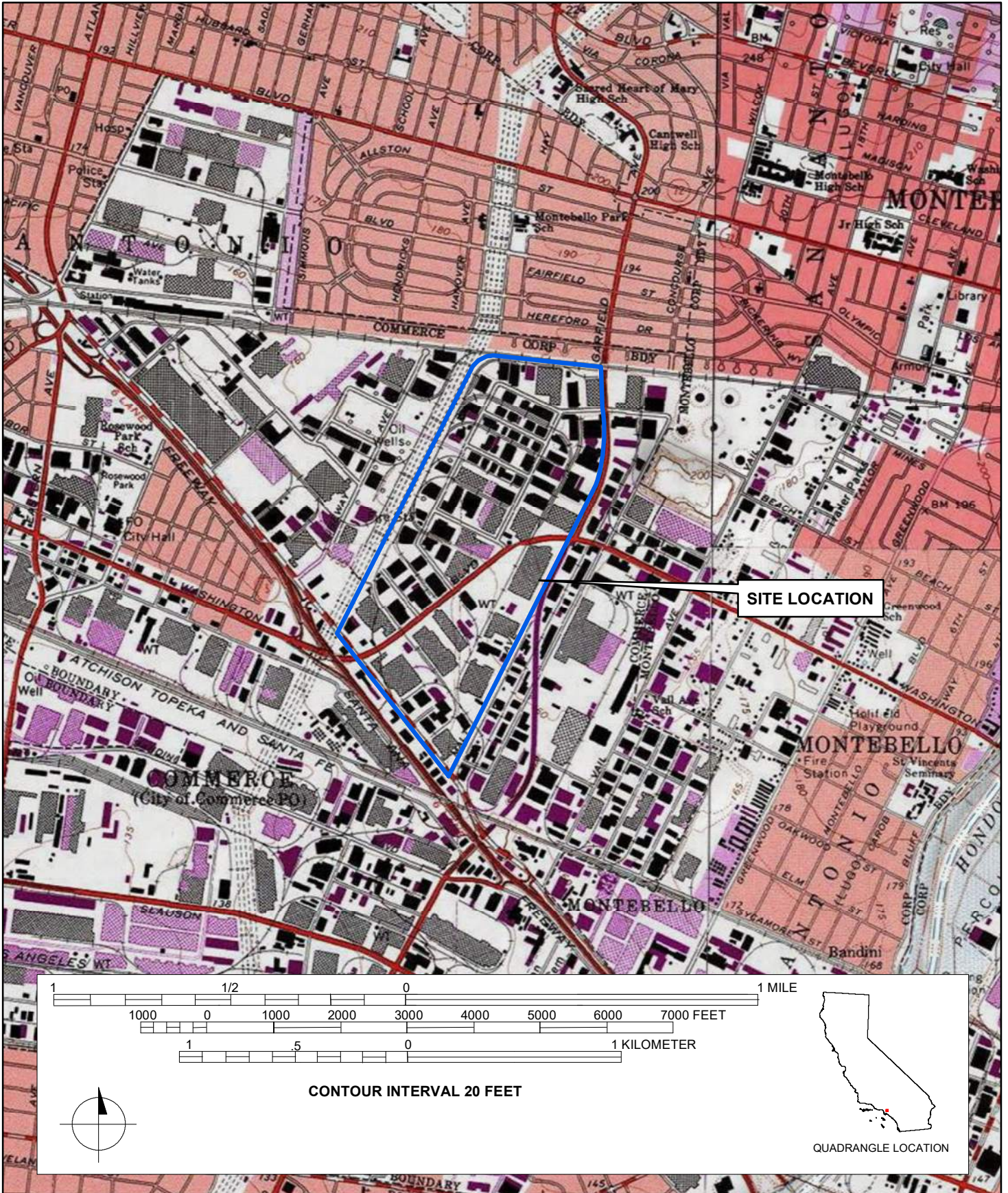


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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2444 Saybrook Avenue

P1. Other Identifier: 2444 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; ¼ of ¼ of Sec; M.D.B.M.

c. Address 2444 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762696mE/394767mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-015

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/façade, camera facing east, 12/18/2019, IMG 9232

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Colorado Fuel & Iron Corporation

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); N/A

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: Oltmans Construction Company

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2444 Saybrook Avenue, originally the Colorado Fuel & Iron Corporation, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

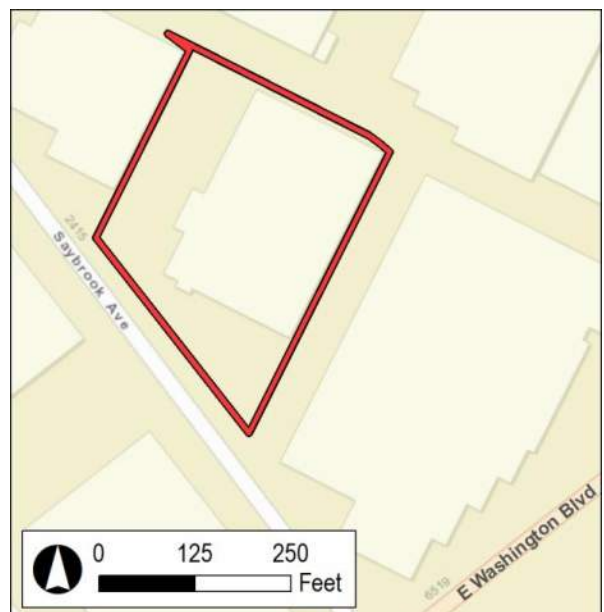
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2444 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2444 Saybrook Avenue was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan (**Photographs 1-3**). It occupies the northeastern side of the lot and has a south-facing orientation. To the west and south of the building is a surface parking lot that provides warehouse and delivery access.

The building has a bowstring roof with parapet and evenly space skylights that is covered with composite material. The walls are constructed of tilt-up concrete panels with brick planters along the façade. The building sits on a concrete slab foundation. The south elevation façade has an off-center, flat-roof porched with concrete steps and metal pole-mounted supports with decorative geometric screens. The primary entrance is an aluminum-frame and glass double-leaf storefront door with sidelights and transom. Along either side of the main entrance are ribbon windows covered with louvered vents. The east end of the façade includes one, metal, roll-up garage door with a metal security gate. The west elevation has a loading dock covered with a cantilevered awning. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 2444 Saybrook Avenue was originally the Colorado Fuel & Iron Corporation. Formed in 1892, the Colorado Fuel and Iron Company (CF&I) was a coal and steel company based in Denver and Pueblo. Most of its coal mines were located in southern Colorado. Its only steel mill was located in Pueblo. By 1910 it employed approximately 15,000 people, or about one-tenth of the entire Colorado workforce. Colorado Fuel & Iron Corporation moved its headquarters to the CMD in 1954, and at the time the company was the 9th largest steel producer in the nation (Los Angeles Times 1954a,b).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Los Angeles Times. 1954a. "Firm in New Headquarters." March 7, 1954.

Los Angeles Times. 1954b. "Fuel and Iron Corporation Moves to Larger Quarters." April 18, 1954.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Page 4 of 5

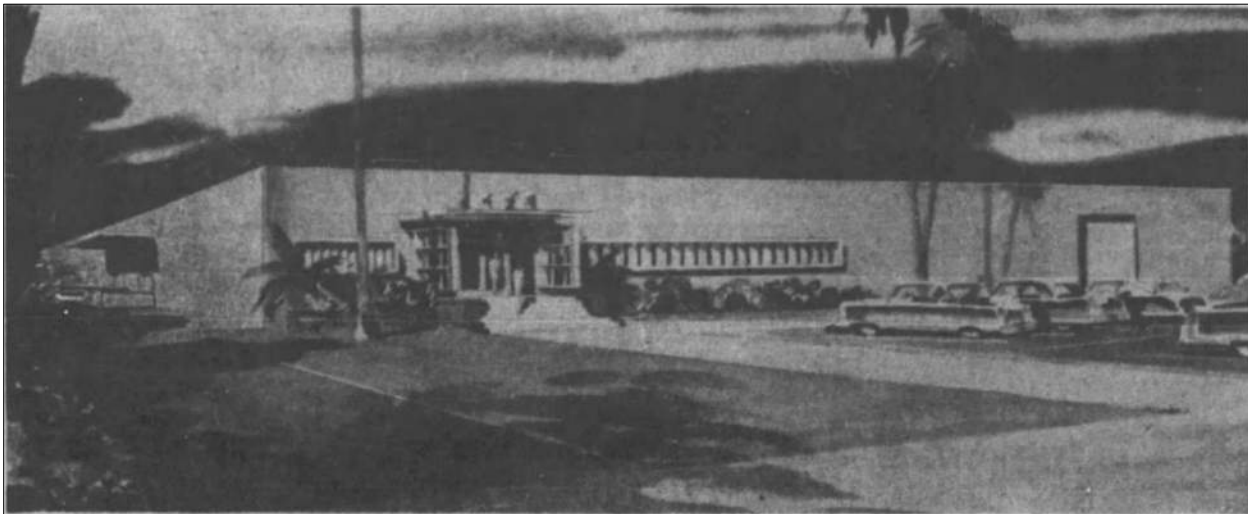
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2444 Saybrook Avenue

Continuation  Update



Photograph 2. View of south elevation, camera facing north, 12/18/2019, IMG\_9233

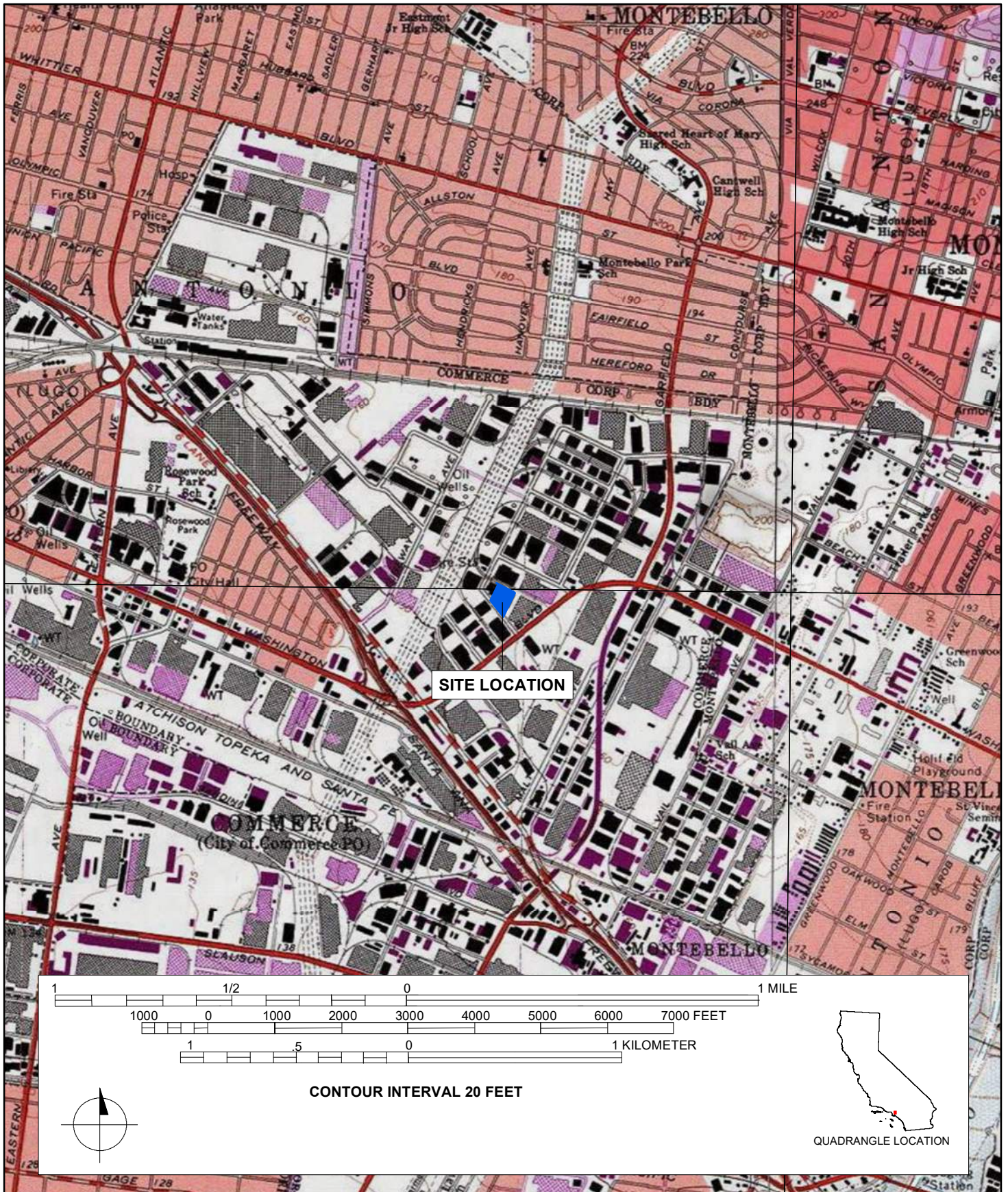


Photograph 3. Rendering of the Colorado Fuel & Iron Corporation office and warehouse facility, 1954b (Los Angeles Times 1954b).

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 5 of 5      \* Resource Name or # (Assigned by recorder) 2444 Saybrook Ave

\* Map Name: Los Angeles and South Gate, Calif. 7.5' Quadrangles      \* Scale: 1:24,000      \* Date of Map: 1981





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2424 Saybrook Avenue

P1. Other Identifier: 2424 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; ¼ of ¼ of Sec; M.D.B.M.

c. Address 2424 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762748mE/394705mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/18/2019, DSCN0275

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 2424 Saybrook Avenue

B1. Historic Name: Premium Autoware Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor). Between 2007 and 2014 the decorative panels along the second-story ribbon windows were embellished with tile motifs (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2424 Saybrook Avenue, originally Premium Autoware Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

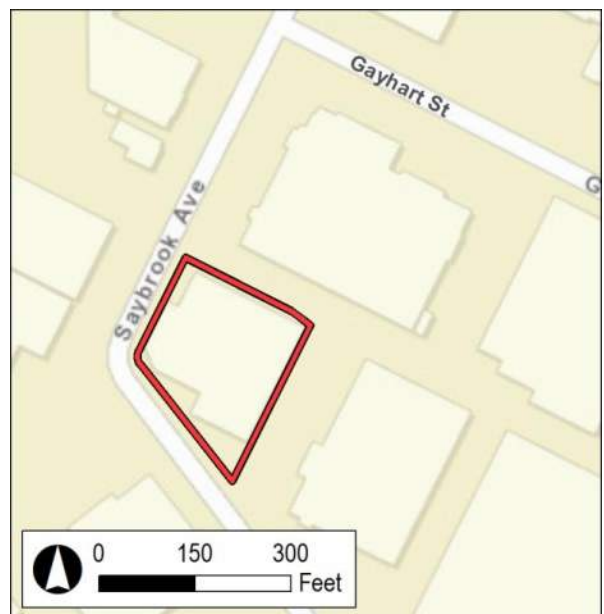
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2424 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2424 Saybrook Avenue was constructed in 1955 and is a two-story Modern-style industrial building with an irregular plan and a concrete slab foundation (**Photographs 1-2**). It occupies the entire lot and has a south-facing orientation. A surface parking lot is south of the building that provides warehouse and delivery access. Between 2007 and 2014 the decorative panels along the second-story ribbon windows were embellished with tile motifs (Google Streetview 2019).

The building has a flat roof with parapet and evenly space skylights, and is covered with composite material. The walls are constructed of tilt-up concrete panels. The primary entrance is on the eastern section of the façade and includes a centrally located aluminum and glass single-entry storefront door with an adjacent fixed storefront window. The entrance features a decorative tile border and is accessed by concrete steps with metal pole railings and a concrete planter box on the west side. The entrance is flanked on both sides by steel casement windows arranged in groups of two and four in ribbons that wrap around the building. The ribbon windows have wide surrounds and evenly spaced concrete tile motifs. The west elevation of the office portion also includes a single-entry aluminum and glass storefront door accessed by concrete stairs with a metal pole railing. The façade of the warehouse section includes ribbons of windows similar to those on the office portion in its clerestory level that continue around a clipped corner and onto the west elevation. A section of the warehouse on the west elevation is set back from the main massing and contains three loading docks with metal, roll-up garage doors along the west elevation. The loading docks are covered by a corrugated metal, cantilevered awning. The resource retains some aspects of its integrity; however, the alteration of the ribbon windows has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 2424 Saybrook Avenue was originally the Premium Autoware Company. The Premium Autoware Company was based in Cleveland, Ohio and the facility at the CMD was part of the company's expansion into the western states in the mid-twentieth century (Los Angeles Times 1953).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1953. "Eastern Firm to Use Plant Located Here." October 18, 1953.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

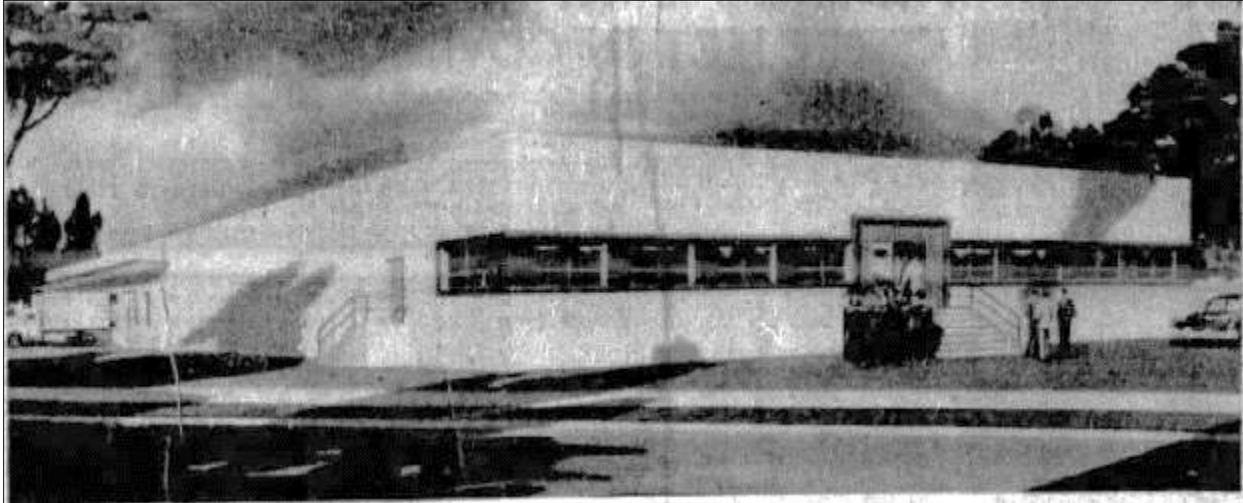
NRHP Status Code 3D;3CD

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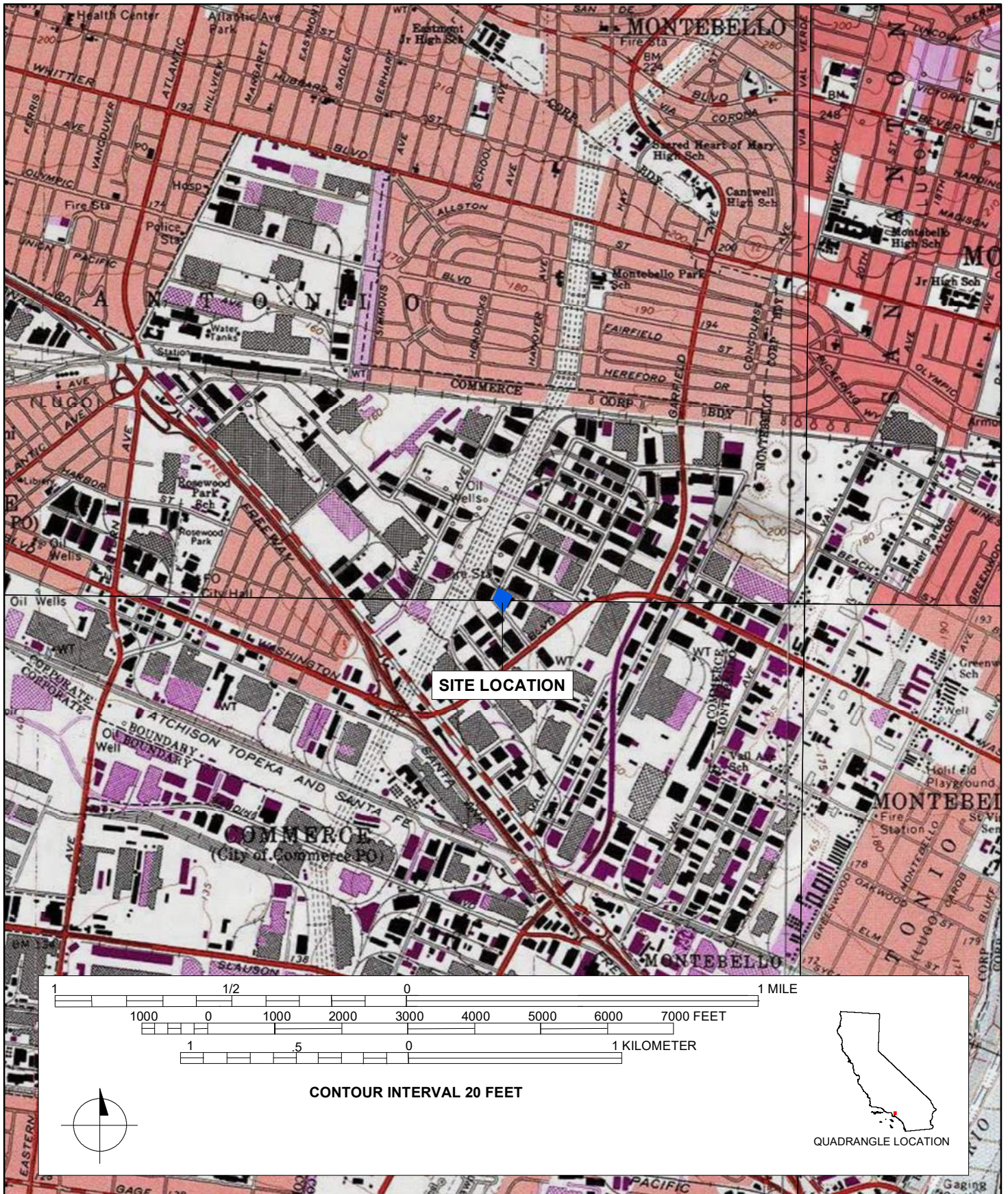
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2424 Saybrook Avenue

Continuation  Update



Photograph 2. Rendering of the Premium Autoware Company building at 2424 Saybrook Avenue, 1953 (Los Angeles Times 1953).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2401 Saybrook Avenue

P1. Other Identifier: 2401 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2401 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762761mE/394596mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-010-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/façade, camera facing west, 12/18/2019, IMG 9229

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: Taylor Forge & Pipe Works
- B2. Common Name: n/a
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor). Between 2014 and 2016 the landscaped hedges in planters along the façade were removed (Google Streetview 2019).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A      b. Builder: N/A

\*B10. Significance: Theme Industrial Development      Area Commerce  
Period of Significance 1951-1960      Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2401 Saybrook Avenue, originally Taylor Forge & Pipe Works, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

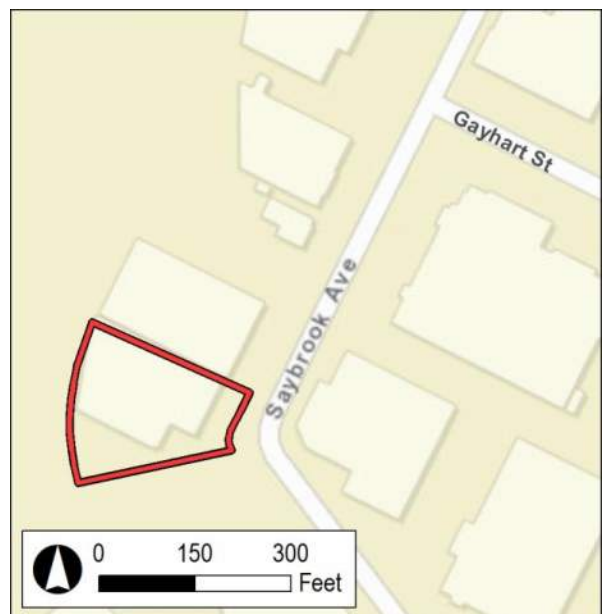
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



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Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2401 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2401 Saybrook Avenue was constructed in 1955 and is a one-story Modern-style industrial building with an L-shaped plan and a concrete slab foundation (**Photograph 1**). It occupies the northern portion of the lot has an east-facing orientation. A surface parking lot is east and south of the building that provides warehouse and delivery access. Between 2014 and 2016 the landscaped hedges in planters along the façade were removed (Google Streetview 2019).

The building has a flat roof with parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels. The east elevation façade features a loading dock on its south end that is set back from the main façade and includes two bays containing roll-up doors shaded by a metal cantilevered awning. The primary entrance is to the north of the loading dock within the main massing and is located within an inset porch with a flat roof and metal railings. The entrance is a single-entry wood panel door flanked on the south by a fixed window wall and on the north by a ribbon of aluminum framed fixed windows with a river rock accent wall below. The porch is accessed by a concrete cascading staircase. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

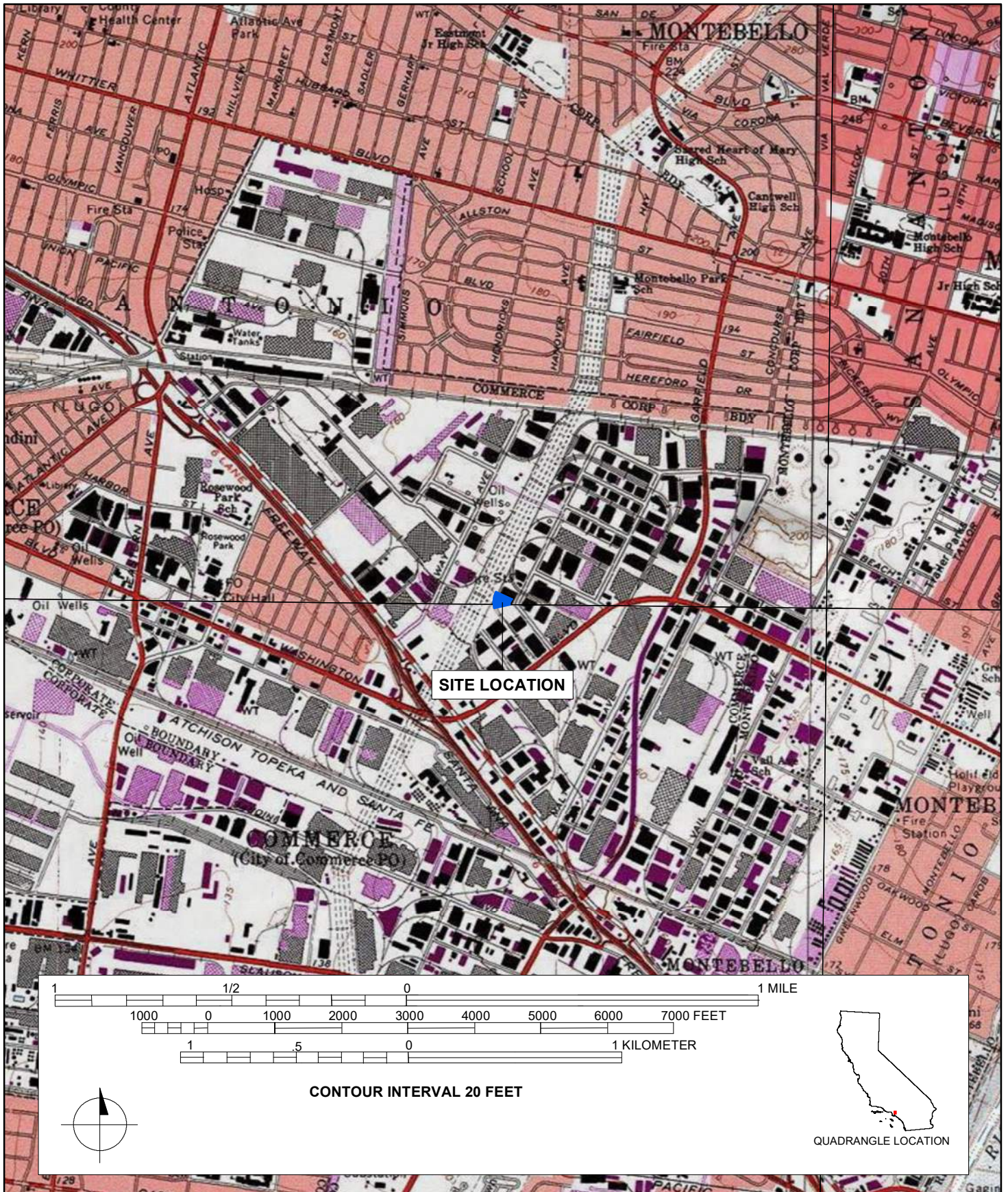
**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.



Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

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\*Resource Name or #: (Assigned by recorder) 2425 Saybrook Avenue

P1. Other Identifier: 2425 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 2425 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762679mE/394639mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-010-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of NE elevation/facade, camera facing west, 12/18/2019, DSCN0281

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 2425 Saybrook Avenue

B1. Historic Name: Art Steel Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor). N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2425 Saybrook Avenue, originally Art Steel Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

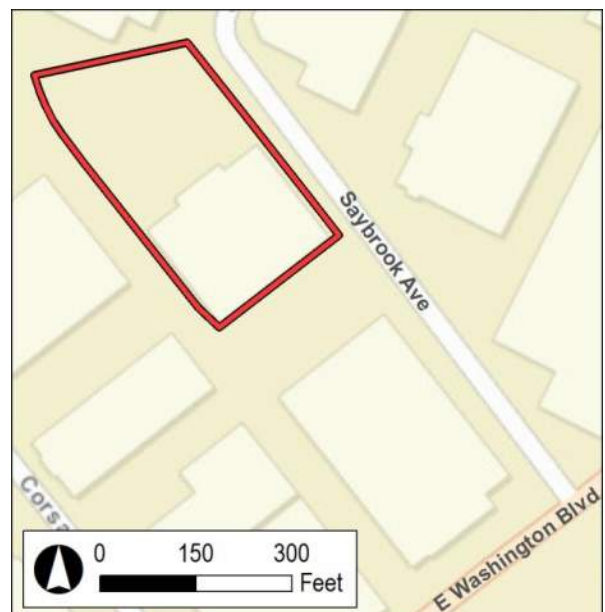
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2425 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2425 Saybrook Avenue was constructed in 1955 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photographs 1-2**). It occupies the southern portion of the lot and has a northeast-facing orientation. A surface parking lot northwest of the building provides warehouse and delivery access.

The building has a flat roof with a parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels. The primary entrance is located within an inset porch on the northwest end of the façade and includes an aluminum and glass single-entry storefront door with sidelights and transom. Two fixed, wall-length aluminum-framed windows installed at an angle flank the door to the northwest. The façade southeast of the entrance features ribbons of aluminum framed windows. A flat-roofed porch shades the entrance and the ribbons of windows, and a brick planter spans the façade beneath the ribbon of windows. The entrance is accessed by concrete stairs. A large, projecting blade sign with four open rectangular frames and in vertical lettering "DCG Distribution" is located on the northeast corner of the northwest elevation. The northwest elevation includes steel casement windows and a loading dock with a flat-roofed shade structure, and the southeast elevation features one loading dock with a roll-up door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

NRHP Status Code 3D;3CD

Page 4 of 5

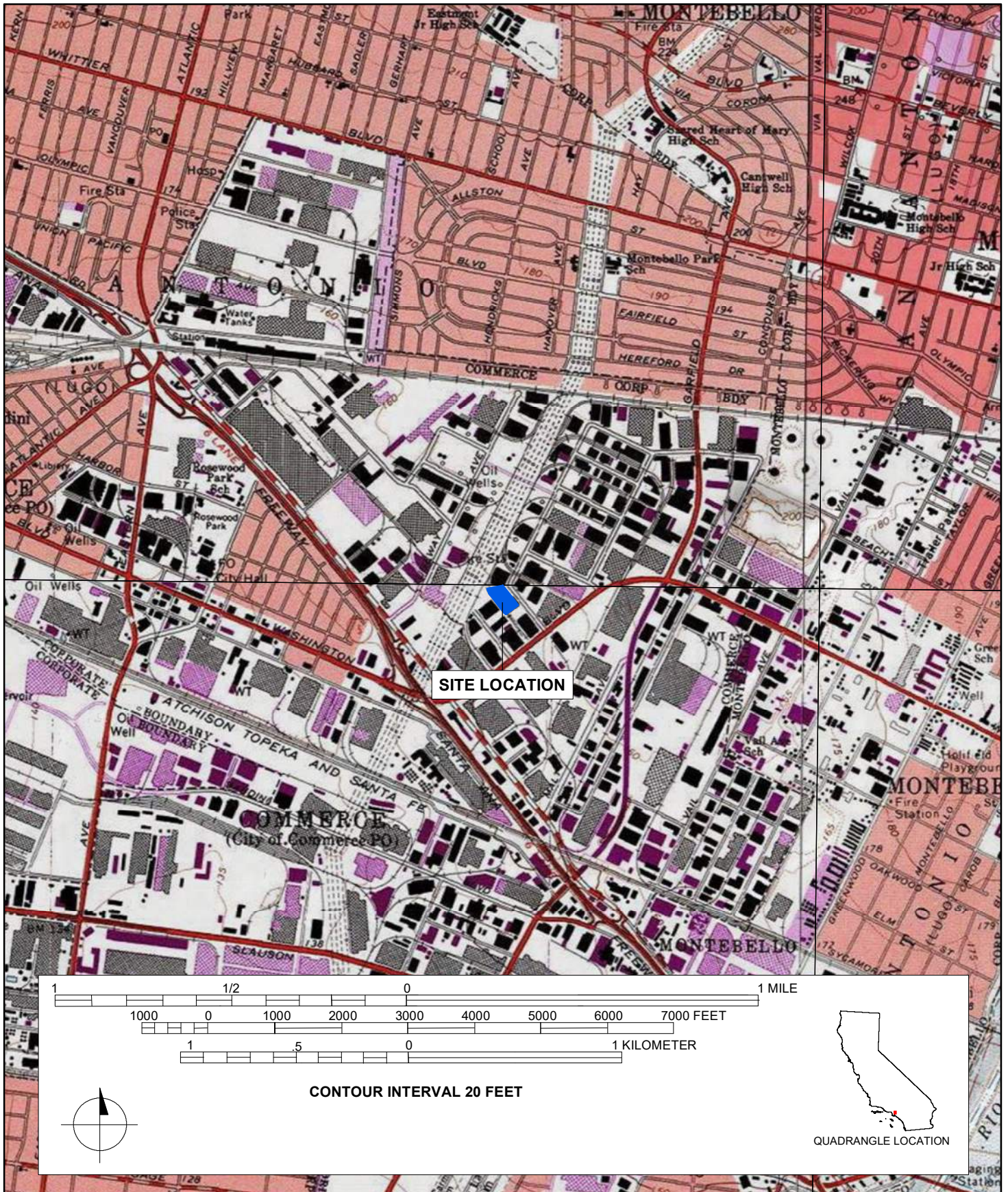
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2425 Saybrook Avenue

Continuation  Update



Photograph 2. View of E elevation, camera facing west, 12/18/2019, DSCN0279



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2200 Saybrook Avenue

P1. Other Identifier: 2200 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2200 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763052mE/394925mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-036

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing east, 12/18/2019, IMG 9171

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: major appliances division of Sues, Young & Brown Inc. and the Santa Fe Wine Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956(Los Angeles County Assessor); Building Permits: welding inspection 1973; 1957 sprinklers and weld plates; 1957 underground tank; 1969 concrete slab pour; 1963 interior office improvements; 1988 smoke vents and draft curtains; 1989 plumbing improvements; 1990 seismic retrofit; 2000 roof beam repair; electrical upgrades 2002; roof repair 1999; restroom remodel 2008; and interior office remodel 1989.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: R.D. Conwell b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2200 Saybrook Avenue, originally Sues, Young & Brown Inc. and the Santa Fe Wine Company, potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2200 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2200 Saybrook Avenue was constructed in 1956 and is a one-story, monumental, Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the entire lot and has a west-facing orientation. Paved lots north and south of the building provide warehouse and delivery access.

The building has a flat roof with parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels with brick and Chatsworth stone accent walls on the façade. The west elevation façade features an inset porch set behind a stack bond, brick accent wall. A lower brick and Chatsworth stone wall topped with metal pole railing enclose the entrance. The windows are metal-frame, fixed windows arranged in pairs covered by a flat awning that spans the façade and features a triangular-shaped projection above the entrance. The north and south elevations have multiple loading docks covered by cantilevered awnings. The resource retains some aspects of its integrity; however, the replacement windows have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

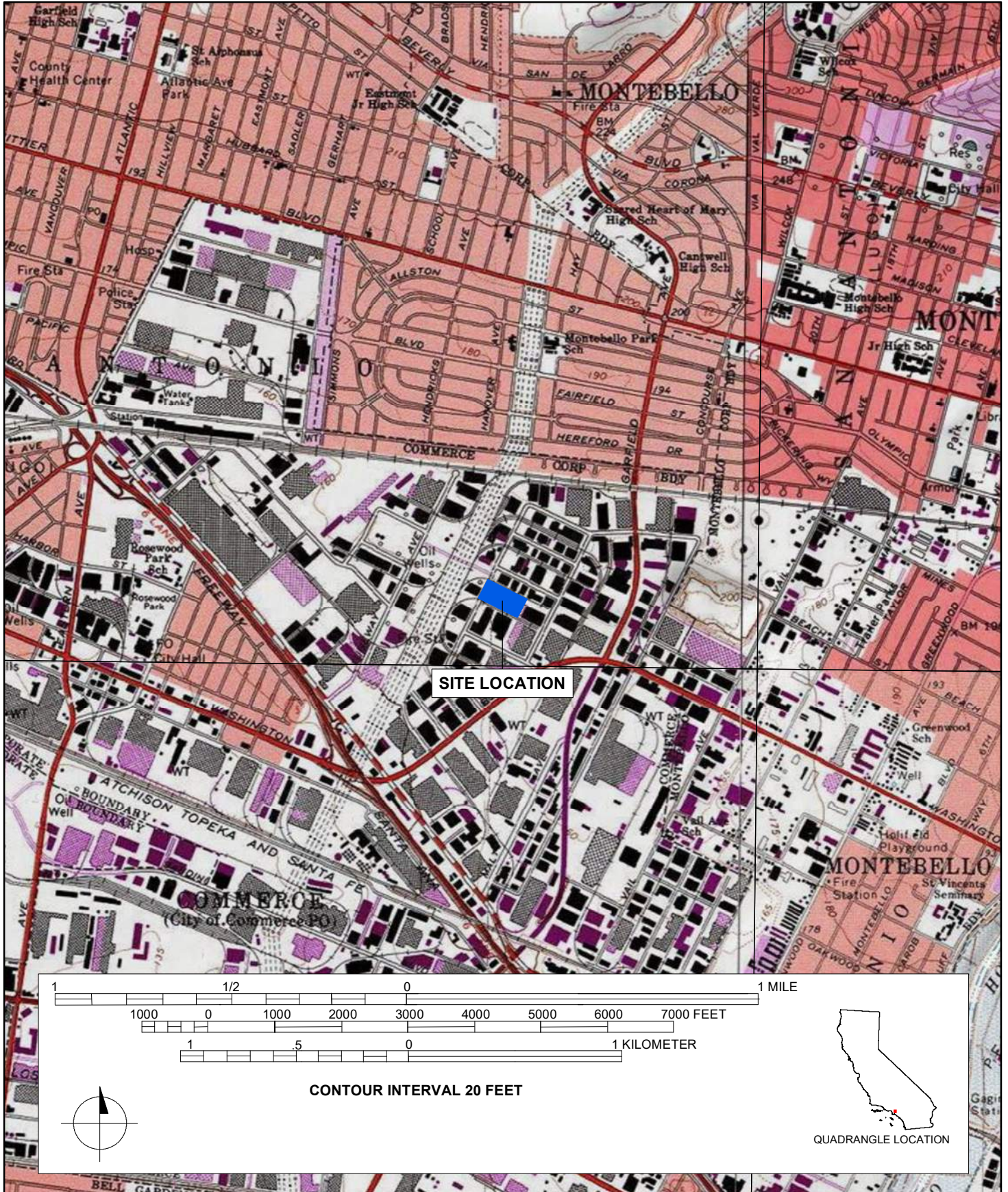
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2343 Saybrook Avenue

P1. Other Identifier: 2343 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2343 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762822mE/394619mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE and SE elevation/facade, camera facing west, 12/18/2019, IMG 9225

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 2343 Saybrook Avenue

B1. Historic Name: Alpha Metals Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956(Los Angeles County Assessor). Between 2016 and 2019 the windows and doors were replaced (Google Streetview 2019).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2343 Saybrook Avenue, originally Alpha Metals Inc., is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

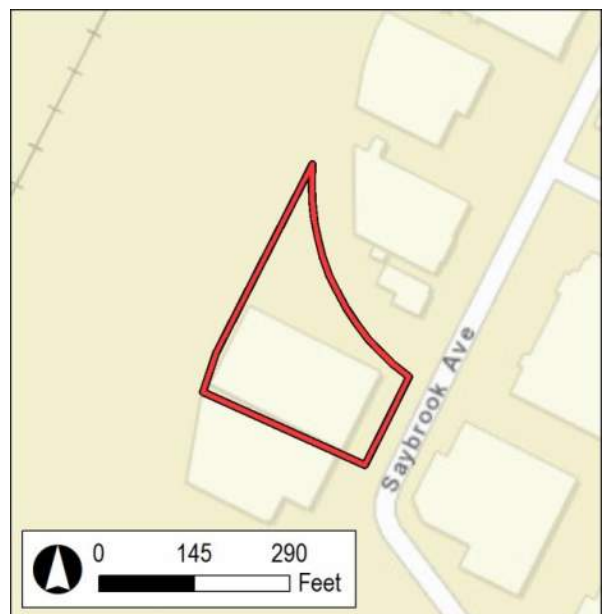
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2343 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2343 Saybrook Avenue was constructed in 1956 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photographs 1-2**). It occupies the entire lot and has an east-facing orientation. It is a one-story industrial building with a rectangular plan. A surface parking lot north of the building provides warehouse and delivery access. Between 2016 and 2019 the windows and doors were replaced (Google Streetview 2019).

The building has a flat roof with parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels. The east elevation façade has an inset porch with concrete steps and a stone clad accent wall. The windows are anodized metal-frame, fixed windows arranged in pairs. The main entry is an anodized metal-frame and glass double-leaf storefront door with transom and sidelights. The exterior wall surface above the entrance is scored concrete in a repeating square pattern. The north elevation features a set of paired windows, an anodized-metal storefront door, two flush metal single-entry doors, and a two-bay loading dock with roll-up doors shaded by an awning. The resource retains some aspects of its integrity; however, the replacement windows and doors have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D;3CD

Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2343 Saybrook Avenue

Continuation  Update

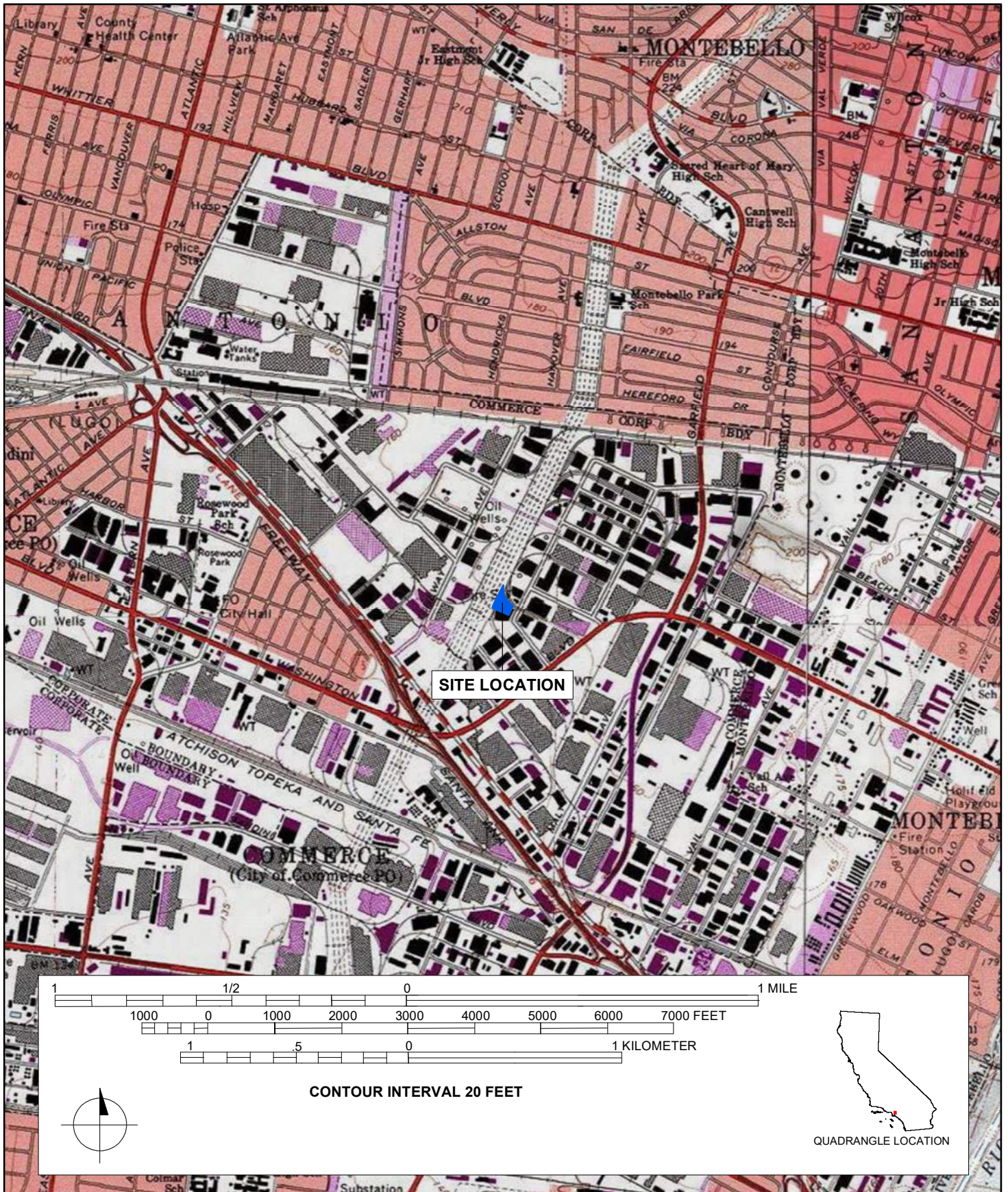


Photograph 2. View of east elevation, camera facing northwest, 12/18/2019, IMG\_9226

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 5 of 5 \* Resource Name or # (Assigned by recorder) 2343 Saybrook Ave

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6466 Gayhart Street

P1. Other Identifier: 6466 Gayhart Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles/South Gate T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6466 Gayhart Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762769mE/394875mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-012

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing southwest, 12/18/2019, IMG\_9161

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1953 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_



**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: Marwais Steel Company
- B2. Common Name: n/a
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1953(Los Angeles County Assessor); building addition added in 1959 (Los Angeles Times 1959). Building Permits: 1988 roof repair; 1984 steel coping and shearing revision to plans; 1958 plumbing improvements; 1970 electrical improvements; 2010 interior office improvements; 2006 fire sprinkler system install; and 2001 dust collector installed.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: Herman Charles Light b. Builder: C-B Building Corp.

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6466 Gayhart Street, originally Marwais Steel Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

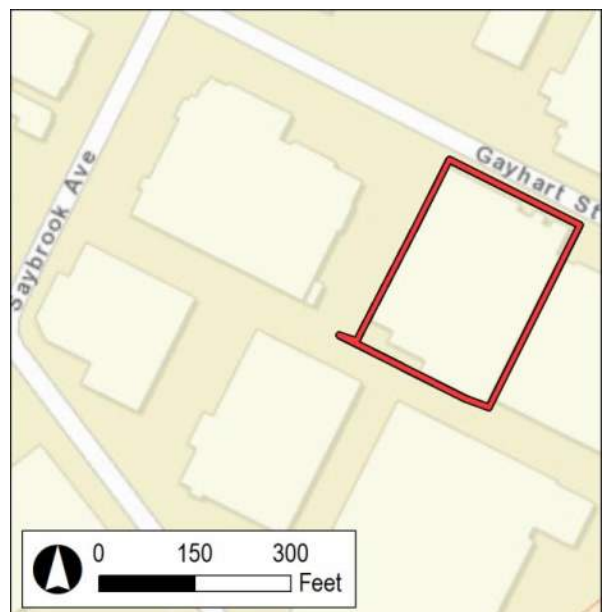
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6466 Gayhart Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6466 Gayhart Street was constructed in 1953 and is a Modern-style industrial building (**Photographs 1-2**). It occupies the entire lot and has a north-facing orientation. The building includes a one-story office storefront with a monumental one-story warehouse building with a rectangular plan. A building addition to the warehouse was added in 1959.

The office building roof has flat and shed roof forms. The warehouse building has a flat roof with a parapet and evenly spaced skylights and is covered with composite material. The warehouse walls are constructed of tilt-up concrete panels and the office walls are stacked bond concrete block with decorative pop-outs and Roman brick wainscot accents. The building sits on a concrete slab foundation. The north elevation façade has a shed roof porch with metal posts. The primary entrance is a metal-frame and glass single-entry storefront door with a transom and sidelights. The windows along the façade are wood frame, double-hung, one-over-one windows, clerestory windows, and fixed windows. There are four loading docks with metal roll-up garage doors on the warehouse's north elevation. The west elevation has no windows or doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

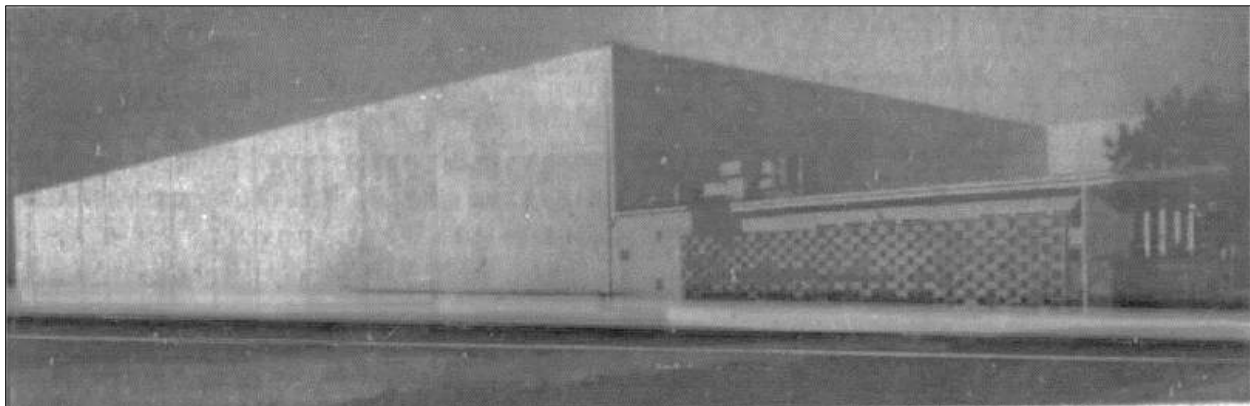
Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

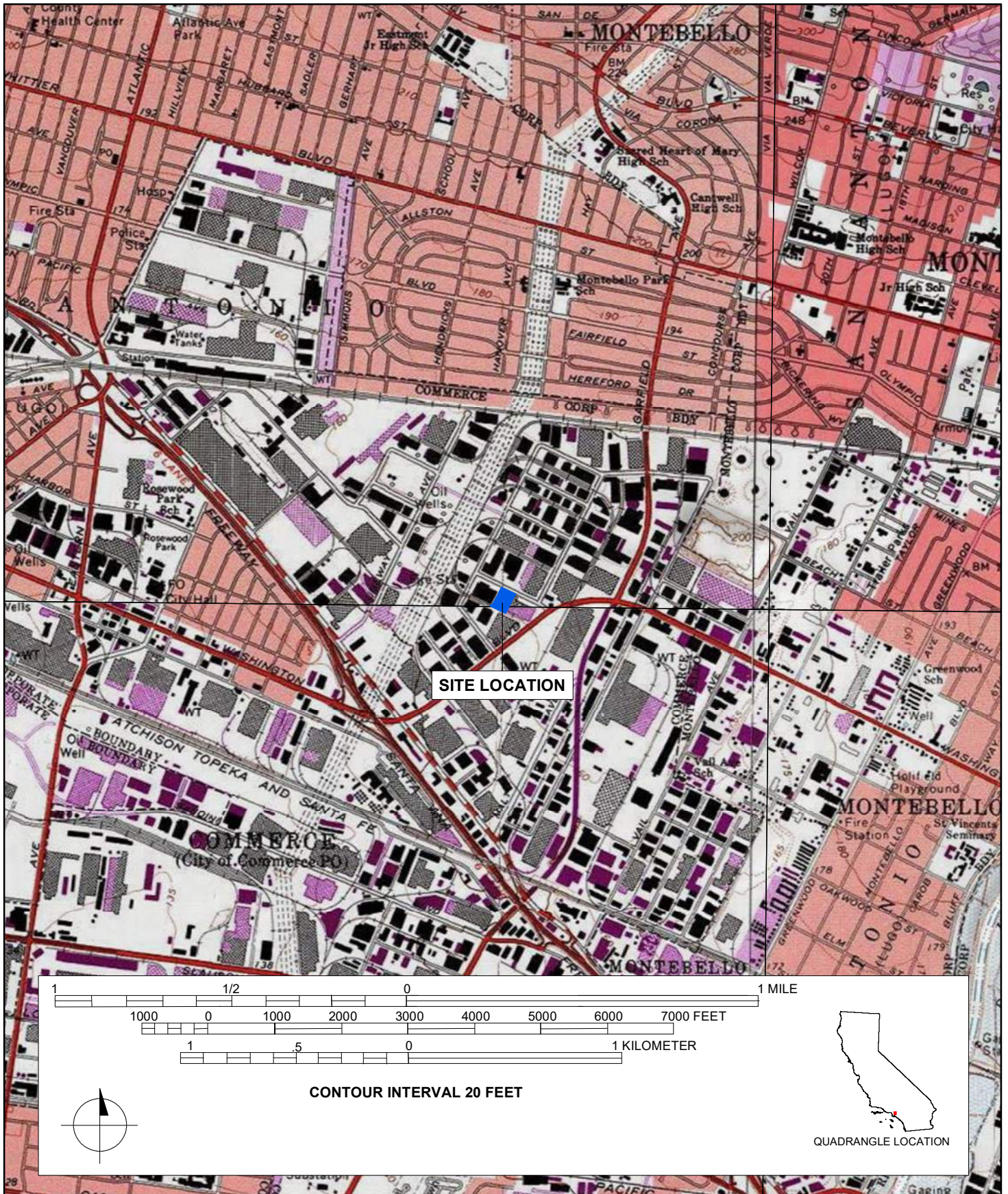
**\*B12. References (continued):**

Los Angeles Times. 1959. "Expansion." April 26, 1959.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** Marwais Steel Company headquarters (1959 building addition) at 6466 Gayhart Street, 1959 (Los Angeles Times 1959).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 6

\*Resource Name or #: (Assigned by recorder) 6505 Gayhart Street

P1. Other Identifier: 6505 Gayhart Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6505 Gayhart Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S:3762876mE/394985mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-040

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/facade, camera facing west, 12/18/2019, DSCN0227

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Sylvania Electric Products, Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956(Los Angeles County Assessor); Between 2007 and 2012 the vinyl awning covering the primary entrance was removed and replaced with a flat metal awning (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6505 Gayhart Street, originally Sylvania Electric Products, Inc., is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

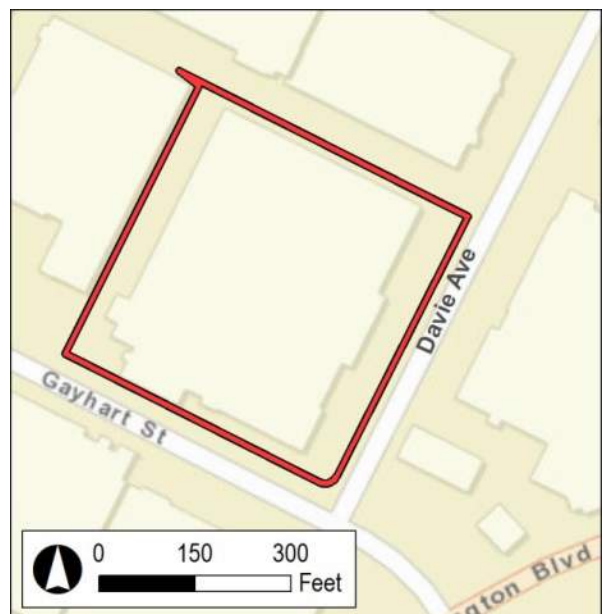
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 6

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6505 Gayhart Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6503-6505 Gayhart Street was constructed in 1956 and is a large, one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photographs 1-3**). It occupies entire lot and has a south-facing orientation. A surface parking lot adjacent to the façade provides parking spaces to visitors and a parking lot east of the building provides warehouse and delivery access. Between 2007 and 2012, a vinyl awning covering the primary entrance was removed and replaced with a flat metal awning (Google Streetview 2019).

The building has a flat roof with parapet and is covered with composite material. The roof also features numerous solar panels. The walls are constructed of tilt-up concrete panels. The façade is punctuated by a large projecting blade sign that bisects the building. The primary entrance is located along the main building projection east of the sign and is a metal-frame and glass double-leaf storefront door with sidelights framed by a stack bond brick accent wall. Along either side of the entrance are metal-frame ribbon windows that span the façade. There are six loading docks with metal roll-up garage doors on east elevation. The resource retains some aspects of its integrity; however, the alterations to the primary entrance and facade have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Public Library (LAPL)

1956 Image, New Sylvania L.A. center. Valley Times Collection, <https://tessa.lapl.org/cdm/singleitem/collection/photos/id/125937/rec/5>. Accessed January 29, 2020.

1957 Image, Sylvania Electric Products, Inc., Gayhart Street and Davie Avenue, looking north. Kelly-Holiday Mid-Century Aerial Collection, <https://tessa.lapl.org/cdm/ref/collection/photos/id/6666>. Accessed January 29, 2020.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



Photograph 2. Sylvania Electric Products building, view to north, 1957 (LAPL 1957).

Page 5 of 6

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6505 Gayhart Street

Continuation  Update



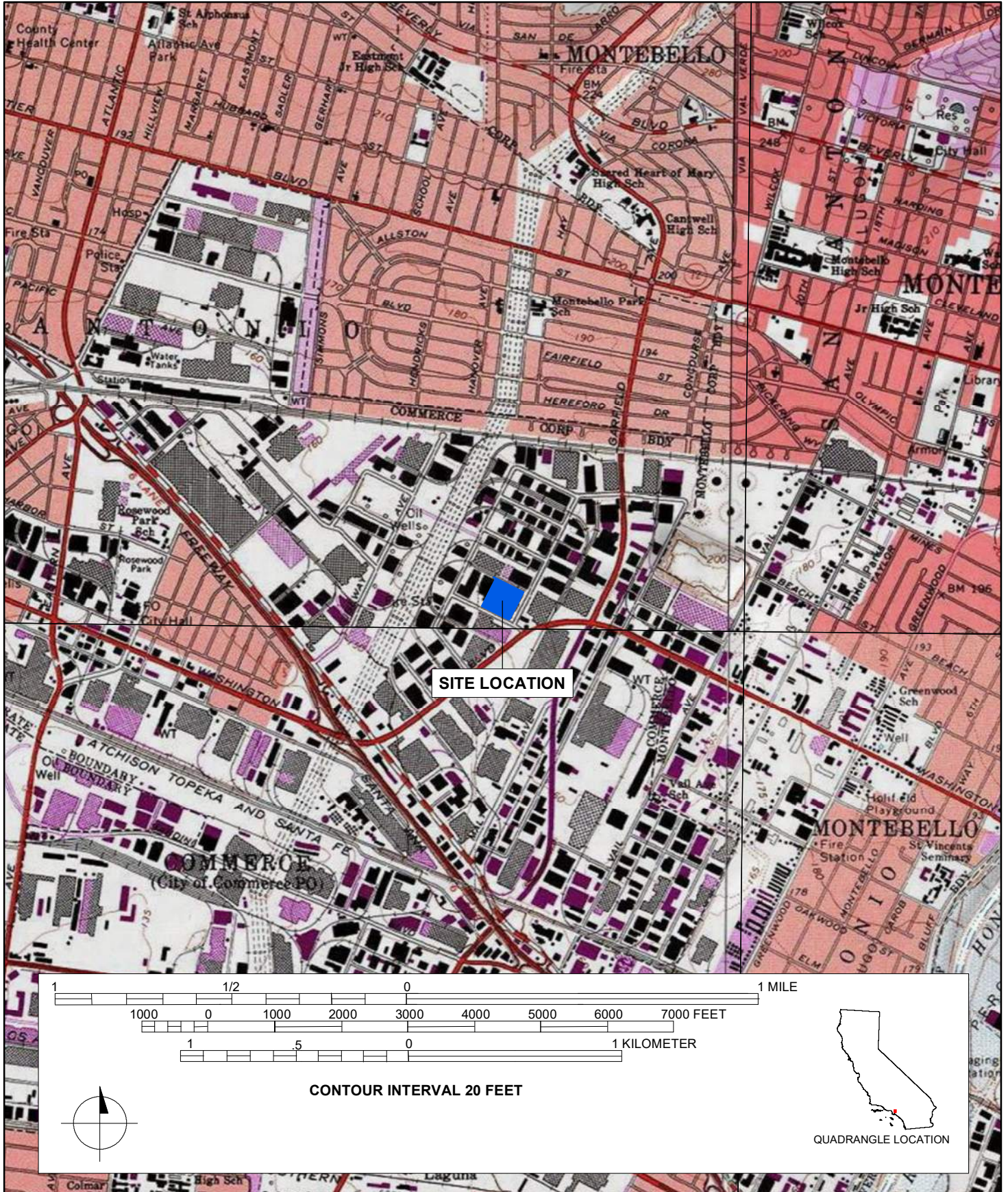
**Photograph 3.** Sylvania Electric Products building façade, 1956 (LAPL 1956).



Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 6 of 6      \* Resource Name or # (Assigned by recorder) 6505 Gayhart St

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle      \* Scale: 1:24,000      \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6414 Gayhart Street

P1. Other Identifier: 6414 Gayhart Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec; M.D.B.M.

c. Address 6414 Gayhart Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762823mE/394766mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-008

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing west, 12/18/2019, IMG 9168

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

B1. Historic Name: Diamond Match Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6414 Gayhart Street, originally the Diamond Match Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

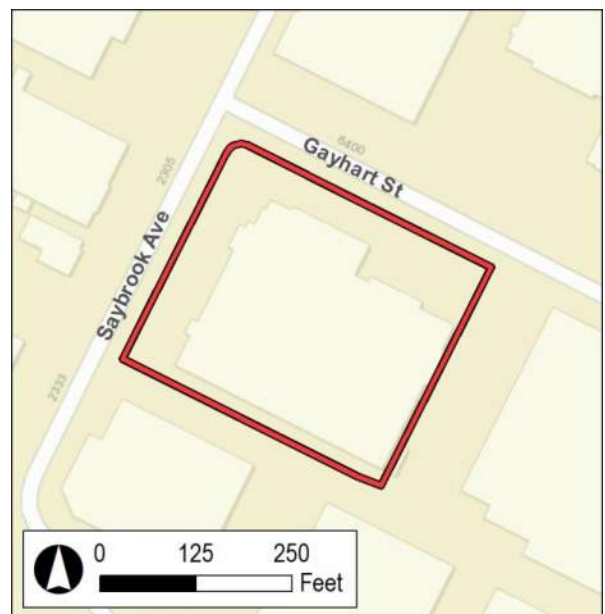
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6414 Gayhart Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6414 Gayhart Street was constructed in 1956 and is a one-story Modern-style industrial building (**Photographs 1-3**). It occupies the center of the lot and has a north-facing orientation. The building has an L-shaped plan composed of a one-story office storefront and a monumental one-story warehouse.

The building has a flat roof and is covered with composite material. The walls are constructed of tilt-up concrete panels and the building sits on a concrete slab foundation. The office building projection features a flat roof with overhanging eaves and an accent wall on the east end that features a parapet that has a higher roof profile and is clad with six vertical sections of Roman brick veneer. The primary entrance is within an inset porch west of the Roman brick feature wall and is a metal-frame and glass double-leaf storefront door with sidelights. The porch is bordered by a Roman brick porch wall with a metal pole railing. The windows on the façade are east of the entrance and consist of metal-framed ribbon windows, and the west elevation of the office includes two fixed windows. The east elevation of the office projection includes a secondary entrance composed of a metal-framed storefront system accessed by a concrete ramp. The façade of the warehouse east of the office projection includes three loading docks with metal roll-up garage doors covered by a cantilevered awning and a single-entry metal door accessed by concrete stairs. The warehouse portion of the west elevation has two loading docks covered by cantilevered awnings and two single-entry doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 6414 Gayhart Street was originally the Diamond Match Company warehouse and office facility. The Diamond Match Company was formed in 1881 through a partnership between the Swift, Courtney & Beecher Match Company of Wilmington (Delaware) and the Barber Match Company of Akron (Ohio). By 1889 the company had expanded, incorporating locations in Connecticut and Illinois. The Diamond Match Company facility at the CMD was responsible for the self-locking match carton and bee divisions of the firm (Los Angeles Times 1956).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Los Angeles Times. 1956. "Match Company Now in New Warehouse Office." August 12, 1956.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

NRHP Status Code 3D;3CD

Page 4 of 5

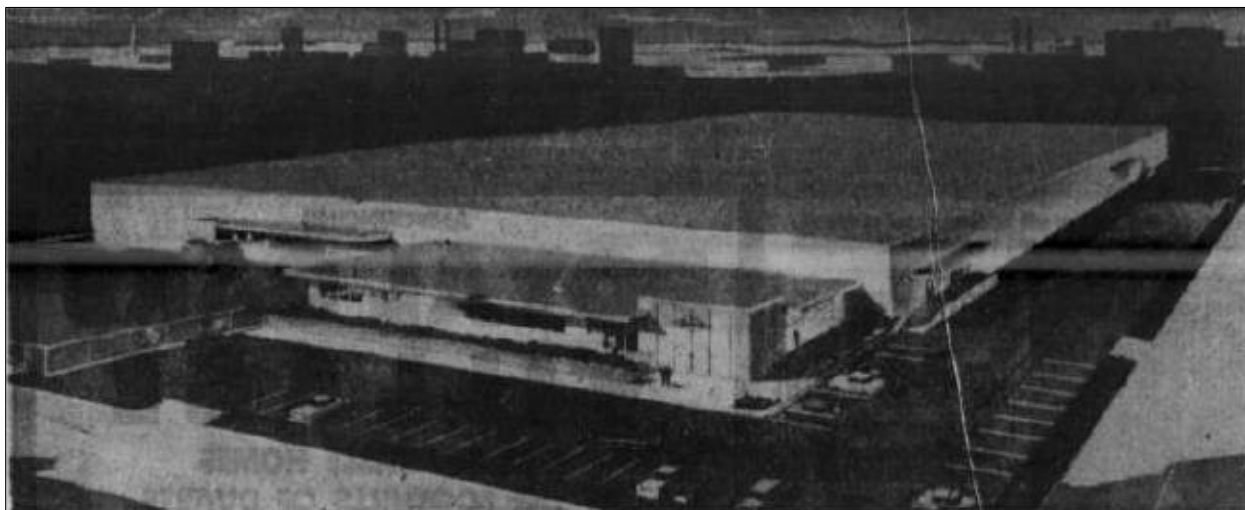
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6414 Gayhart Street

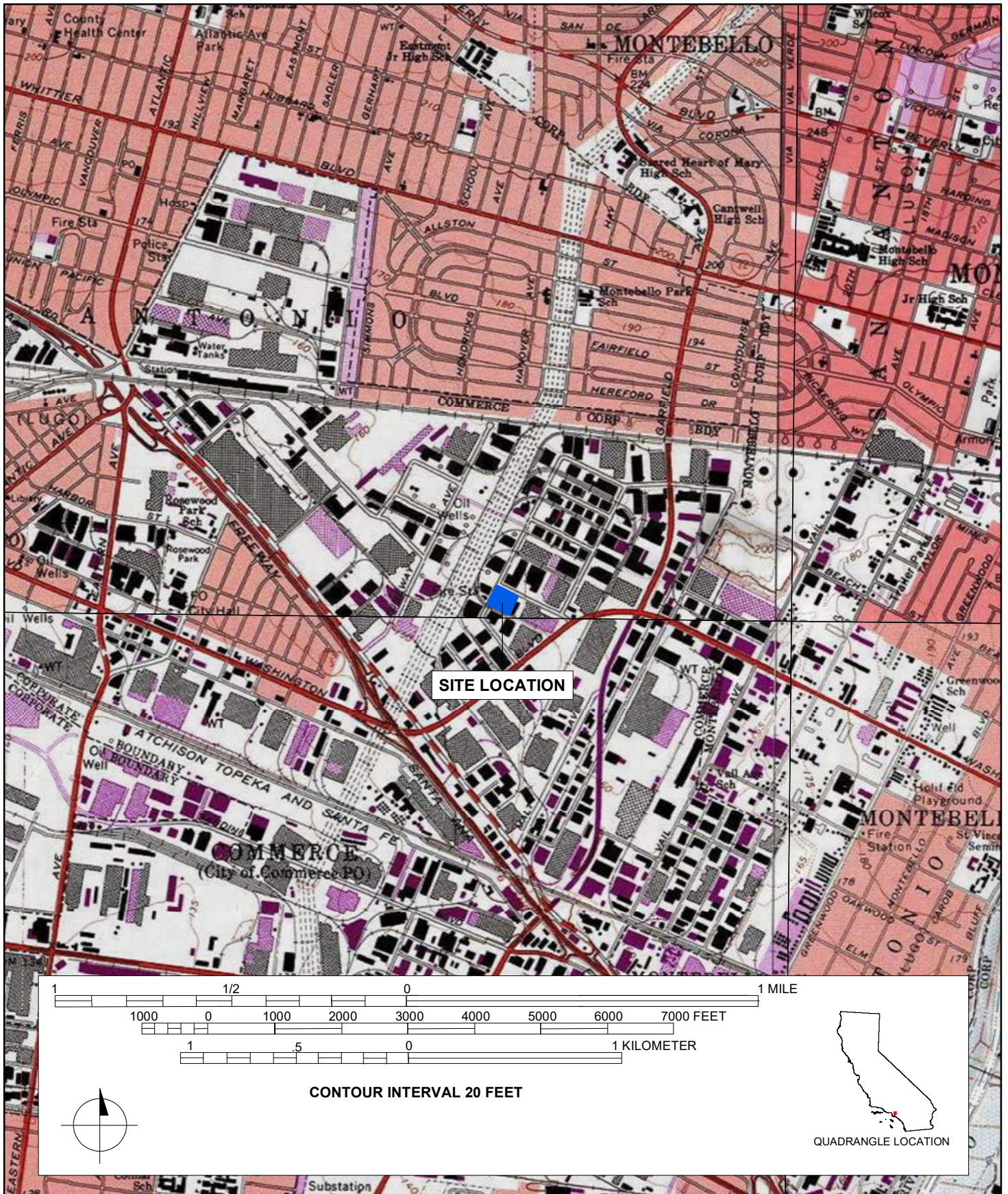
Continuation  Update



**Photograph 2.** View of NE elevation loading docks, camera facing west, 12/18/2019, IMG\_9167



**Photograph 3.** Diamond Match Company facility at 6414 Gayhart Street, 1956 (Los Angeles Times 1956).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6409 Gayhart Street

P1. Other Identifier: 6409 Gayhart Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6409 Gayhart Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762965mE/394809mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-038

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/18/2019, DSCN0233

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6409 Gayhart Street

B1. Historic Name: Merck, Sharp & Dohme, pharmaceutical manufacturers

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957(Los Angeles County Assessor). Between 2015 and 2019 the windows and doors along the south elevation were replaced (Google Streetview 2019).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6409 Gayhart Street, originally Merck, Sharp & Dohme, pharmaceutical manufacturers, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

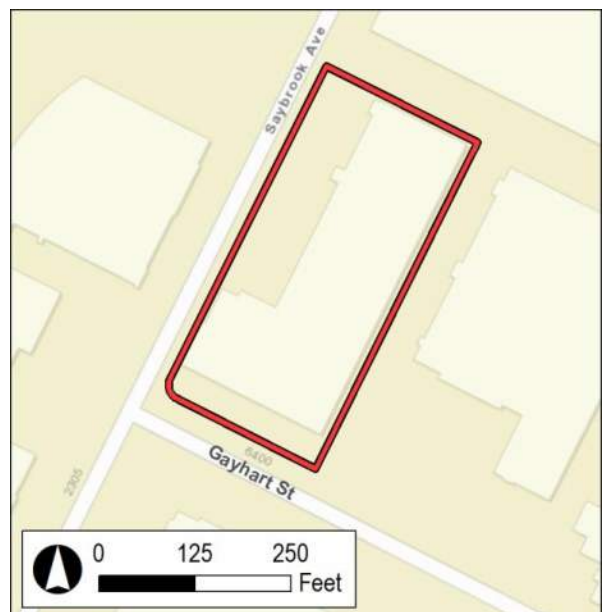
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6409 Gayhart Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6409 Gayhart Street was constructed in 1957 and is a one-story Modern-style industrial building with an L-shaped plan (**Photograph 1**). It occupies the east side of the lot and has a south-facing orientation. Between 2015 and 2019, the windows and doors along the south elevation were replaced (Google Streetview 2019).

The building has a flat roof with parapet and that is covered with composite material. The walls are frame with stucco cladding and tilt-up concrete panels. The building sits on a concrete slab foundation. A fieldstone accent wall bisects the façade. The primary entrance is adjacent to the east side of the accent wall and is a metal-frame and glass double-leaf storefront door with sidelights that is shaded by a fabric awning. Windows west of the accent wall and east of the entrance include ribbons of non-historic, metal-framed fixed windows. The east and west ends of the façade also feature single-entry aluminum and glass storefront doors. The western door is shaded by a fabric awning. The windows on the west elevation of the warehouse portion of the building are metal-frame, multi-light casement windows. The resource retains some aspects of its integrity; however, the alterations to the primary entrance and facade have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 6409 Gayhart Street was originally a distribution center for Merck, Sharp & Dohme, pharmaceutical manufacturers. In 1953, Merck & Co. merged with Philadelphia-based Sharp & Dohme, Inc., founded by Alpheus Phineas Sharp and Carl Friedrich Louis Dohme in 1845, becoming the largest US drugmaker. At the time of the facility's opening in the CMD, it was the company's largest domestic branch installation ever constructed (Los Angeles Times 1958).

Modern Architecture

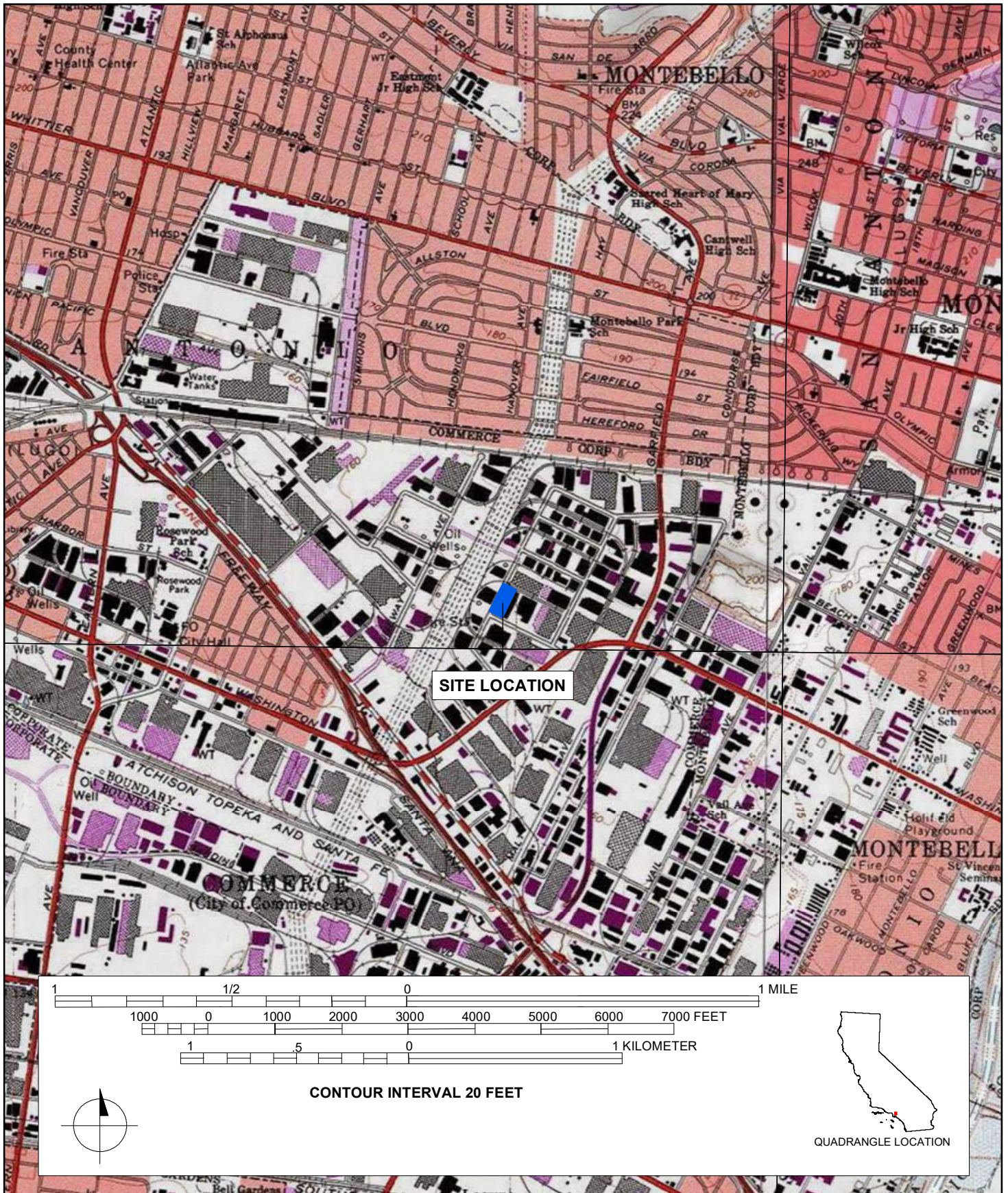
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1958. "\$600,000 Center Newly Opened." February 9, 1958.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6433 Gayhart Street

P1. Other Identifier: 6433 Gayhart Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6433 Gayhart Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762928mE/394880mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-039

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/18/2019, DSCN0230

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1959 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Morgan & Sampson Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1959(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6433 Gayhart Street, originally Morgan & Sampson Inc., is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

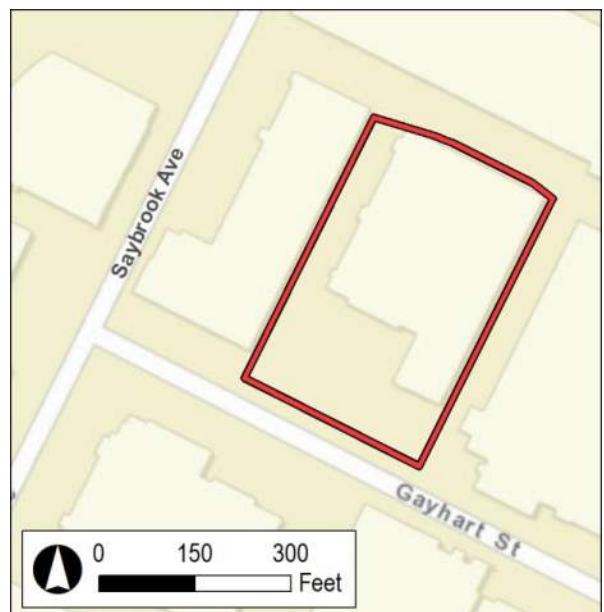
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6433 Gayhart Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6433 Gayhart Street was constructed in 1959 and is a one-story Modern-style industrial building (**Photograph 1**). It occupies the rear of the lot and has a south-facing orientation. The building features an L-shaped plan, including a large warehouse that encompasses the rear of the property and an office storefront attached to the west end of the façade (south). The building faces a surface parking lot.

The building has a flat roof with a parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels. The building sits on a concrete slab foundation. A breeze block accent wall spans the western portion of the facade. The primary entrance is centrally located and is a metal-frame and glass double-leaf storefront door with sidelights covered by a flat awning. The windows are non-historic, metal-frame ribbon windows. There are four loading docks with metal roll-up garage doors and a double-entry metal flush door covered by a cantilevered awning on the south elevation of the warehouse. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

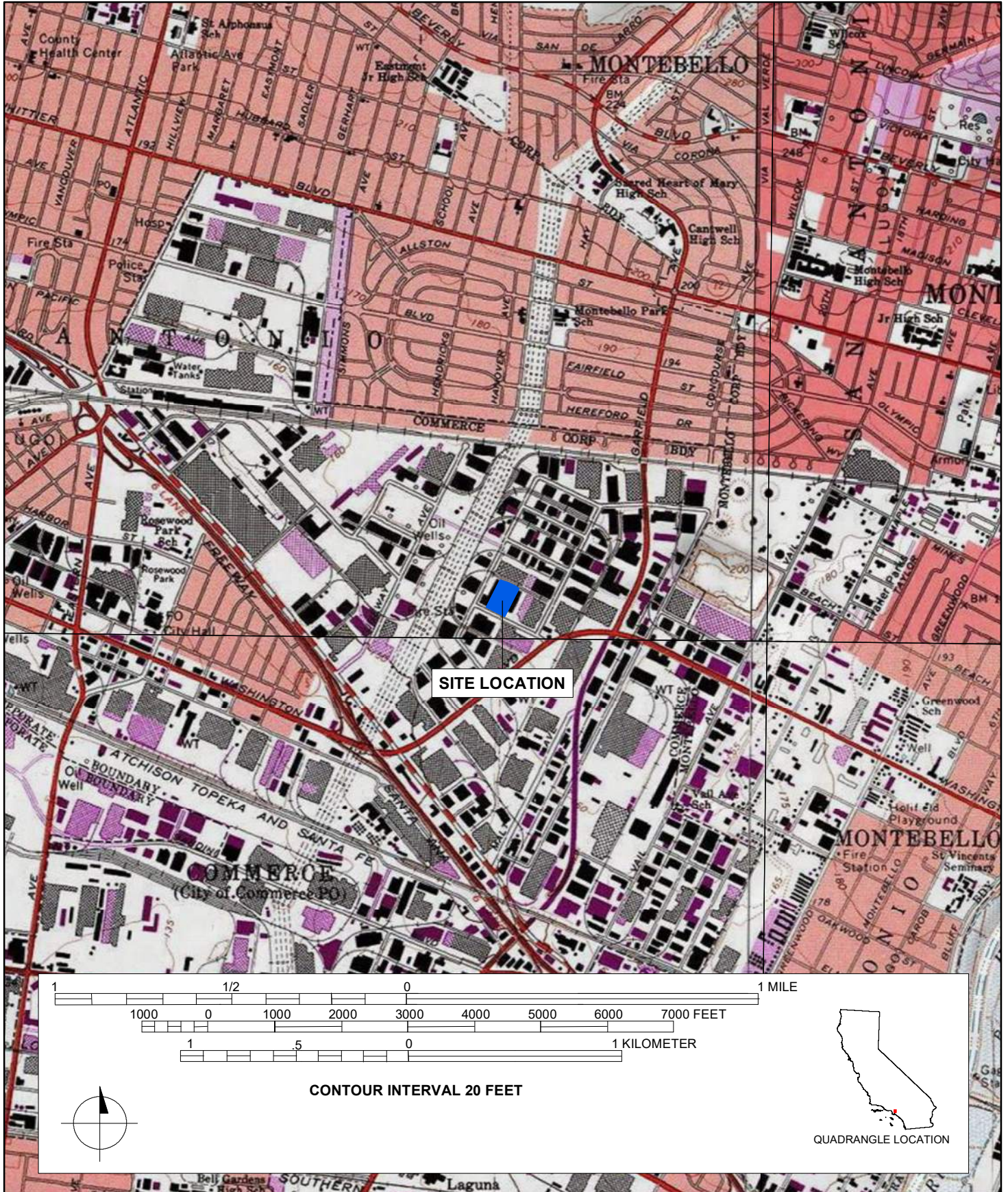
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D; 3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 6

\*Resource Name or #: (Assigned by recorder) 6489 Corvette Street

P1. Other Identifier: 6489 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6489 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763133mE/395154mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-024

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/18/2019, DSCN0259

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 6

\*NRHP Status Code 3D; 3CD

\*Resource Name or # (Assigned by recorder) 6489 Corvette Street

B1. Historic Name: Bralco Metals Inc.

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1954(Los Angeles County Assessor).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6489 Corvette Street, the former Bralco Metals Inc. building, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

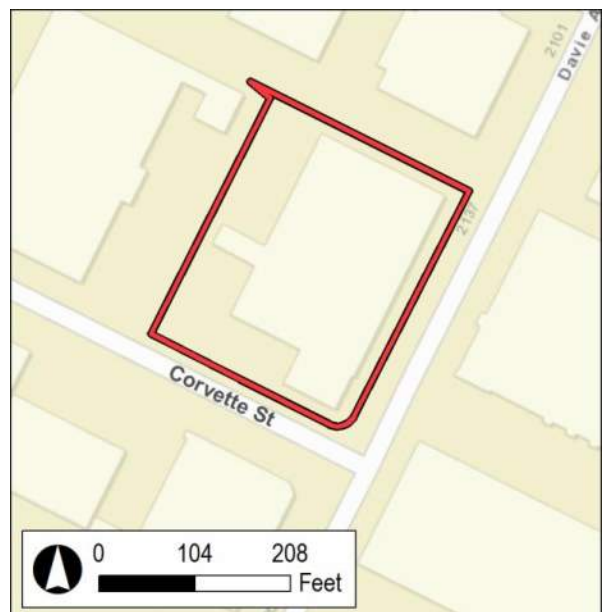
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 6

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6489 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6489 Corvette Street was constructed in 1954 and is a Modern-style industrial building (**Photographs 1-3**). It occupies the entire lot and has a south-facing orientation. It is a monumental one-story warehouse with an attached one-story office that create an L-shaped plan. The office storefront is located at the south elevation (façade), with the warehouse and delivery access along the west elevation. Manicured hedges and planters surround the south and east elevations.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete and brick. Decorative wall features include a stack bond brick accent wall with a planter at the building entrance and metal grates over the windows that allude to multi-light windows. The building has metal-frame windows and double-leaf glass doors covered by metal security grills. The windows along the south elevation of the warehouse are large metal-frame multi-light windows. A triangular Palladian window frames the warehouse entrance. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** View of E elevation/façade, camera facing north, 12/18/2019, DSCN0257

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D;3CD

Page 4 of 6

Recorded by: M. Wilson \*Date: January 2020

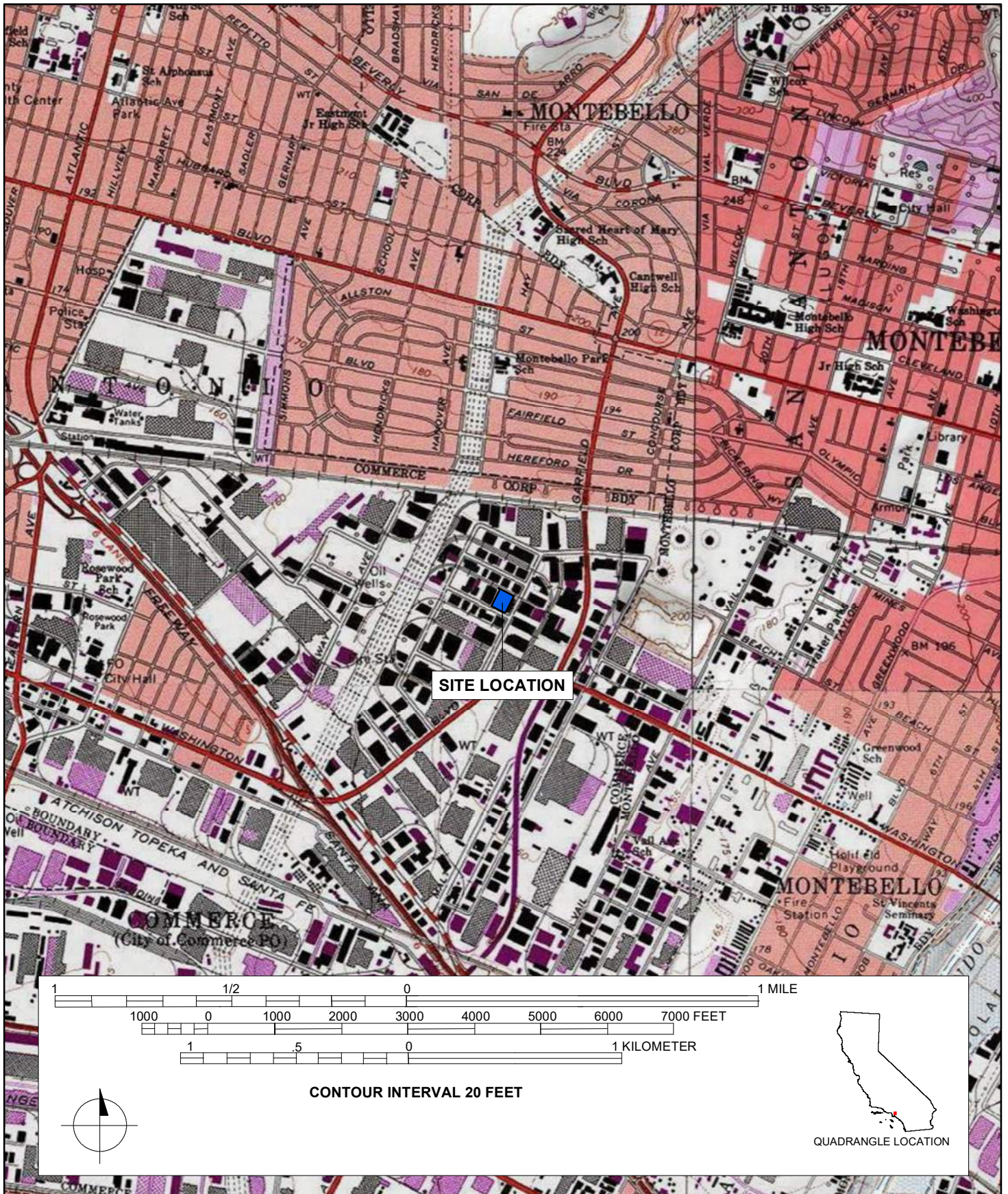
\*Resource Name or # (Assigned by recorder) 6489 Corvette Street  
 Continuation  Update



Photograph 3. View of SW elevation/façade, camera facing northeast, 12/18/2019, DSCN0258

Page \_\_\_\_ of \_\_\_\_ \* Resource Name or # (Assigned by recorder) 6489 Corvette St

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6465 Corvette Street

P1. Other Identifier: 6465 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6465 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763170mE/395080mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-023

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/18/2019, DSCN0264

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6465 Corvette Street

B1. Historic Name: Titanium Metals Corporation of America

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1954(Los Angeles County Assessor).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6465 Corvette Street, originally the Titanium Metals Corporation of America warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features.

B11. Additional Resource Attributes: (List attributes and codes)

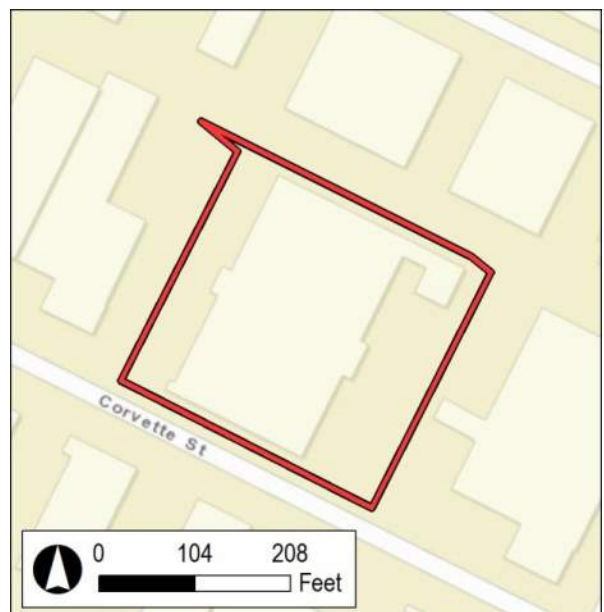
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6465 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6465 Corvette Street was constructed in 1954 and is a Modern-style industrial building (**Photographs 1-2**). It occupies the entire lot and has a south-facing orientation. It is a monumental one-story warehouse with a rectangular plan. The office storefront is located at the south elevation (façade) with warehouse and delivery access along the west and east elevations.

The building has a bowstring roof covered with composite material and evenly spaced skylights. The walls are of concrete tilt-up construction, and the building sits on a concrete slab foundation. The eastern portion of the façade features four recessed square bays with banded concrete walls and planters. The windows are industrial casement windows covered by metal security grills. The windows along the western portion of the façade are covered by louvered vents. The primary entrance is located within an inset porch with concrete steps. The doors are single-entry steel doors. The loading dock along the east elevation is covered by a cantilevered awning. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

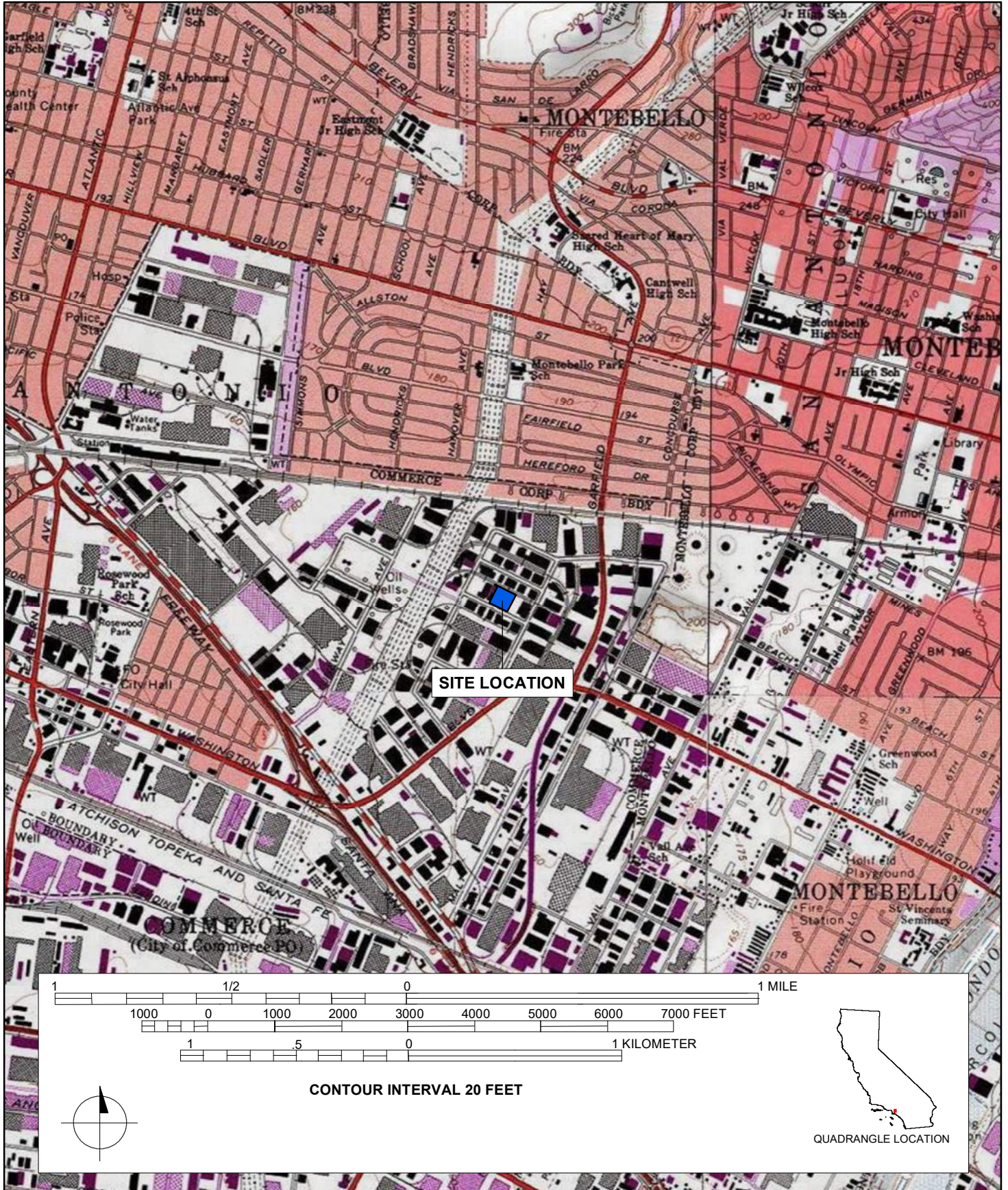
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** View of S elevation/façade, camera facing north, 12/18/2019, DSCN0262



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6440 Corvette Street

P1. Other Identifier: 6440 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6440 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763108mE/394996mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-032

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing SW, 12/18/2019.

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_



**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Glenmart Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1955(Los Angeles County Assessor).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1:C/3  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6440 Corvette Street, originally the Glenmart Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

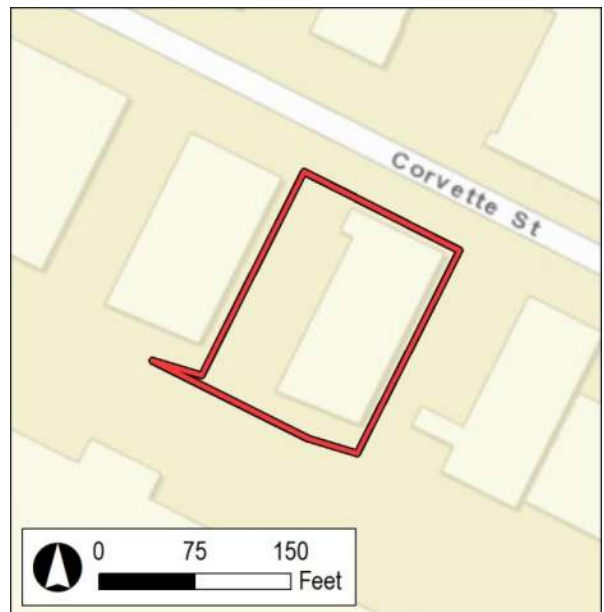
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6440 Corvette Street

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6440 Corvette Street was constructed in 1955 and is a Modern-style industrial building (**Photographs 1-2**). It occupies the entire lot and has a north-facing orientation. It is a monumental one-story warehouse with a rectangular plan. The office storefront is located at the north elevation (façade) with warehouse and delivery access along the west elevation.

The building has a flat roof covered with composite material. The walls of the offices are tilt-up concrete panels. The entire complex sits on a concrete slab foundation. The north elevation has a ribbon of metal frame windows. The entrance is inset and framed by brick accent walls. There are no windows or doors along the east elevation. The resource retains most aspects of its integrity; however, the removal of the louvered vents from the façade's ribbon windows has diminished its aspect of design.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

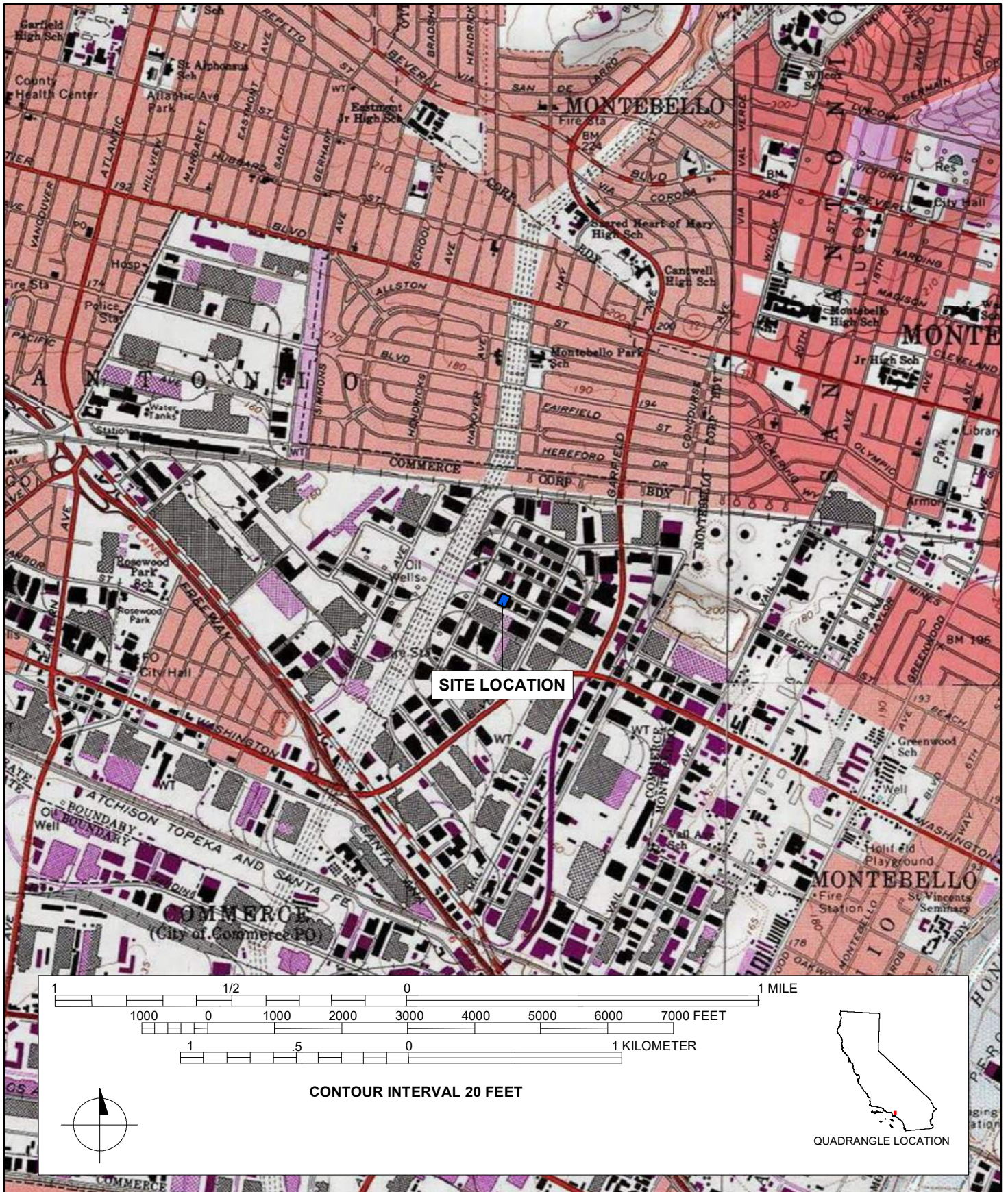
**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** View of N elevation/façade, camera facing SE, 12/18/2019.

**LOCATION MAP**



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6474 Corvette Street

P1. Other Identifier: 6474 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6474 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763069mE/395072mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-034

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing southwest, 12/18/2019, IMG\_9208

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Hild Floor Machine Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor)

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6474 Corvette Street, originally the Hild Floor Machine Company's offices and warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

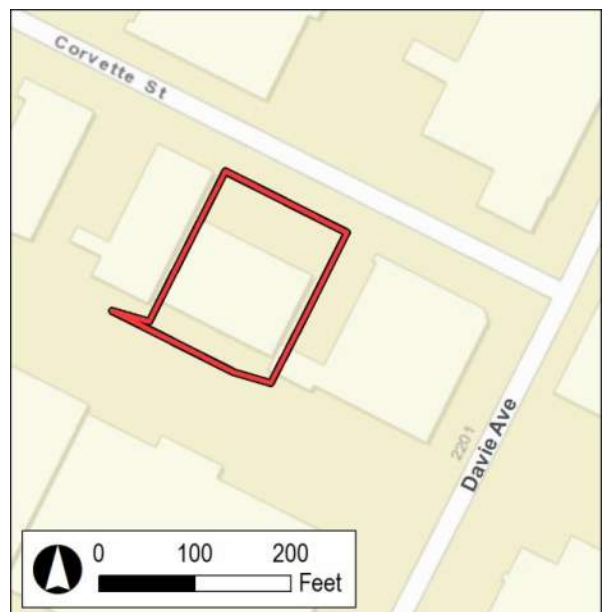
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6474 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6474 Corvette Street was constructed in 1956 and is a Modern-style industrial building (**Photograph 1**). It occupies the rear of the lot and has a north-facing orientation. It is a one-story industrial building with a rectangular plan.

The building has a flat roof with a slight parapet and is covered with composite material. The walls are constructed of concrete and brick, and the building sits on a concrete slab foundation. The façade has stone accent walls and manicured hedges and planters. The façade includes two garage bays with metal roll-up doors, and a smaller, recessed loading dock with a metal roll-up door. The primary entrance is within an inset porch with a flat awning and concrete steps. The entrance is a metal-frame and glass storefront with a single-entry door. There are ribbon windows with wide concrete sills flanking each side of the entrance. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

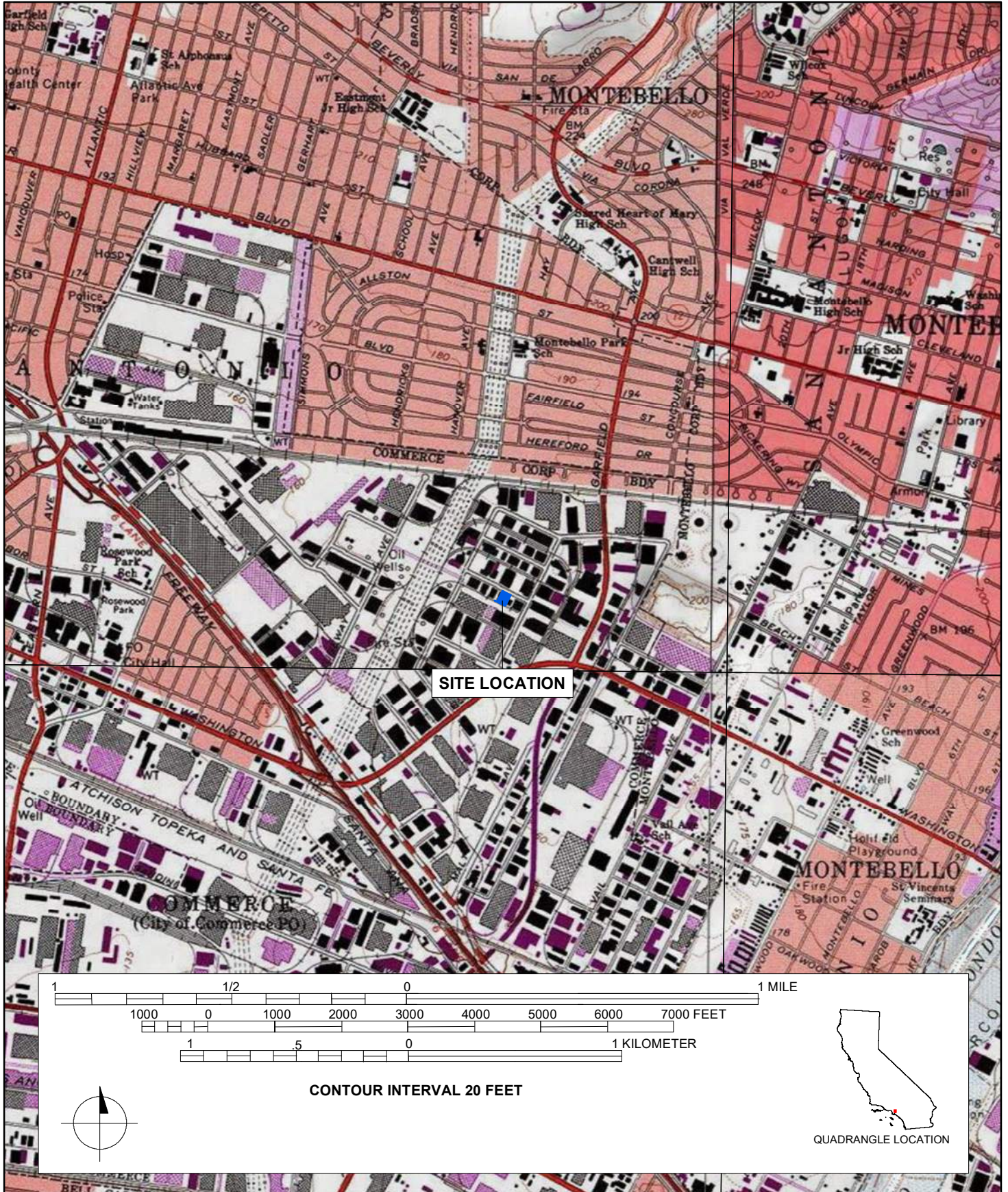
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6480 Corvette Street

P1. Other Identifier: 6480 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6480 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763046mE/395117mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-035

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE and SE elevation/façade, camera facing west, 12/18/2019, IMG 9204

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6480 Corvette Street

B1. Historic Name: Bralco Metals

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor). Between 2015 and 2018, the north elevation's ribbon windows with louvered vents and tile wall accents were removed and a concrete ramp with metal railings was installed (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6480 Corvette Street is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

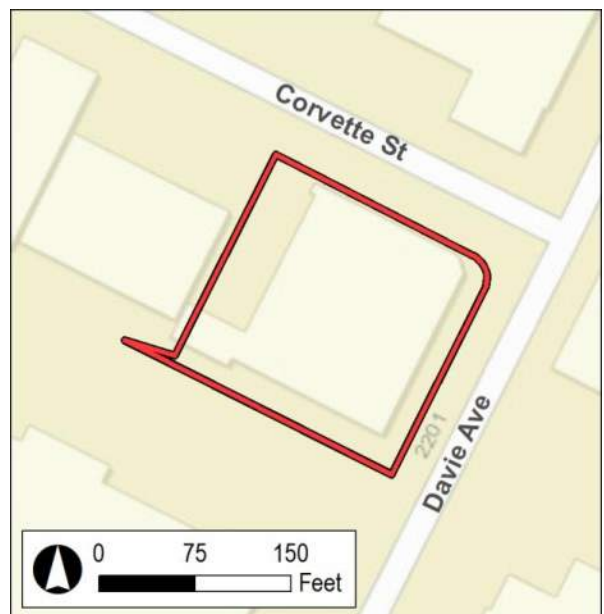
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6480 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6480 Corvette Street was constructed in 1956 and is a Modern-style industrial building (**Photograph 1**). It occupies the entire lot and has a north-facing orientation. It is a monumental one-story warehouse with a rectangular plan. Between 2015 and 2018, the north elevation's ribbon windows with louvered vents and tile wall accents were removed and a concrete ramp with metal railings was installed (Google Streetview 2019).

The building has a flat roof evenly spaced skylights and is covered with composite material. The walls are constructed of concrete tilt-up panels with stack bond brick accent walls along the façade. The building sits on a concrete slab foundation. The western portion of the façade is divided into three bays, which are shaded by a flat roof porch supported by brackets, and ribbons of metal-framed clerestory windows. The primary entrance is an aluminum and glass double-leaf storefront door that is accessible by a concrete ramp with metal railings. The eastern portion of the façade has an asymmetrical arrangement of fiberglass-framed horizontal sliding windows. There is a clipped corner wall junction that faces the Corvette Street and Davie Avenue intersection. The east elevation has four fiberglass-framed windows and a no doors. The resource retains most aspects of its integrity; however, the removal of the original windows and decorative elements from the façade have diminished its aspects of design, materials, and workmanship.

**\*B10. Significance (continued):**

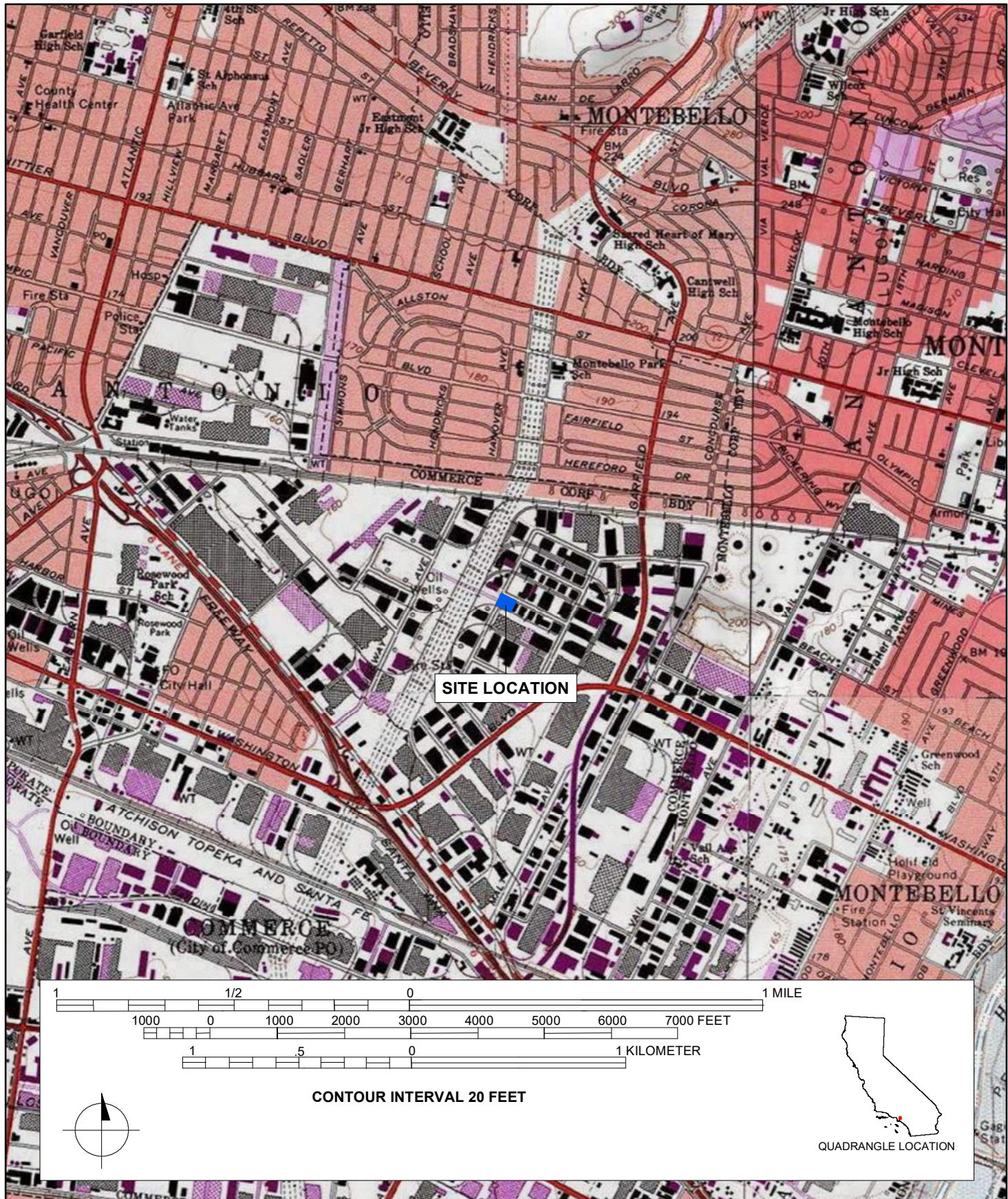
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6460 Corvette Street

P1. Other Identifier: 6460 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6460 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763089mE/395033mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-033

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing south, 12/18/2019, IMG 9212

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Jim Western Manufacturing Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1957 (Los Angeles County Assessor); Building Permits: 2011 water heater install; 2011 electrical improvements; 2006 garment racks; 2004 interior office improvements; 2005 motorized gate; 2005 plumbing improvements; 2004 restroom improvements; 2005 metal canopy installed 16x36; 1957 ceramic tile warehouse; 1987 cold storage installed; 1987 roof repair; 1988 electrical improvements; 1988 floor drains; 1987 HVAC improvements

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: J.E. Macke b. Builder: M Lupher

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6460 Corvette Street, originally the Jim Western Manufacturing Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

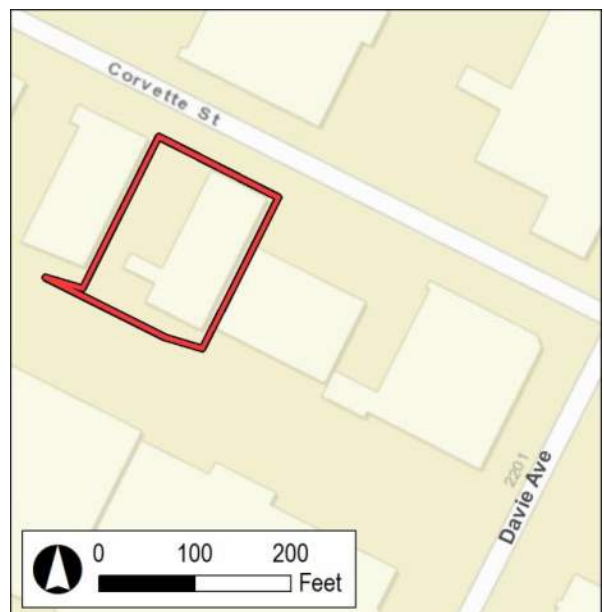
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6460 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6460 Corvette Street was constructed in 1957 and is a one-story Modern-style industrial building with a rectangular plan (**Photograph 1**). It occupies the entire lot and has a north-facing orientation. Pedestrian access is located on the north elevation façade, and warehouse and delivery access are on the west elevation.

The building has a bowstring roof with a slight parapet and is covered with composite material and features evenly spaced skylights. The walls are constructed of concrete tilt-up panels with decorative rectangle patterns incised in the concrete. The building sits on a concrete slab foundation. The façade includes a single, narrow, metal-framed fixed window and an offset, recessed entrance with a river rock accent wall. The primary entrance is a wood frame and glass single-entry door set within a metal-frame and glass storefront assembly. The entrance is enclosed by metal security grills. The west elevation features metal-frame, fixed windows and a carport with a metal roof. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

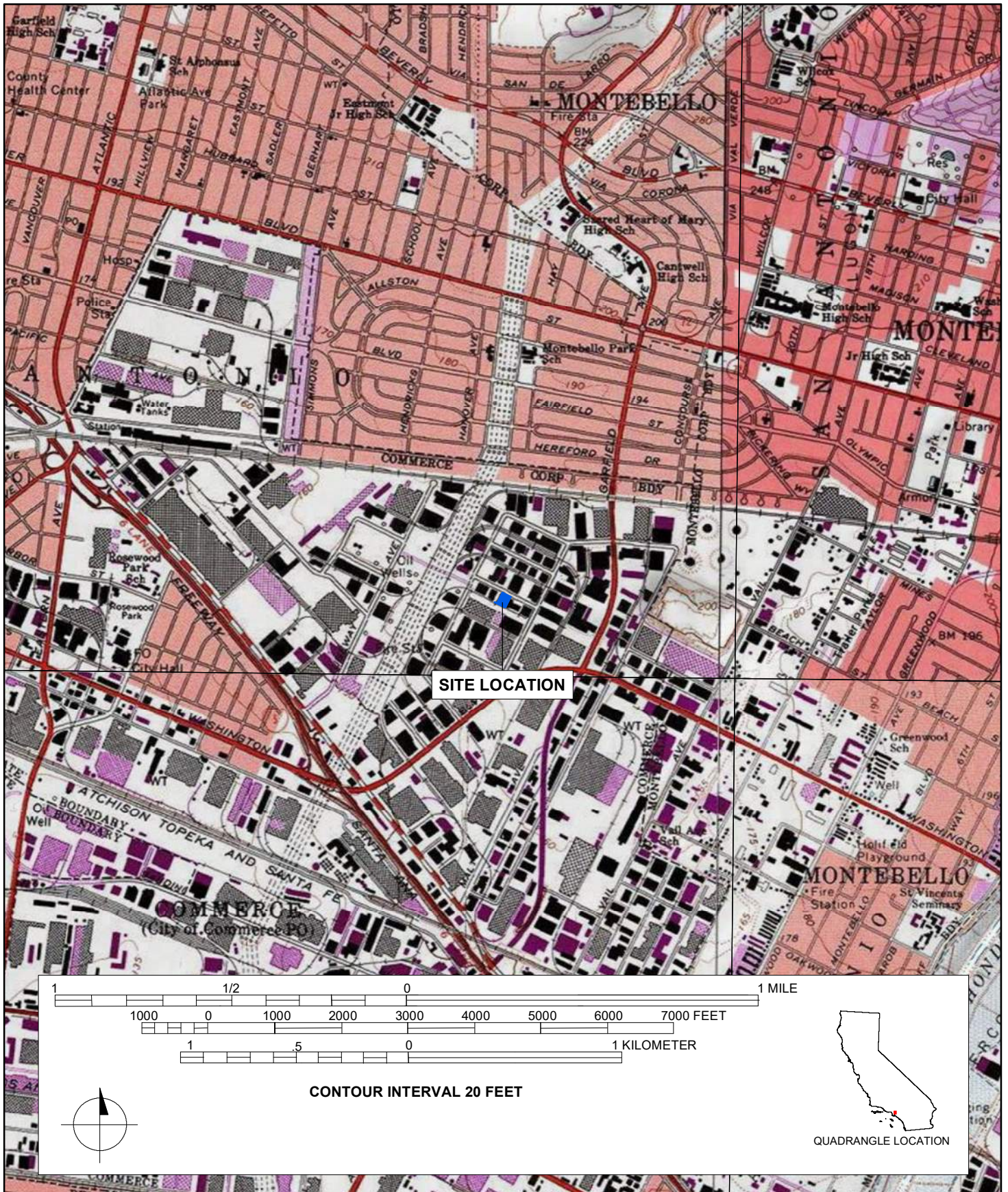
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative detail, and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Page 4 of 4 \* Resource Name or # (Assigned by recorder) 6460 Corvette St

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 6

\*Resource Name or #: (Assigned by recorder) 6415, 6435 Corvette Street

P1. Other Identifier: 6415, 6435 Corvette Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6415, 6435, 6440 Corvette Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763108mE/394996mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-022, 6336-012-021

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing NW, 12/18/2019.

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 6

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6415, 6435 Corvette Street

B1. Historic Name: Glenmart Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1955(Los Angeles County Assessor). Between 2015 and 2019 the building's louvered vents covering the ribbon windows along the façade were removed (Google Streetview 2019).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6415, 6435 Corvette Street, originally the Glenmart Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 6

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6415, 6435 Corvette Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6415, 6435 Corvette Street was constructed in 1955 and is a Modern-style industrial building (**Photographs 1-4**). It occupies the entire lot and has a south-facing orientation. It is a monumental one-story warehouse with two attached one-story offices that create a roughly U-shaped plan. The office storefront is located at the south elevation (façade) with warehouse and delivery access along the west and east elevations. Although originally constructed in 1955, assessor data indicates a building addition was constructed in 1956. In addition, the building's louvered vents covering the ribbon windows along the façade were removed between 2015 and 2019 (Google Streetview 2019).

The offices have flat roofs covered with composite material and the warehouse has a front gable roof covered with corrugated metal and evenly spaced skylights. The walls of the offices are concrete and brick construction and the walls of the warehouse are corrugated metal. The entire complex sits on a concrete slab foundation. The eastern office building features fixed, metal-frame, ribbon windows with a wide brick sill that wrap around the building and an inset aluminum-framed storefront with a single-entry door, a transom, and sidelights with a stone accent wall, a cantilevered awning, and a brick planter. The western office building has a central stone accent wall, cantilevered awnings, and full-length anodized aluminum storefront windows. The warehouse has metal roll-up garage doors and steel single-entry doors. The resource retains most aspects of its integrity; however, the removal of the louvered vents from the façade's ribbon windows has diminished its aspect of design.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 2. View of S elevation/façade, camera facing NW, 12/18/2019.



Photograph 3. View of S elevation/façade, camera facing N, 12/18/2019.

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 4. View of SW elevation/façade, camera facing NE, 12/18/2019.

**LOCATION MAP**

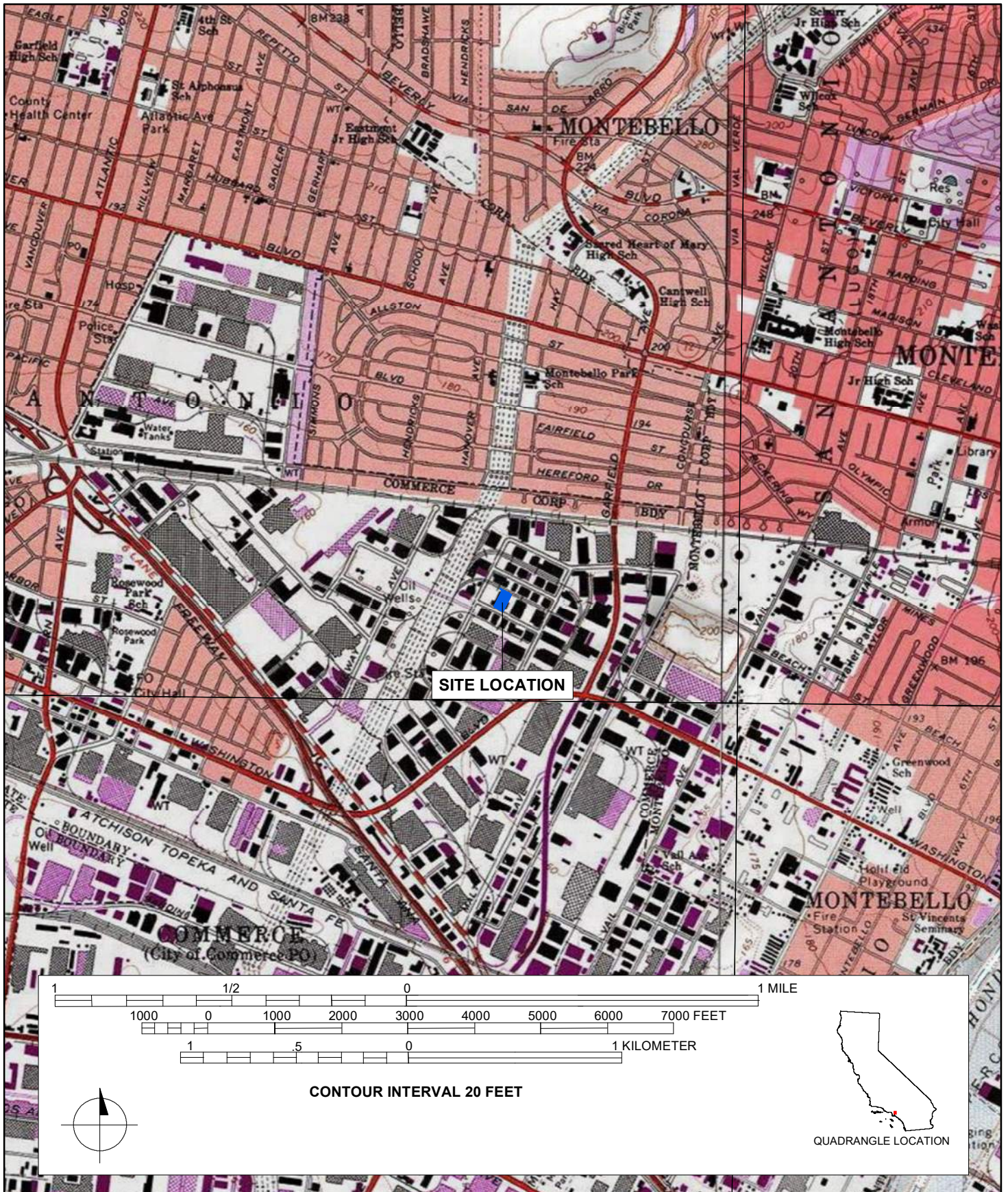
Page 6 of 6

\* Resource Name or # (Assigned by recorder) 6435 Corvette St

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle

\* Scale: 1:24,000

\* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6625 East Washington Boulevard

P1. Other Identifier: 6625 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6625 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762854mE/395146mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-012

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/façade, camera facing north, 12/18/2019, IMG 9156

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1953 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Hoffman Hardware Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1953(Los Angeles County Assessor); N/A

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6625 E Washington Boulevard, originally the Hoffman Hardware Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

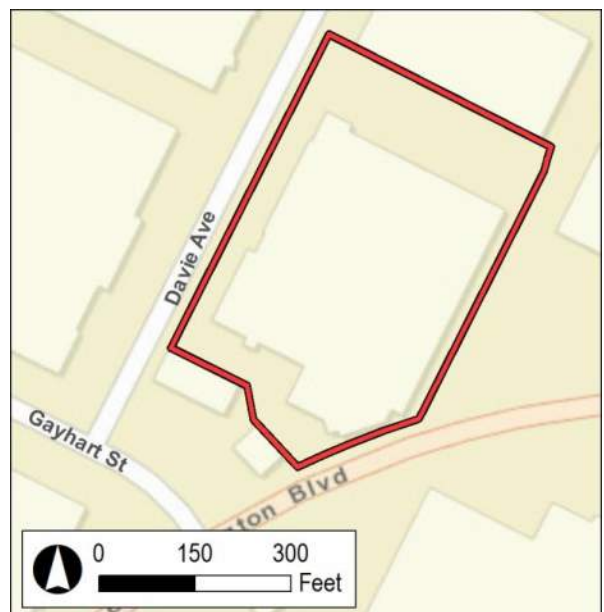
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6625 East Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6623-6625 E Washington Boulevard was constructed in 1953 and is a monumental one-story Modern-style industrial warehouse with an irregular plan (**Photographs 1-2**). It occupies the entire lot and has a south-facing orientation. The office storefront is located at the south elevation (façade) with warehouse and delivery access along the west elevation.

The building has a flat roof with parapets and is covered with composite material. The walls are constructed with concrete tilt-up panels with decorative stack bond brick accents walls and landscape planters. The façade is punctuated by an aluminum-frame and glass storefront, ribbon windows covered with louvered vents, a projecting blade wall, and a brick accent wall. The primary entrance is along the south elevation and is covered by a flat roof porch. The entrance is a non-historic, double-leaf glass door. The east elevation faces the railroad tracks and includes three loading docks with roll-up doors and a single-entry flush metal door. The west elevation faces Davie Avenue and includes multiple loading docks and single-entry doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Los Angeles Public Library (LAPL). 1957. Image, Sylvania Electric Products, Inc., Gayhart Street and Davie Avenue, looking north. Kelly-Holiday Mid-Century Aerial Collection, <https://tessa.lapl.org/cdm/ref/collection/photos/id/6666>. Accessed January 29, 2020.



Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6625 East Washington Boulevard

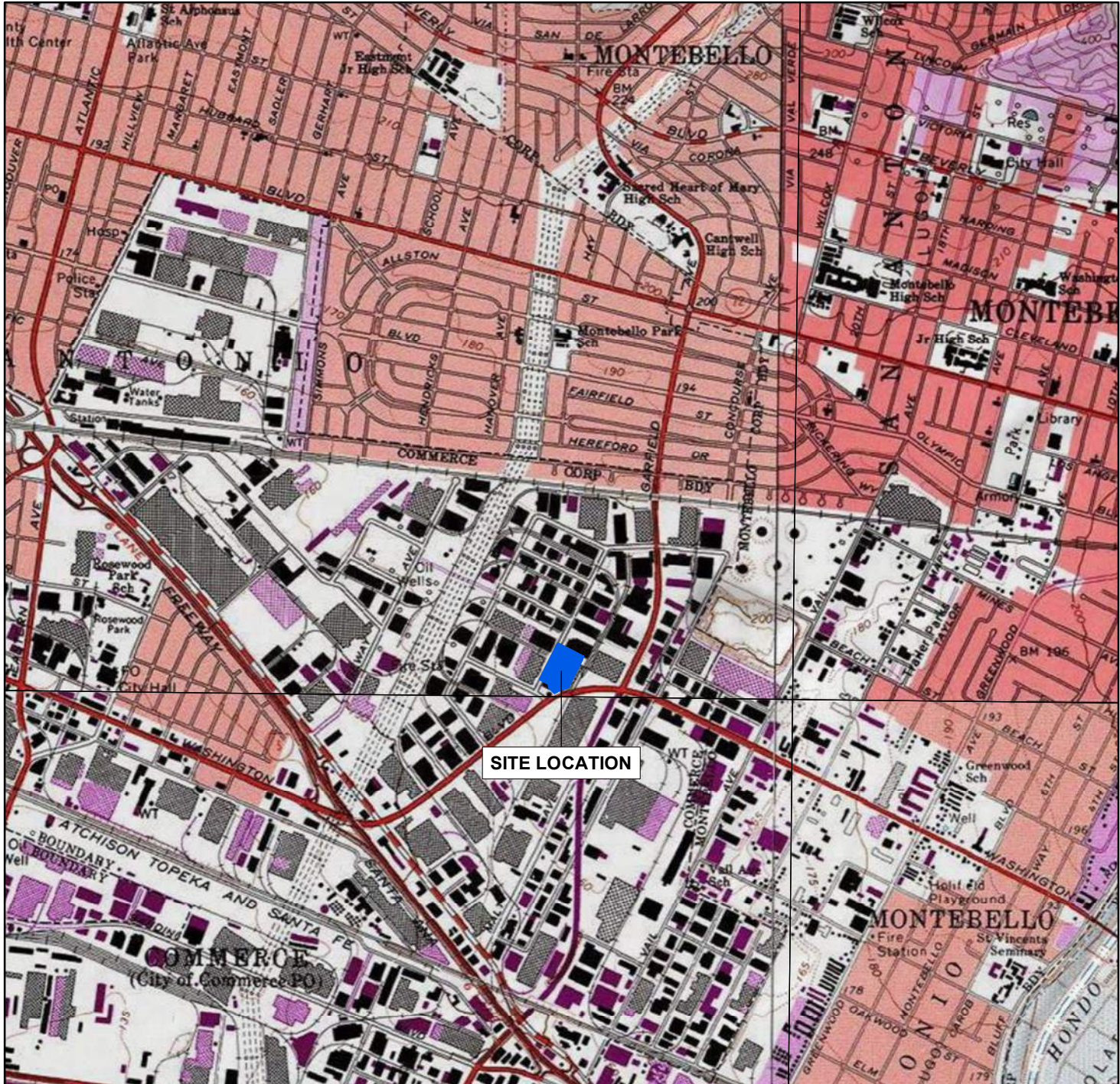
Continuation  Update



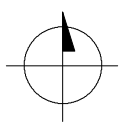
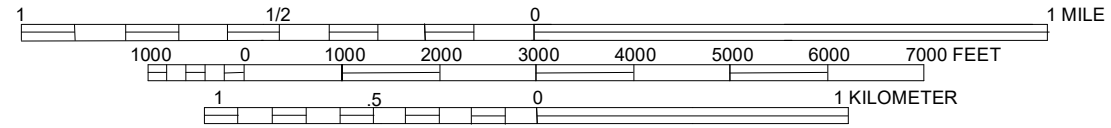
Photograph 2. Hoffman Hardware Company building, view to north, 1957 (LAPL 1957).

Page 5 of 5 \* Resource Name or # (Assigned by recorder) 6625 E Washington Blvd

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981



**SITE LOCATION**



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6565 East Washington Boulevard

P1. Other Identifier: 6565 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles/South Gate T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6565 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762726mE/394963mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing north, 12/18/2019, IMG 9237

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 6565 East Washington Boulevard

B1. Historic Name: Admiral Distributors, Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor). Alterations: window replacements.

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6565 E Washington Boulevard, originally Admiral Distributors, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

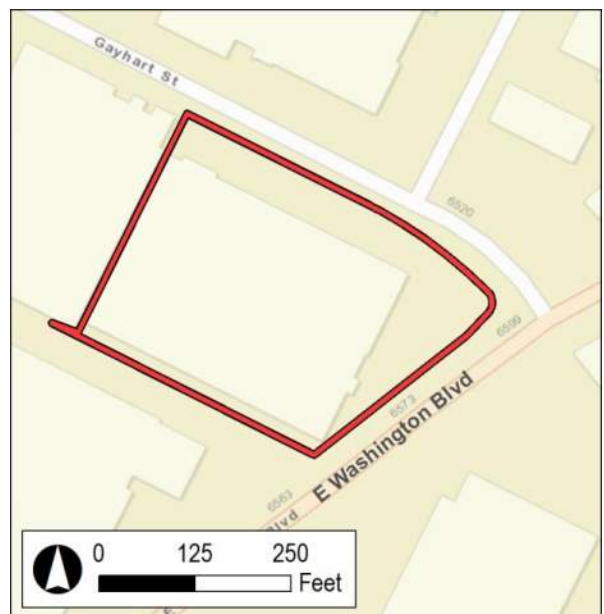
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6565 E Washington Bly

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6565 E Washington Boulevard, Diamond Sofa, was constructed in 1954 and is a monumental one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the entire lot and has a southeast-facing orientation. The office storefront is located at the southeast elevation (façade) with warehouse and delivery access along the north elevation.

The building has a flat roof covered with a slight parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels with square tile patterns. The building has anodized metal-framed storefront windows with a double-leaf glass door and fixed windows metal-framed along the façade. The primary entrance is covered by a flat roof and framed by a large projecting blade sign. A double-entry flush metal door is located on the south end of the façade. There is a paved parking lot in front of the building. The south elevation features five bays containing four roll-up doors and a single-entry metal flush door accessed by concrete stairs. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 6565 E Washington Boulevard was originally the Admiral Distributors, Inc. Tv and appliance center. The company was initially founded in 1934 in Chicago as the Continental Radio and Television Corporation as a maker of consumer electronics, radios and phonographs; the company later became the Admiral Distributors, Inc. The Admiral Distributors location at the CMD included offices, parts and service departments, warehousing, and a display room (Los Angeles Times 1954).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Los Angeles Times. 1954. "Firm in New Headquarters." March 7, 1954.

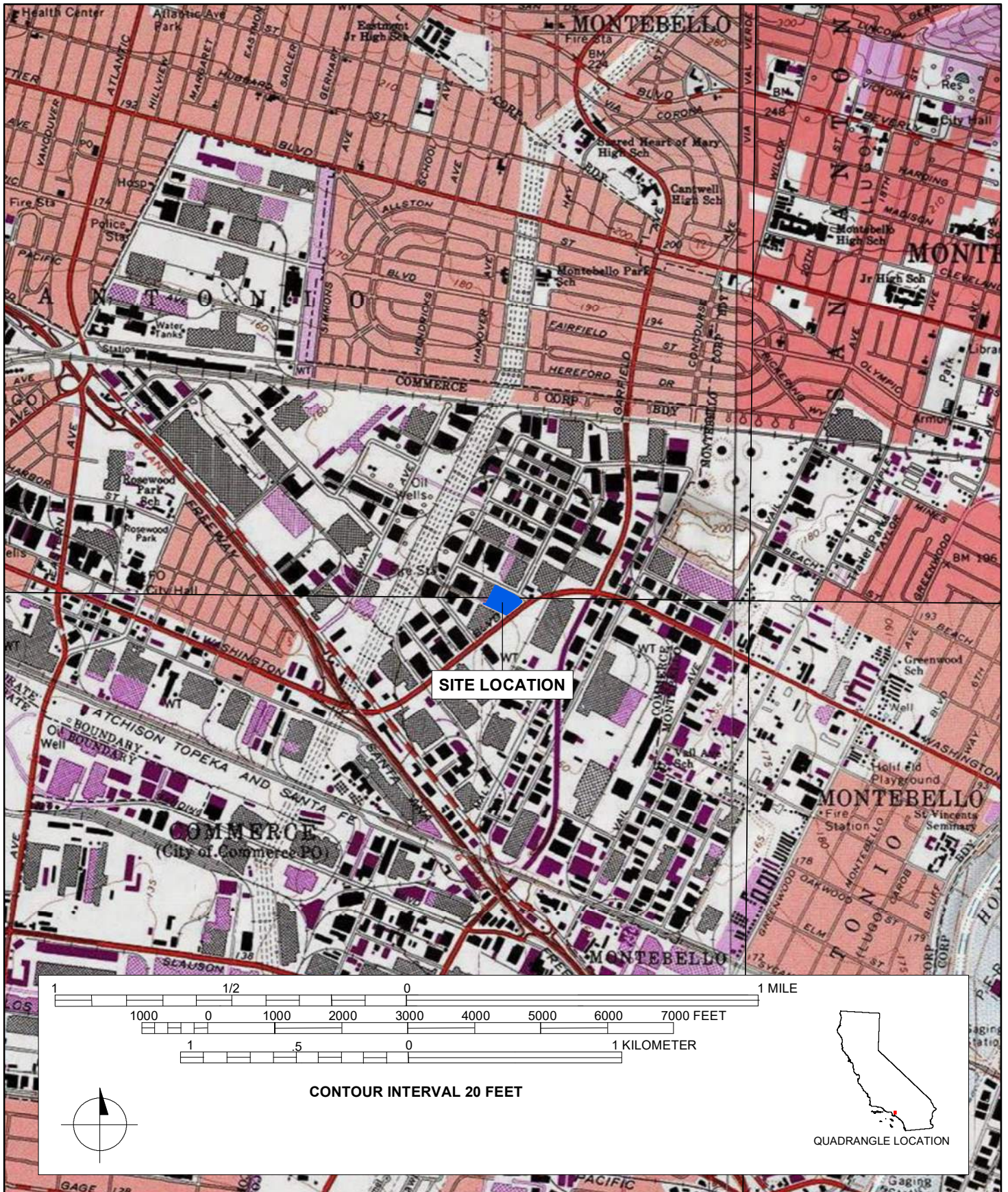
Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 4 of 4

\* Resource Name or # (Assigned by recorder) 6565 E Washington Blvd

\* Map Name: Los Angeles & South Gate, Calif. 7.5' Quadrangles \* Scale: 1:24,000 \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6541 East Washington Boulevard

P1. Other Identifier: 6541 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; ¼ of ¼ of Sec; M.D.B.M.

c. Address 6541 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762637mE/394856mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-011-016

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/18/2019, DSCN0282

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 6541 East Washington Boulevard

B1. Historic Name: Ingram Paper Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); N/A

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: AC Martin & Associates b. Builder: William Simpson Co.

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.) The property at 6541 E Washington Boulevard, originally the Ingram Paper Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

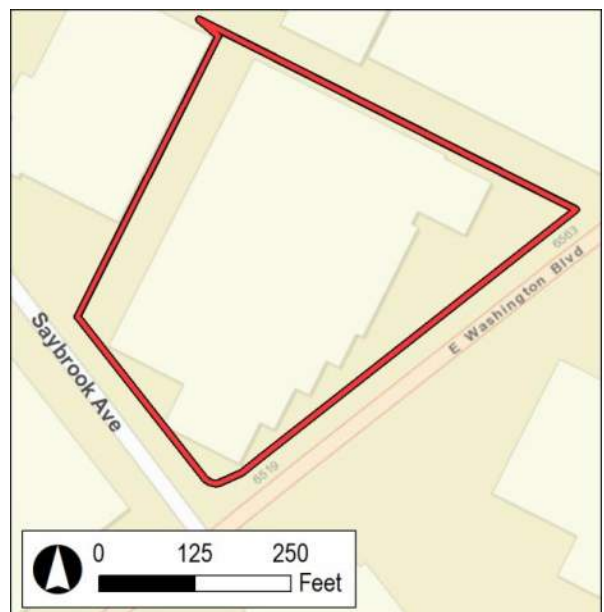
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6541 East Washington Boulevard  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6541 E Washington Boulevard, Portofino International Trading Company, was constructed in 1954 and is a monumental one-story Modern-style industrial warehouse with an irregular plan and a concrete slab foundation (**Photographs 1-2**). It occupies the entire lot and has a southwest-facing orientation. The office storefront is located at the southwest elevation (façade) with warehouse and delivery access along the southwest and northwest elevations.

The building has a flat roof with a slight parapet and is covered with composite material with a slight parapet. The walls are constructed of concrete tilt-up panels. The primary entrance is along the southwest elevation and is covered by a flat roof porch. The doors are flush, metal single-entry doors. The building has several loading docks with metal roll-up garage doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

The property at 6541 E Washington Boulevard was originally the Ingram Paper Company. The Los Angeles based firm, founded in 1923 by J. C. Ingram, specialized in fine and coarse papers, paper bags, and cordage materials. The Ingram Paper Company facility at the CMD was innovative in that the building had continuous conveyors linking main offices to shipping departments, demountable walls that allowed for the building's expansion, and hydraulic powered loading docks to expedite railcar shipping (Los Angeles Times 1953).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Los Angeles Times. 1953. "Paper Company to Double Its Plant Facilities here." August 23, 1953.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

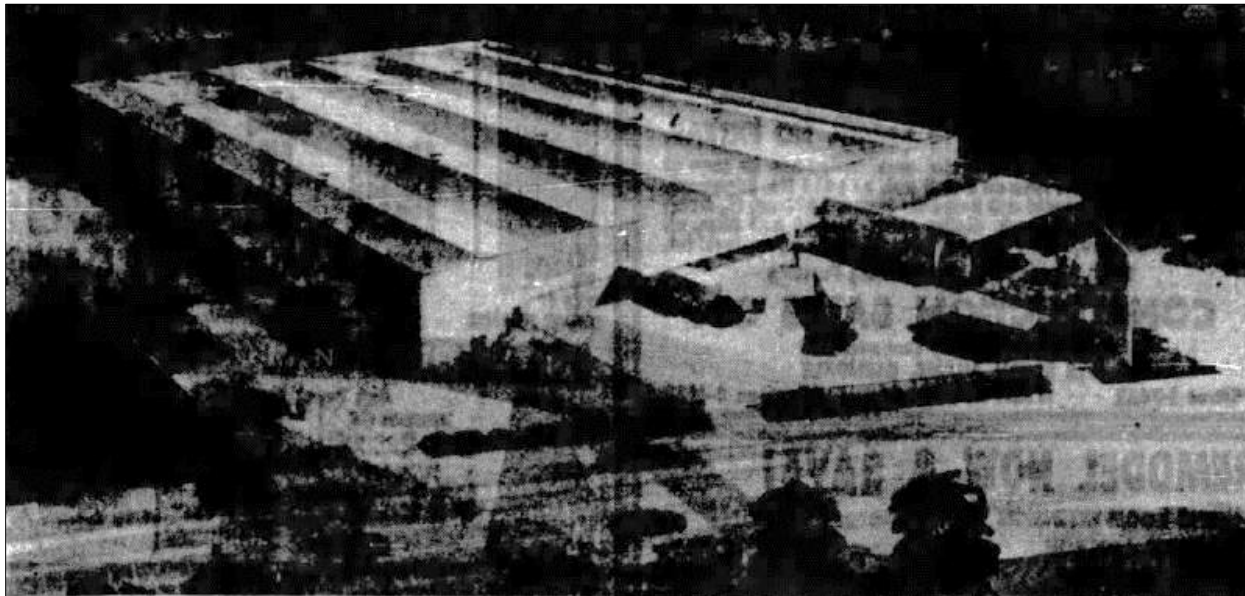
NRHP Status Code 3D;3CD

Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6541 East Washington Boulevard

Continuation  Update

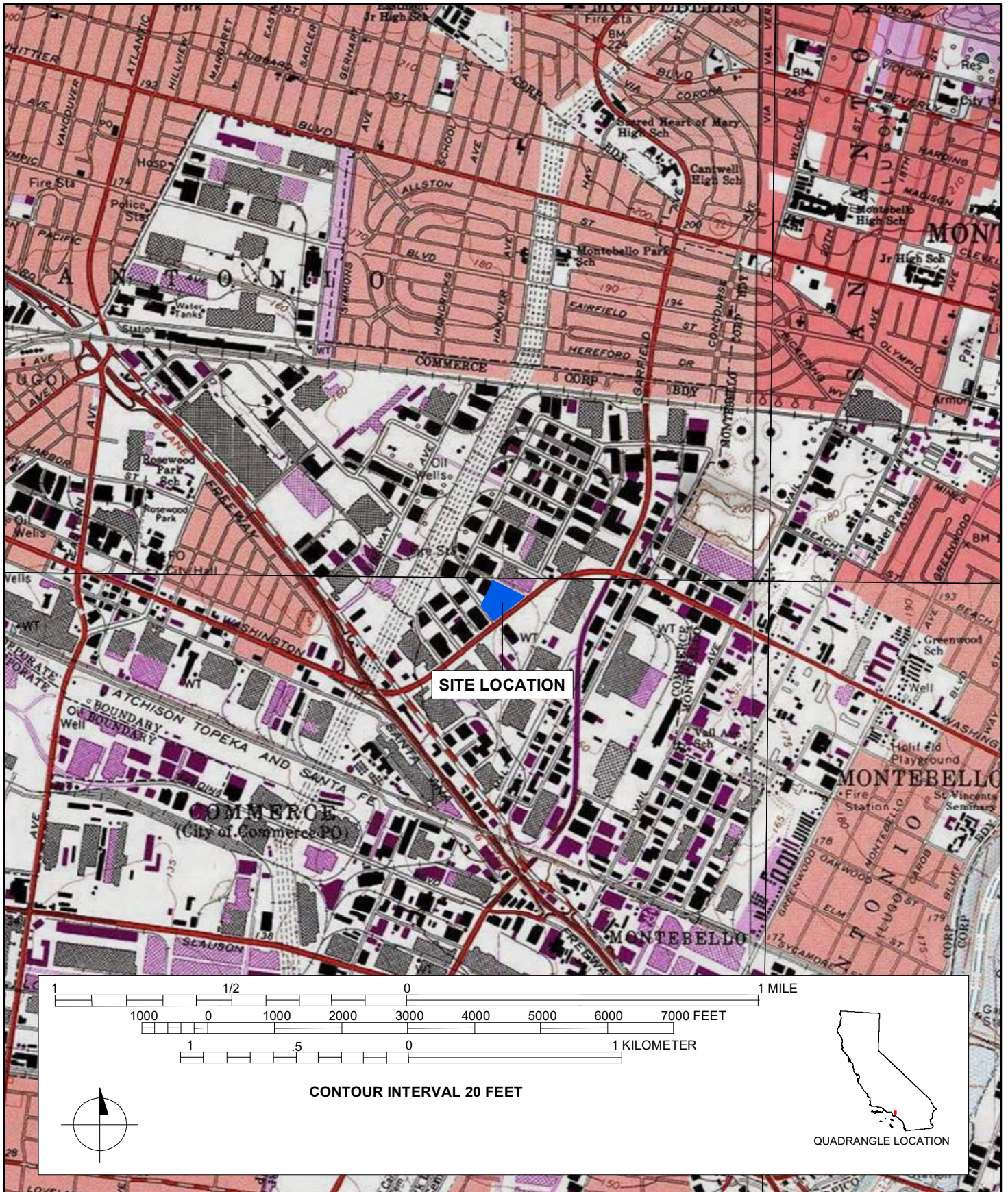


**Photograph 2.** Rendering of the Ingram Paper Company, 1953 (Los Angeles Times 1953).

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 5 of 5 \* Resource Name or # (Assigned by recorder) 6541 E Washington Blvd

\* Map Name: South Gate, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6586 East Washington Boulevard

P1. Other Identifier: 6586 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate/Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6586 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762692mE/395108mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-009-012

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and NE elevation/facade, camera facing south, 12/18/2019, DSCN0224

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6586 East Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: X-Spot Adult Books
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Modern-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1956 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Commerce  
Period of Significance 1950s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6586 E Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. The resource is a non-contributing resource within the Vail Field Industrial Addition potential historic district. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6586 E Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

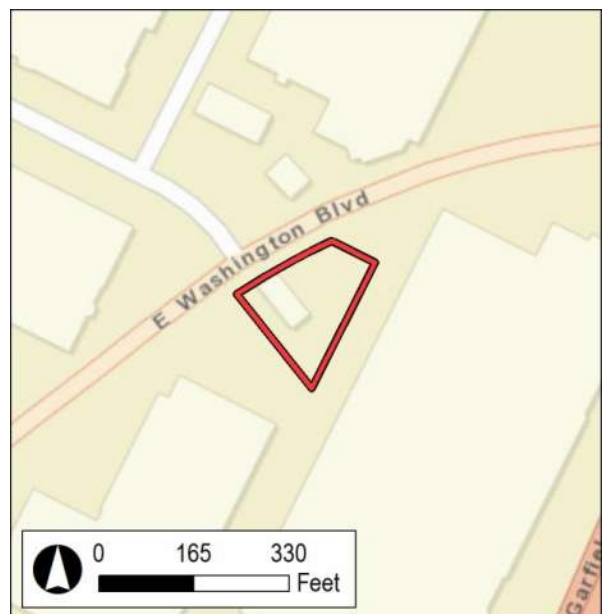
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6586 East Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6586 E Washington Boulevard was constructed in 1956 and is a Modern-style commercial building (**Photographs 1-2**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, frame and brick building with a rectangular plan.

The building has a flat roof with parapet. The walls are covered with brick veneer and tile. There is a pole-mounted sign along the roof. The east elevation has a flat, cantilevered awning that frames a five light, ribbon window and a glazed, single-entry door. The north elevation has two, metal roll-up garage doors. The west elevation has no windows or doors. The building has a concrete foundation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

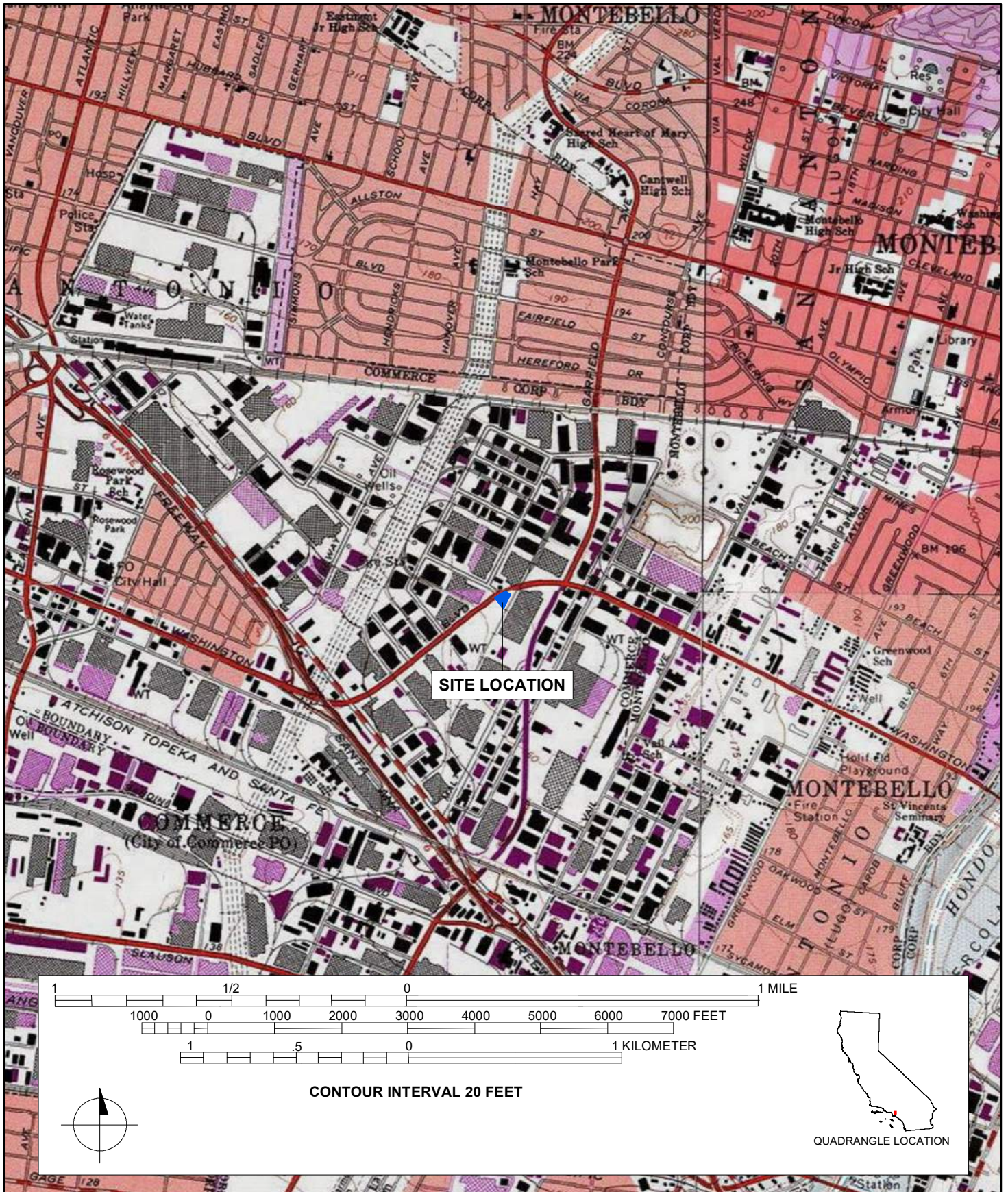
In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.



**Photograph 2.** View of N elevation, camera facing south, 12/18/2019, DSCN0225



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**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

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\*Resource Name or #: (Assigned by recorder) 2054 Davie Avenue

P1. Other Identifier: 2054 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 2054 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763156mE/395295mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-008

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and NE elevation/facade, camera facing south, 12/18/2019, DSCN0254

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Ward Cut-Rate Drug Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1954 (Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2054 Davie Avenue, originally the Ward Cut-Rate Drug Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2054 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2054 Davie Avenue was constructed in 1954 and is a Modern-style industrial building (**Photograph 1**). It occupies the center of the lot and has a west-facing orientation. It is a monumental one-story warehouse with an attached one-story office with a rectangular plan. The office storefront is located on the west elevation (façade) with warehouse and delivery access on the north elevation.

The building has a flat roof with parapets and is covered with composite material. The walls are constructed of concrete tilt-up panels with decorative stack bond brick accent walls. The entire complex sits on a concrete slab foundation. The façade is punctuated by a ribbon of windows covered with louvered vents and a brick accent wall. The primary entrance is on the north elevation and is covered by a flat roof porch supported by metal posts anchored in a brick wall. The entrance is a single-entry metal-frame and glass storefront door. The windows along the north elevation of the office portion of the building are nine-light industrial casement windows. The warehouse portion of the north elevation includes eight loading docks with paneled wood accordion doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

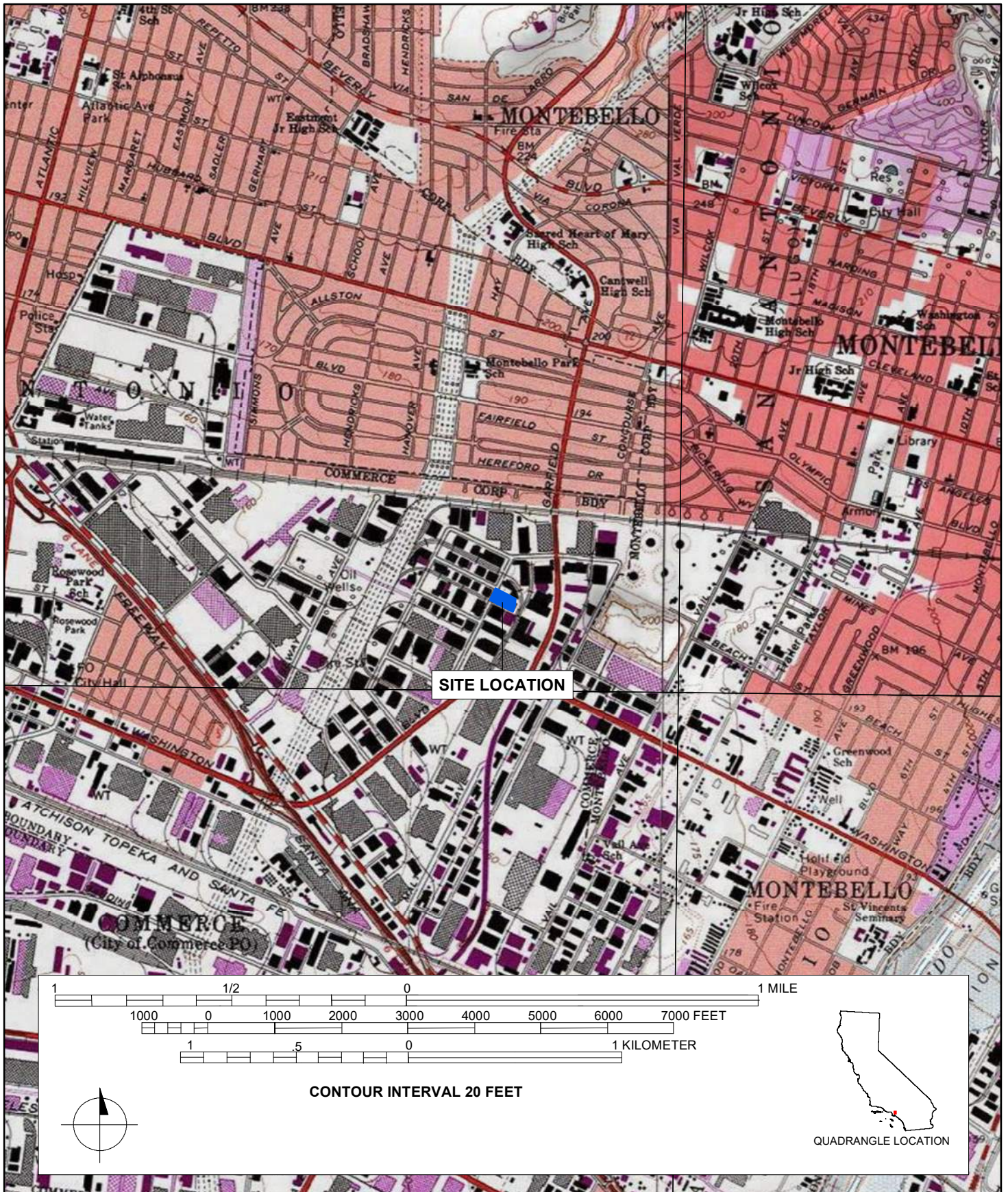
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2110 Davie Avenue

P1. Other Identifier: 2110 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 2110 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763087mE/395265mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing southeast, 12/18/2019, IMG\_9196

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: AMVAC Chemical Corporation

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1954 (Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2110 Davie Avenue, the AMVAC Chemical Corporation, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

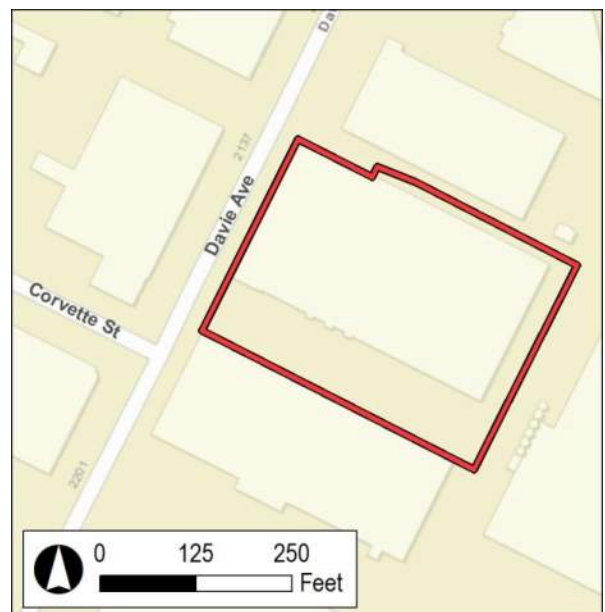
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2110 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2110 Davie Avenue was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan (**Photograph 1**). It occupies the entire lot and has a west-facing orientation. Offices located in the west elevation and warehouse and delivery access are within southern elevation. Brick planters with trees and hedges frame the façade.

The building has a flat roof with a slight parapet and is covered with composite material. The walls are constructed of concrete tilt-up panels with decorative stack bond brick accents. The entire complex sits on a concrete slab foundation. The façade is punctuated by six fixed, metal-framed windows arranged in a ribbon and framed by brick and concrete banding. The primary entrance is a metal-frame and glass double-leaf storefront door with a transom. The entrance is shaded by a flat roof porch supported brick piers and accessed by concrete steps and a concrete ramp. The ribbon window arrangement from the façade wraps around to the south elevation and includes four windows. The south elevation has multiple loading docks covered by cantilevered awnings. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

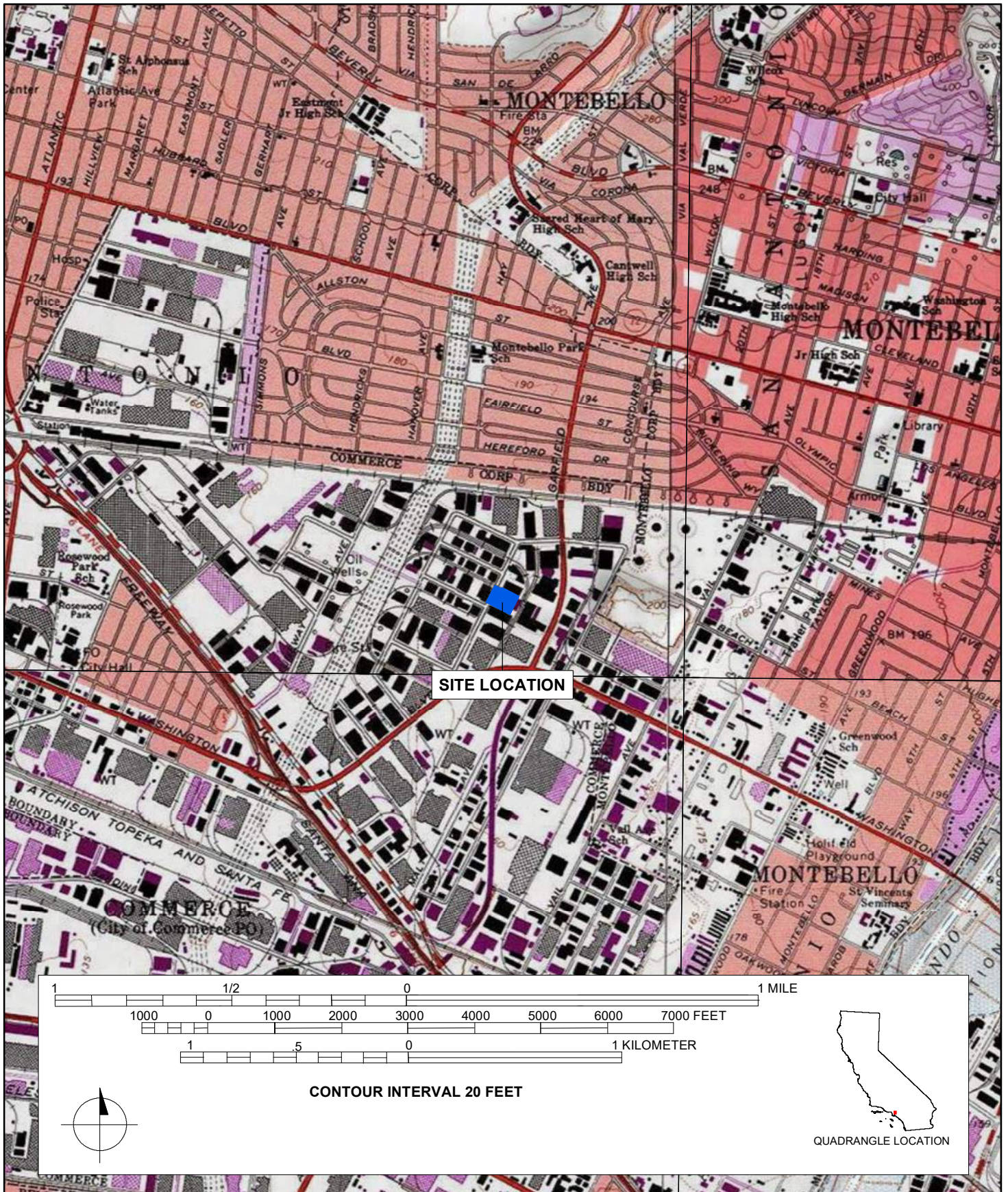
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2040 Davie Avenue

P1. Other Identifier: 2040 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 2040 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763213mE/395311mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/18/2019, DSCN0251

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_



**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Tiffany Stand and Furniture warehouse

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1955 (Los Angeles County Assessor)

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2040 Davie Avenue, originally the Tiffany Stand and Furniture warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2040 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2040 Davie Avenue was constructed in 1955 and is a monumental one-story Modern-style industrial building with a modified L-shaped plan (**Photographs 1-2**). It occupies the center of the lot and has a west-facing orientation. The office storefront and attached warehouse are both located on the south elevation façade.

The building has a flat roof with a slight parapet and evenly spaced skylights and is covered with composite material. The walls are constructed of concrete tilt-up panels, and the entire complex sits on a concrete slab foundation. The office section has a lower roof profile than the adjacent warehouse. The office entrance is an aluminum and glass double-leaf storefront door with sidelights and a transom and is flanked on the east a ribbon of five aluminum-framed windows with transoms. The entrance is accessed concrete steps and a concrete ramp. The warehouse portion of the west elevation includes three loading dock bays with metal roll-up garage doors and steel-framed clerestory windows. The exterior wall of the west elevation of the office section is covered with concrete scored with squares and exposed aggregate and is pierced by one bay containing a ribbon of metal-framed fixed windows. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

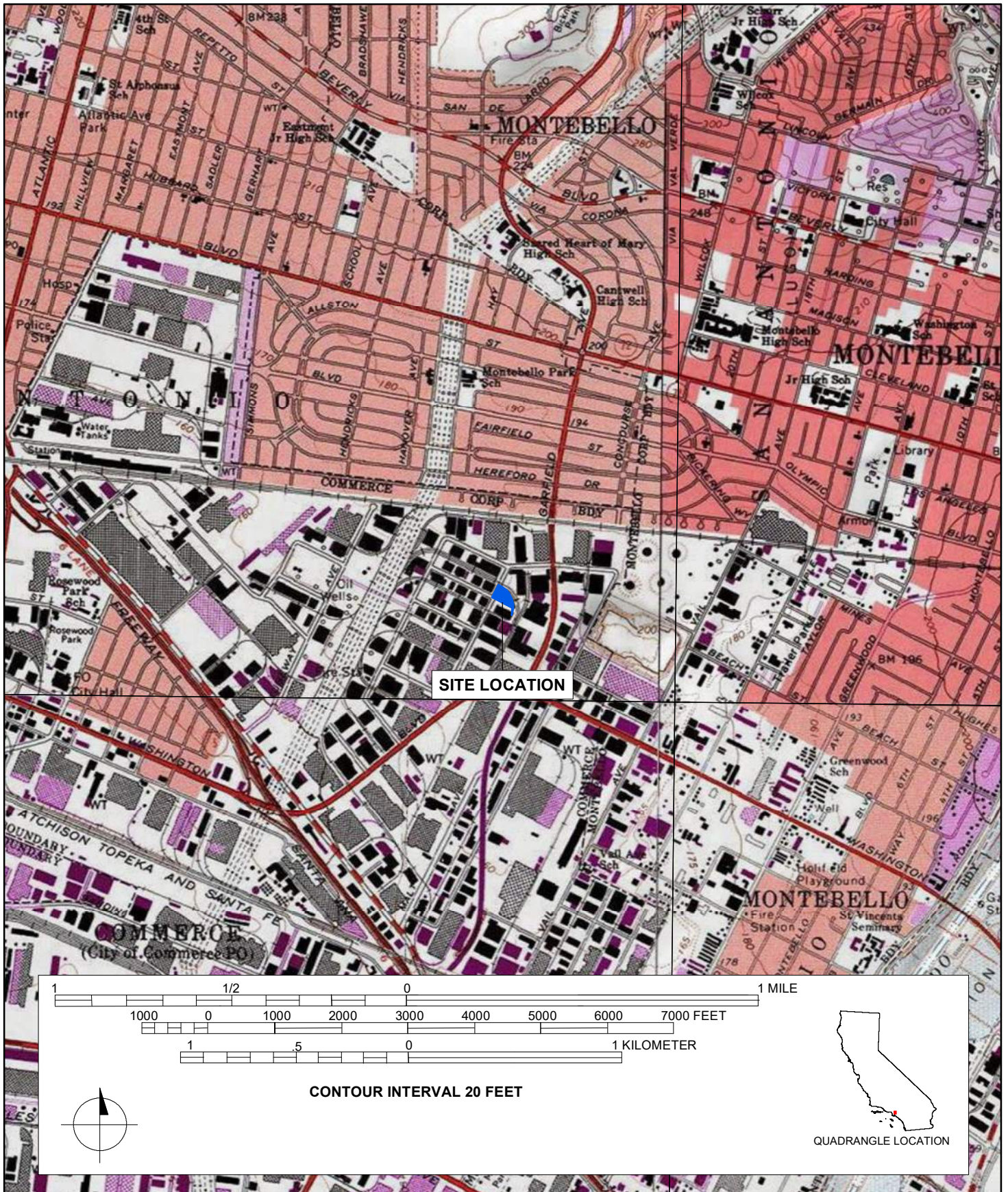
Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2040 Davie Avenue  
 Continuation  Update



Photograph 2. View of north elevation of office portion of building, camera facing south, 12/18/2019, DSCN0253



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2210 Davie Avenue

P1. Other Identifier: 2210 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 2210 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3762955mE/395197mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN):

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and NE elevation/facade, camera facing S, 12/18/2019, DSCN0270

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Tiffany Stand and Furniture

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1955(Los Angeles County Assessor).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2210 Davie Avenue is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2210 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2210 Davie Avenue was constructed in 1955 and is a Modern-style industrial building (**Photographs 1-2**). It occupies the center of the lot and has a west-facing orientation. It is a monumental one-story warehouse with a modified L-shaped plan. The office storefront and warehouse are both located along the west elevation façade.

The building has a flat roof covered with composite material with a slight parapet and evenly spaced skylights. The walls are concrete tilt-up panels. The entire complex sits on a concrete slab foundation. The façade is punctuated by concrete banding that frames five windows. The primary entrance is along the west elevation and is covered by an arched vinyl awning and accessed by concrete steps and a concrete ramp. The entrance is a metal-frame and glass storefront, double-leaf door. The windows are metal-frame fixed windows, one window has a vinyl awning. The warehouse portion of the west elevation is set back and includes two loading dock bays with metal roll-up garage doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D;3CD

Page 4 of 5

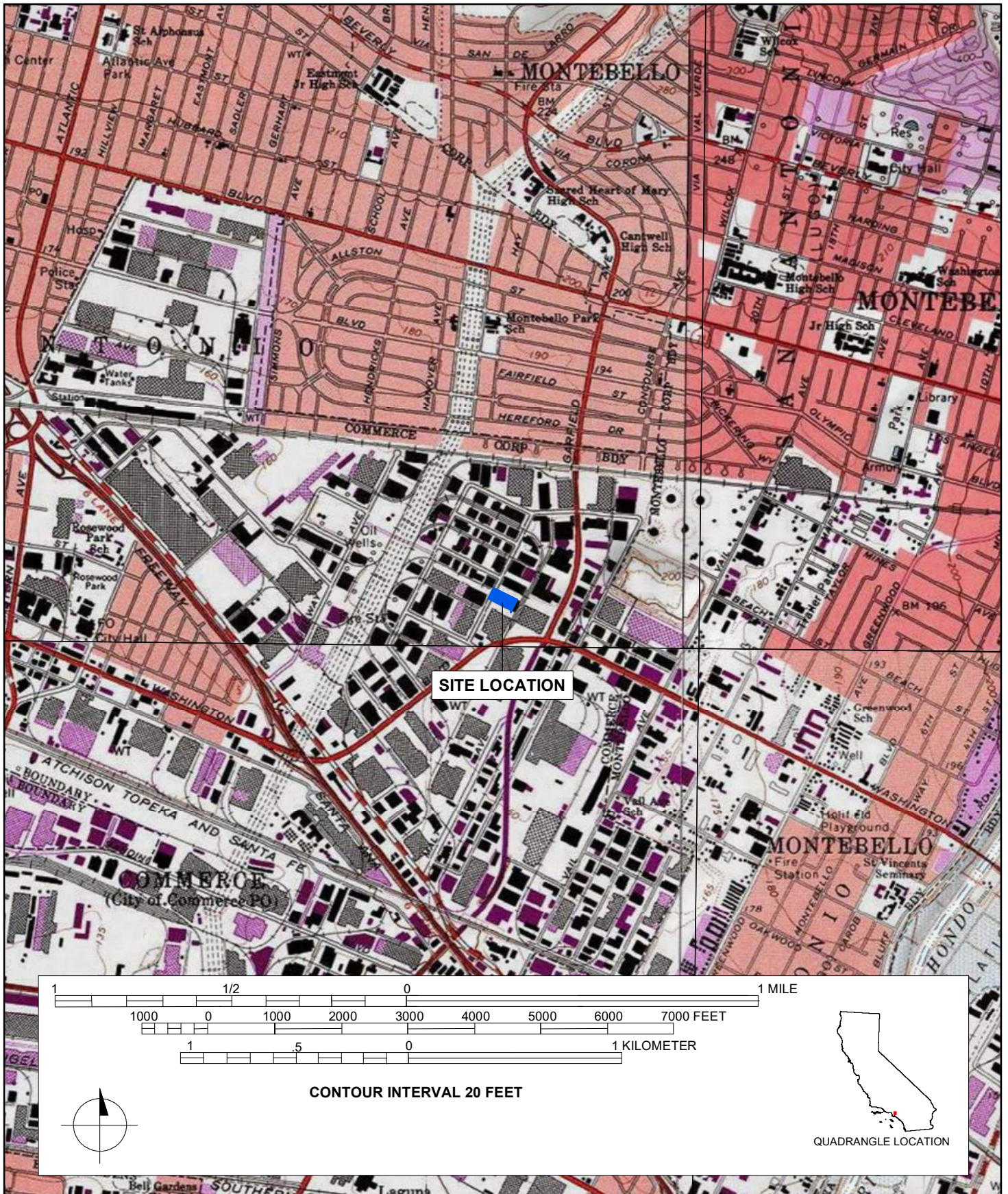
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2210 Davie Avenue  
 Continuation  Update



Photograph 2. View of east and south elevations, camera facing west, 12/18/2019, DSCN0272





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2211 Davie Avenue

P1. Other Identifier: 2211 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2211 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3762984mE/395061mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-037

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation, camera facing west, 12/18/2019, IMG\_9219

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Kelvinator Appliances

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor) Building Permits: 1971 air conditioner installed; 1960 loading dock installed; plumbing and fixtures 1957; interior office partition 1957; 1997 roof replacement; seismic retrofit 2002; and 2011 plumbing improvements.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2211 Davie Avenue, originally the Kelvinator Appliances warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2211 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2211 Davie Avenue was constructed in 1956 and is a one-story Modern-style industrial warehouse building with a rectangular plan (**Photographs 1-2**). It occupies the south portion of the lot and has an east-facing orientation. The office storefront is located on the east elevation and warehouse and delivery access are located on the north elevation.

The building has a bowstring roof with a slight parapet and is covered with composite material. The walls are frame and concrete with stack bond brick accents. The entire complex sits on a concrete slab foundation. There are two entrances on the façade, both of which are covered by flat roofed porches with metal pole supports and brick wall enclosures. The façade also includes five, paired, three-light casement windows covered by an awning that connects to the porches. The doors are flush metal single-entry doors and metal-frame and glass double-leaf storefront doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

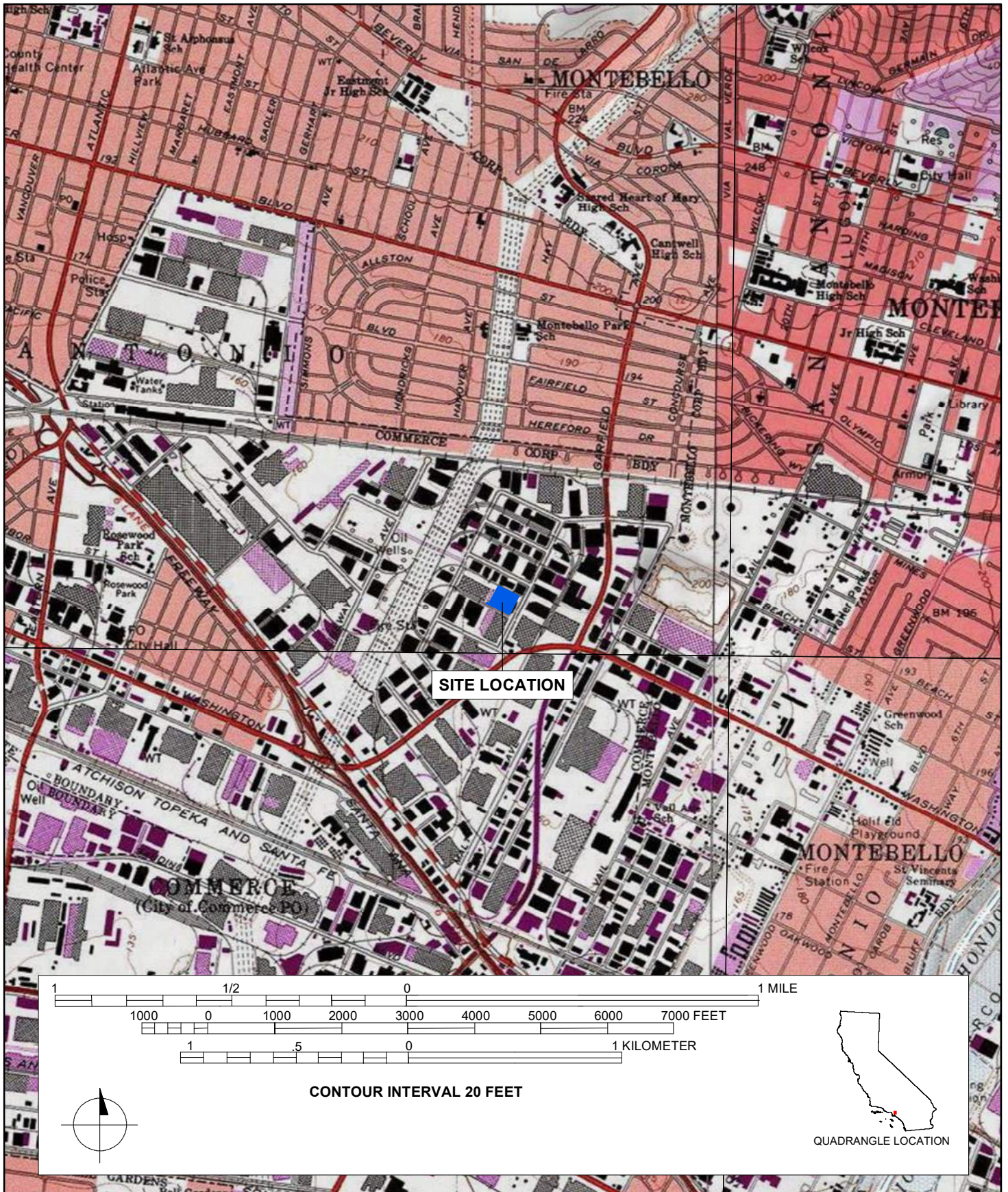
Modern architecture gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** View of west elevation, camera facing east, 12/18/2019, IMG\_9221



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2140 Davie Avenue

P1. Other Identifier: 2140 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 2140 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763014mE/395227mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-010

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing southeast, 12/18/2019, IMG\_9200

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Starbright Stainless Steel, Ryder-Elliot, Inc

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor). Between 2014 and 2015 the louvered vents and ribbon windows along the façade were removed (Google Streetview 2019).

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2140 Davie Avenue, originally the Starbright Stainless Steel, Ryder-Elliot, Inc building, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2140 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2140 Davie Avenue was constructed in 1956 and is a one-story Modern-style industrial building with a rectangular plan (**Photograph 1**). It occupies the entire lot and has a west-facing orientation. Pedestrian access is in the west elevation façade, and warehouse and delivery access are in the south elevation. Between 2014 and 2015 the louvered vents and ribbon windows along the façade were removed (Google Streetview 2019).

The building has a flat roof with a slight parapet and is covered with composite material. The walls are constructed of concrete tilt-up panels, and the building sits on a concrete slab foundation. The façade is punctuated by concrete banding that frames ribbon windows and the entrance. The primary entrance is centrally located along the façade and is a metal-frame and glass storefront covered by metal security grills. The concrete banding and window arrangement from the west elevation wraps around the building to the south elevation. The south elevation has loading docks covered by cantilevered awnings. The resource retains most aspects of its integrity; however, the removal of the façade windows and new storefront assembly have diminished its aspects of design, materials, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

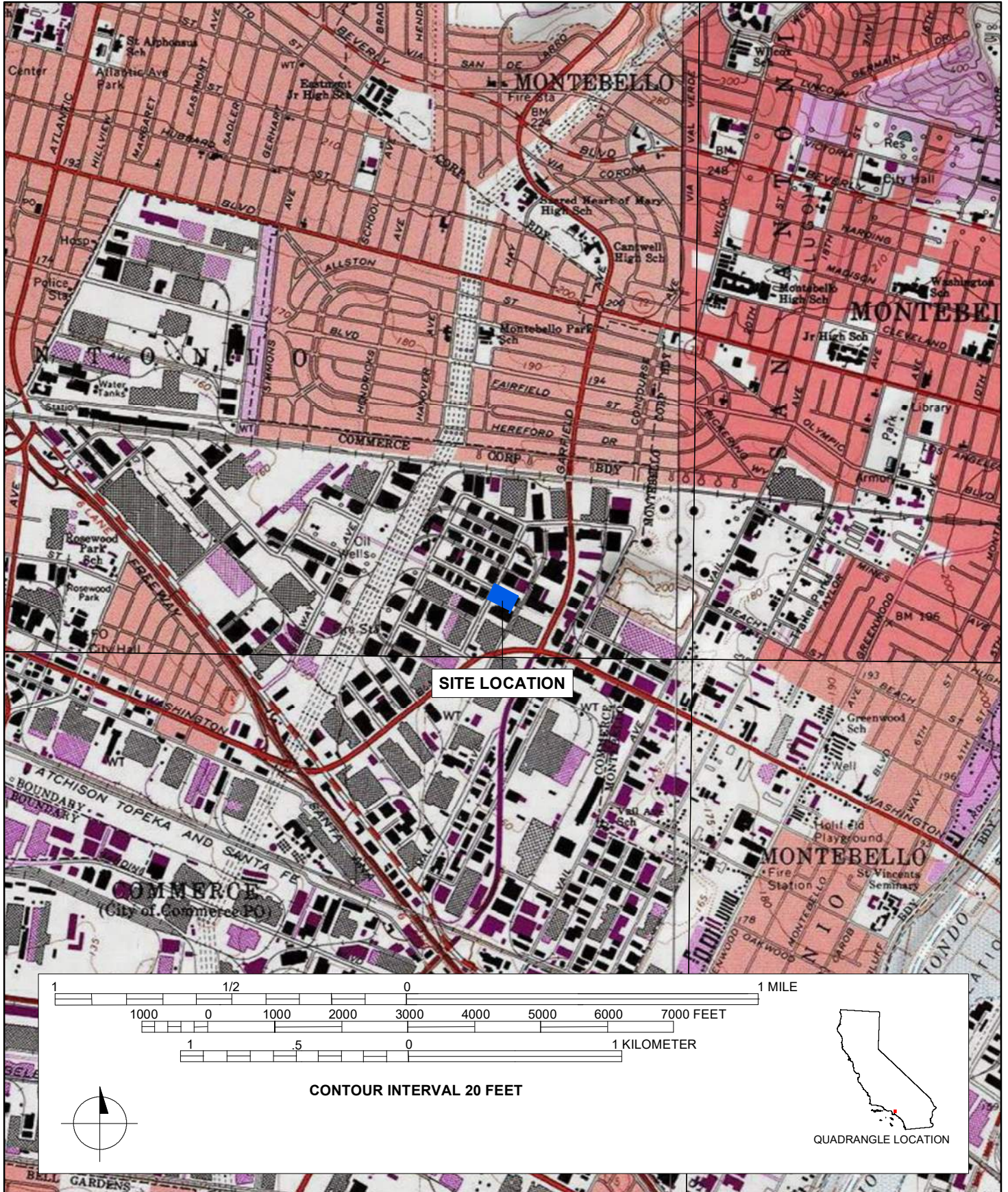
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2041 Davie Avenue

P1. Other Identifier: 2041 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 2041 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3763271mE/395224mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-014-021

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing west, 12/18/2019, IMG 9193

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 3D:3CD

\*Resource Name or # (Assigned by recorder) 2041 Davie Avenue

B1. Historic Name: Lubrication Systems Chainveyor Corporation

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2041 Davie Avenue, originally the Lubrication Systems Chainveyor Corporation warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

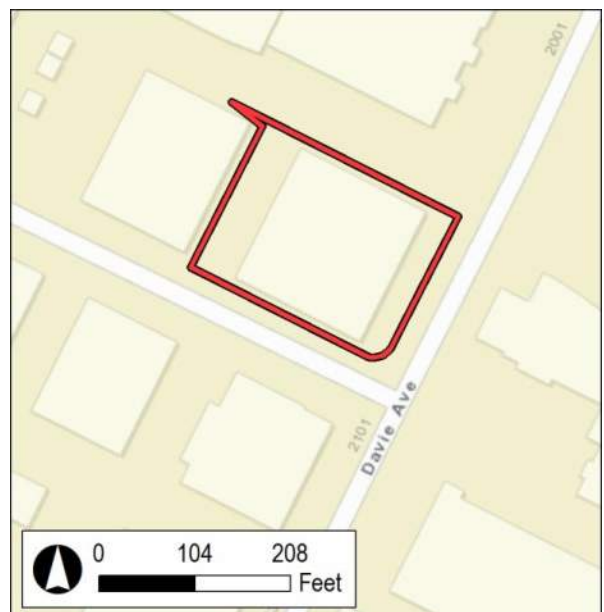
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2041 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2041 Davie Avenue was constructed in 1956 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the entire lot and has an east-facing orientation.

The building has a flat roof with a slight parapet and is covered with composite material. The walls are covered with brick in a running bond. The east elevation façade has stone accent walls and manicured hedges and planters. The primary entrance is offset, recessed, and covered by a flat awning. The entrance is a metal-frame and glass single-entry storefront door with transom and sidelights. There are ribbon windows with wide brick sills on either side of the entrance. The north elevation has two loading docks with metal roll-up garage doors. The south elevation has three metal-framed, double-hung windows and no doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

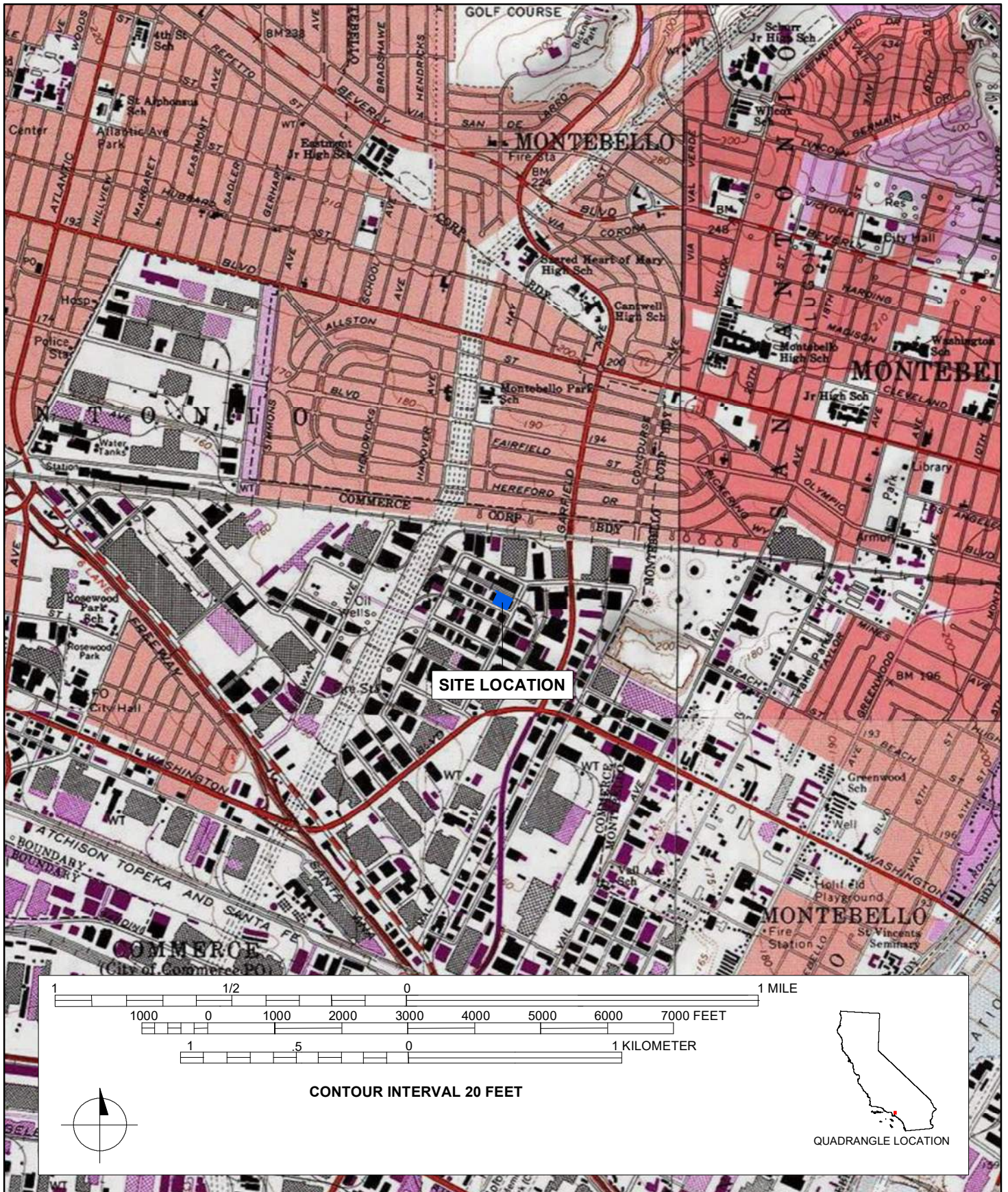
Modern Architecture

Modern architecture gained in popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

**LOCATION MAP**



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2266 Davie Avenue

P1. Other Identifier: 2266 Davie Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 2266 Davie Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3762784mE/395064mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-013-019

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/façade, camera facing S (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1964 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Alden Company

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1964(Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Commerce

Period of Significance 1960s Property Type Industrial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2266 Davie Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. The building is a non-contributing resource within the Vail Field Industrial Addition. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lack architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 2266 Davie Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

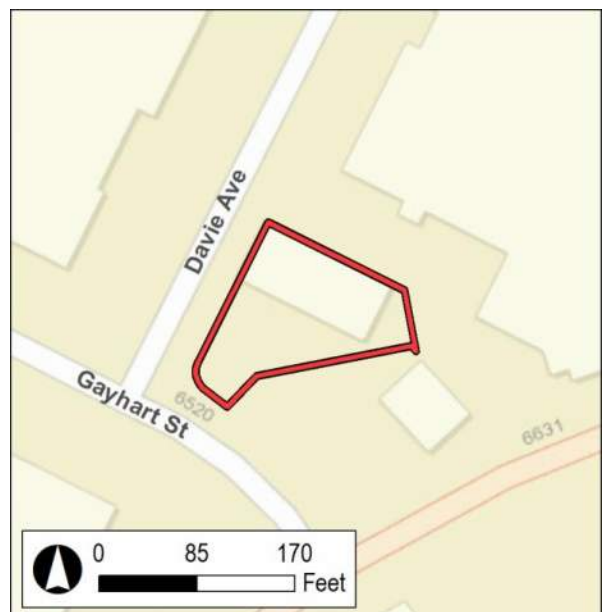
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2266 Davie Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2266 Davie Avenue was constructed in 1964 and is a two-story, wood framed vernacular commercial building with a rectangular plan (**Photograph 1**). It occupies the northern portion of the lot and has a south-facing orientation.

The building has a flat roof with a slight parapet and is covered with composite material. The walls are clad with stucco, and the building sits on a concrete slab foundation. The building faces a large parking lot with manicured hedges and planters. The primary entrance is a metal-frame and glass a single-entry storefront door with sidelights. There are ribbon windows along both stories, arranged in pairs and groups of three. The west elevation has a single-entry steel door and features concrete banding. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

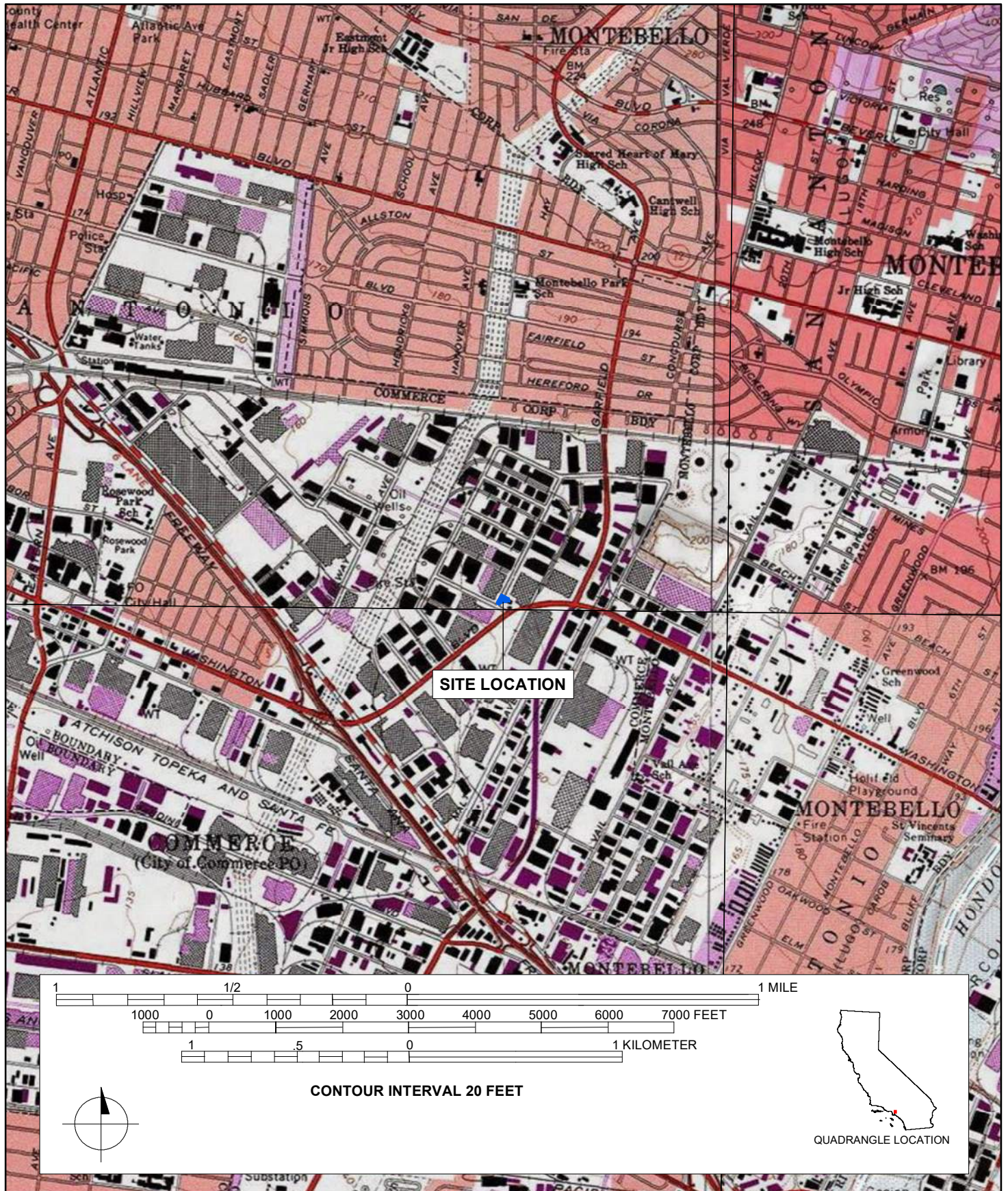
**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.



Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6466 Fleet Street

P1. Other Identifier: 6466 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6466 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763227mE/395146mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-019

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and NE elevation/facade, camera facing south, 12/18/2019, DSCN0245

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: Triangle Conduit & Cable Company
- B2. Common Name: n/a
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); Between 2014 and 2018 the building's multi-light casement windows were replaced with metal-frame fixed windows, the entrance was replaced with a metal and glass storefront assembly, and a portion of the wall near the entrance was removed to install a wheelchair lift enclosure (Google Streetview 2019). Building Permits: 1994 electrical permit to install 5 machines; 2017 interior improvements and walk in freezer installation and restroom upgrades; 2017 floor slab upgrades; 2017 grease trap installation; and 2005 install 3 exit signs.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6466 Fleet Street, originally Triangle Conduit & Cable Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

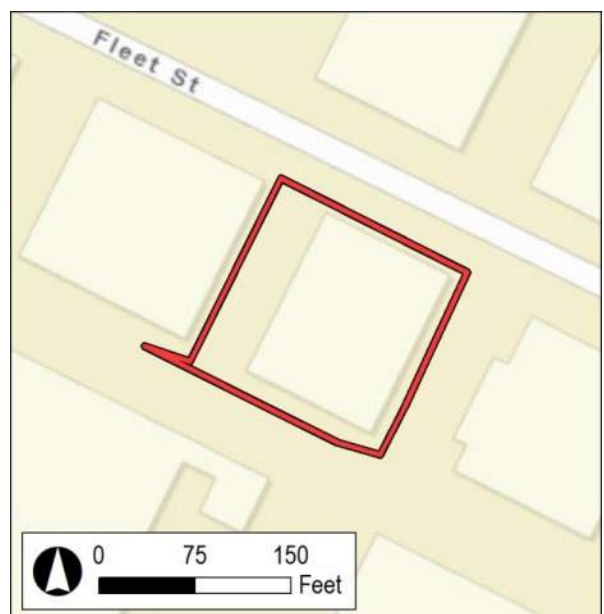
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6466 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6466 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the eastern side of the lot and has a north-facing orientation. A surface parking lot is west of the building and provides warehouse and delivery access. Between 2014 and 2018 the building's multi-light casement windows were replaced with metal-frame fixed windows, the entrance was replaced with a metal and glass storefront assembly, and a portion of the wall near the entrance was removed to install a wheelchair lift enclosure (Google Streetview 2019).

The building has a bowstring roof with parapet and evenly space skylights and is covered with composite material. The walls are constructed of tilt-up concrete panels. The north elevation façade has an inset porch with concrete steps, a square column covered with stack bond brick veneer, and a wheelchair lift. The primary entrance is a metal-frame and glass single-entry storefront door. The windows are metal-frame, fixed windows arranged asymmetrically. The west elevation has one loading dock with a metal roll-up garage door. The east no windows or doors. The resource retains some aspects of its integrity; however, the alterations to the primary entrance has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

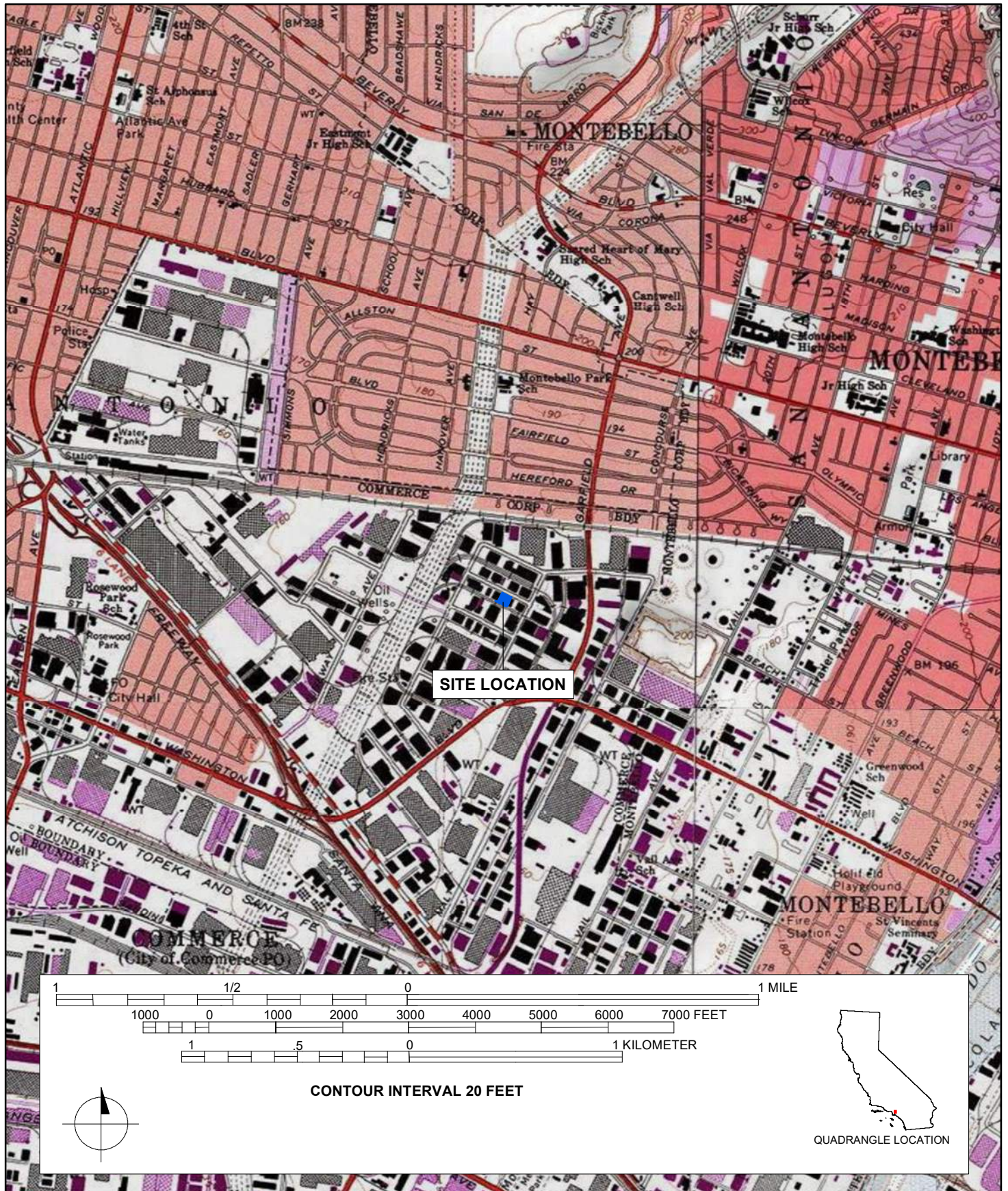
Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6490 Fleet Street

P1. Other Identifier: 6490 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6490 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763202mE/395195mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of NE elevation/facade, camera facing west, 12/18/2019, DSCN0248

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Triangle Conduit & Cable Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); N/A

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6490 Fleet Street is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

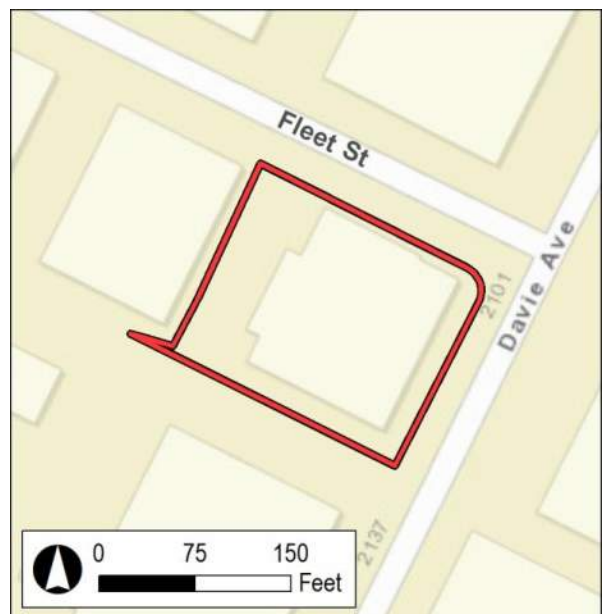
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6490 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6490 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the eastern side of the lot and has a north-facing orientation. To the west of the building is a surface parking lot and warehouse and delivery access.

The building has a bowstring roof with a parapet and evenly space skylights, and is covered with composite material. The walls are constructed of tilt-up concrete panels. The primary entrance is located on the northeast corner of the building. The entrance and two flanking steel framed, multi-light casement windows are setback from the rest of the façade and shaded by a cantilever. The entrance is a single-entry wood flush door with vertical wood surrounds. The entrance portico and the planters on either side of the entrance staircase are faced with fieldstone. The façade also features an individual steel casement window west of the entrance inset. The west elevation has two loading docks with metal roll-up garage doors covered by a shed roof porch supported by metal posts. The east elevation has three multi-light steel-framed casement windows, vines along the lower third of the walls, and a single-entry metal flush door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

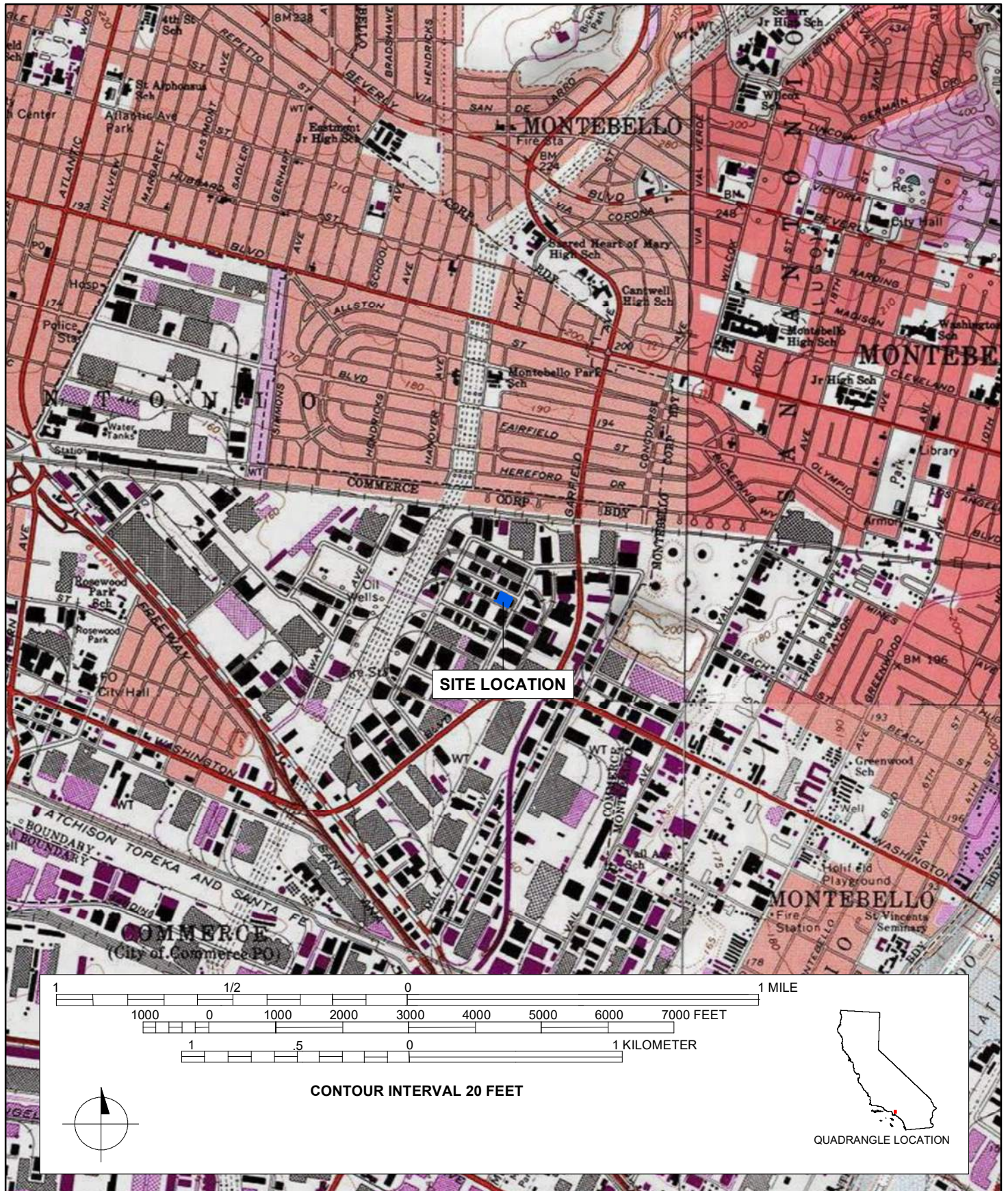
Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6444 Fleet Street

P1. Other Identifier: 6444 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6444 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763252mE/395095mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-018

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of North elevation façade (Google Streetview 2019)

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address:

N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Harbison-Walker Refractories Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); Between 2007 and 2012 the building's ribbon windows were removed and replaced with multi-light casement windows and the brick wall along the entrance was removed and a concrete ramp and stairway was installed (Google Streetview 2019). Building Permits: 1954 private road; 1976 HVAC install; 1964 loading dock and ramp; 1990 wood truss repair; 2011 ADA compliant ramp; 2020 restroom improvements; 2011 office demolition (interior); and 1997 HVAC repair.

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6444 Fleet Street, originally Harbison-Walker Refractories Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

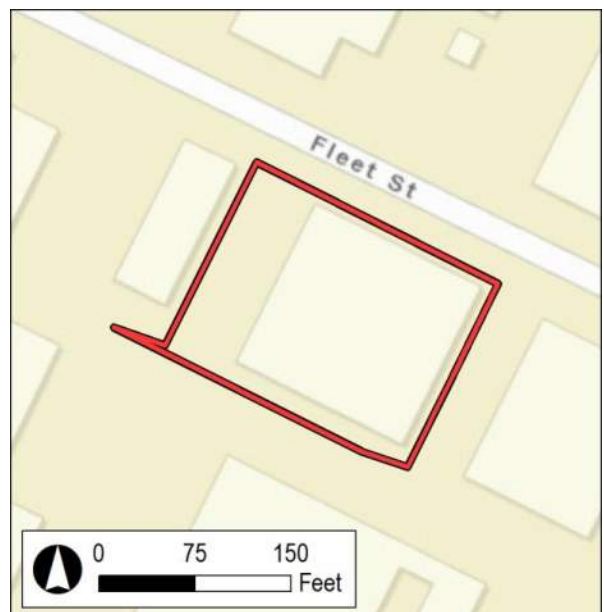
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6444 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6444 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the eastern side of the lot and has a north-facing orientation. A surface parking lot is located west of the building is a surface parking lot that provides warehouse and delivery access. Between 2007 and 2012 the building's ribbon windows were removed and replaced with multi-light casement windows and the brick wall along the entrance was removed and a concrete ramp and stairway was installed (Google Streetview 2019).

The building has a bowstring roof with parapet that is covered with composite material. The walls are constructed of tilt-up concrete panels. The north elevation façade has an inset porch accessed by a concrete ramp and stairway with metal handrails. The primary entrance is a metal-frame and glass, double-leaf door storefront with sidelights. The windows are metal-frame, multi-light, casement windows. The west elevation has one loading dock with two metal roll-up garage doors and three windows. The east no windows or doors. The resource retains some aspects of its integrity; however, the alterations to the primary entrance has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

# LOCATION MAP

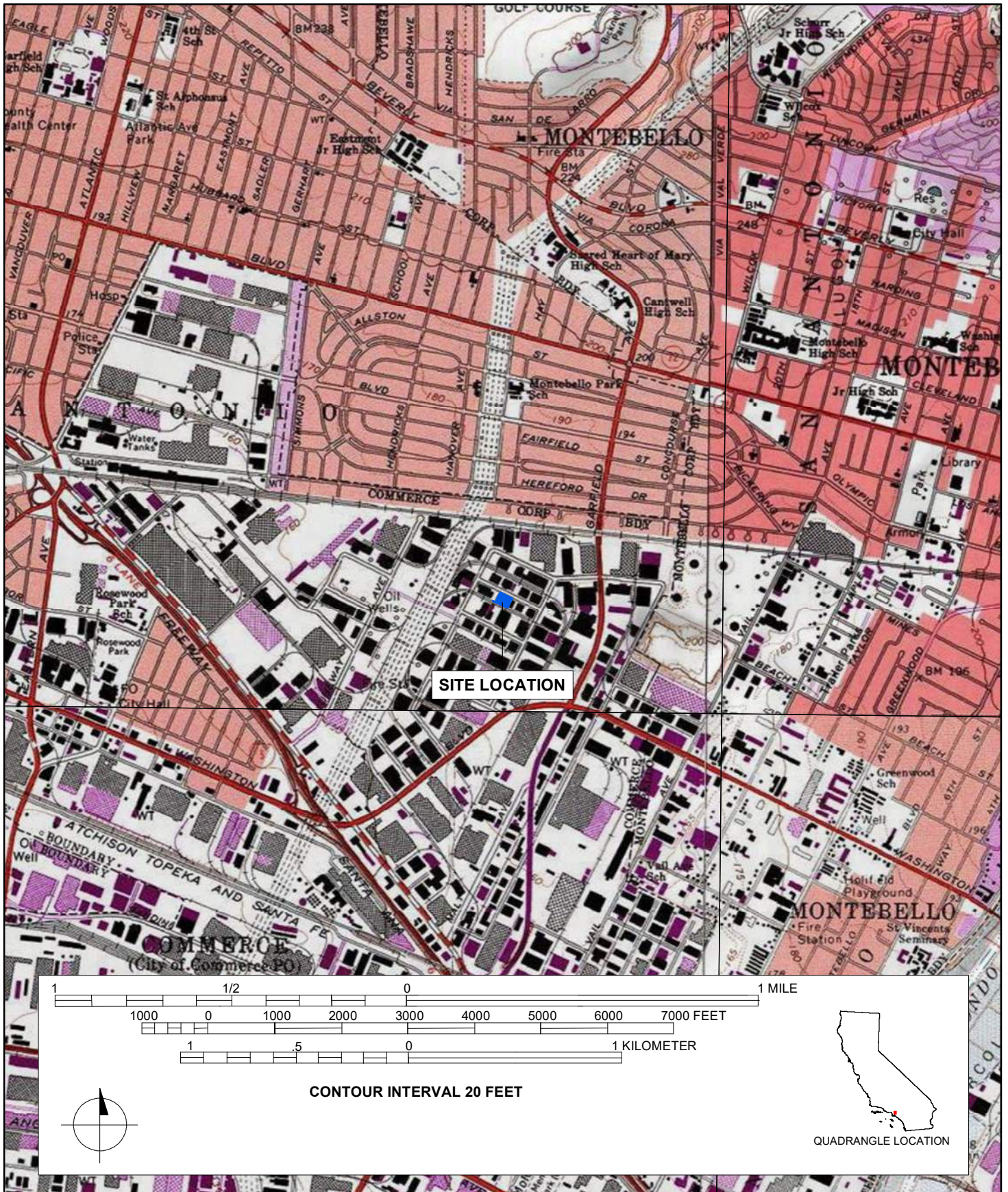
Page 4 of 4

\* Resource Name or # (Assigned by recorder) 6444 Fleet St

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle

\* Scale: 1:24,000

\* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6400 Fleet Street

P1. Other Identifier: 6400 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6400 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763305mE/394991mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-016

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/face, camera facing east, 12/18/2019, IMG 9177

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: Myrurgia Perfumes Inc.
- B2. Common Name: n/a
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor). Alterations: window replacements along north elevation. Building Permits: 1990 interior office partitions; 1990 airduct return air; 1990 electrical improvements; 1990 restroom improvements; 1967 HVAC installed; 1967 roof repair; 2001 fire sprinklers installed; 2001 restroom repairs; 2001 duct system repair from fire damage; 1993 electrical improvements; 2006 disabled access ramp and front door replacement; 2005 seismic retrofit; 2005 garment racks; 1997 roof replacement; 2000 interior partition wall; 1997 interior office improvements and 2001 interior T-grid ceiling.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6400 Fleet Street, originally Myrurgia Perfumes Inc., is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

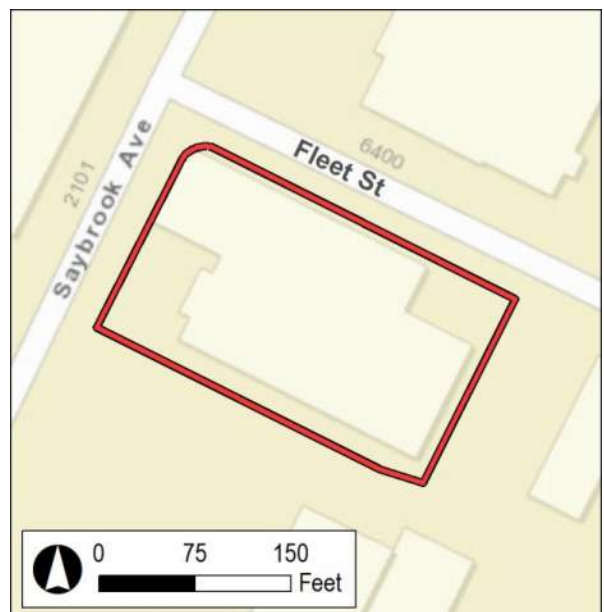
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6400 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6440 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a concrete slab foundation (**Photograph 1**). It occupies the entire lot and has a north-facing orientation. The building has an irregular plan composed of an office section and a larger warehouse section. To the west of the building is a surface parking lot providing warehouse and delivery access.

The building has a flat roof overhanging eaves and the warehouse portion has a bowstring roof with a parapet that is covered with composite material. The exterior walls of the wood-framed office building are covered with stucco and the warehouse walls are constructed of tilt-up concrete panels. The office portion of the warehouse is on the northwest corner and features a corner entrance with an aluminum and glass curtain wall storefront assembly accessed by concrete steps flanked on each side by concrete planters. Windows on the north elevation of the office section include three fixed picture windows, and windows on the west and south elevation are metal-framed, multi-light casement windows. The east elevation also features an additional single-entry aluminum and glass storefront door accessed by a concrete ramp. The north elevation of the warehouse section includes multi-light steel casement windows, and its west elevation features one steel casement window and two loading docks with roll-up doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

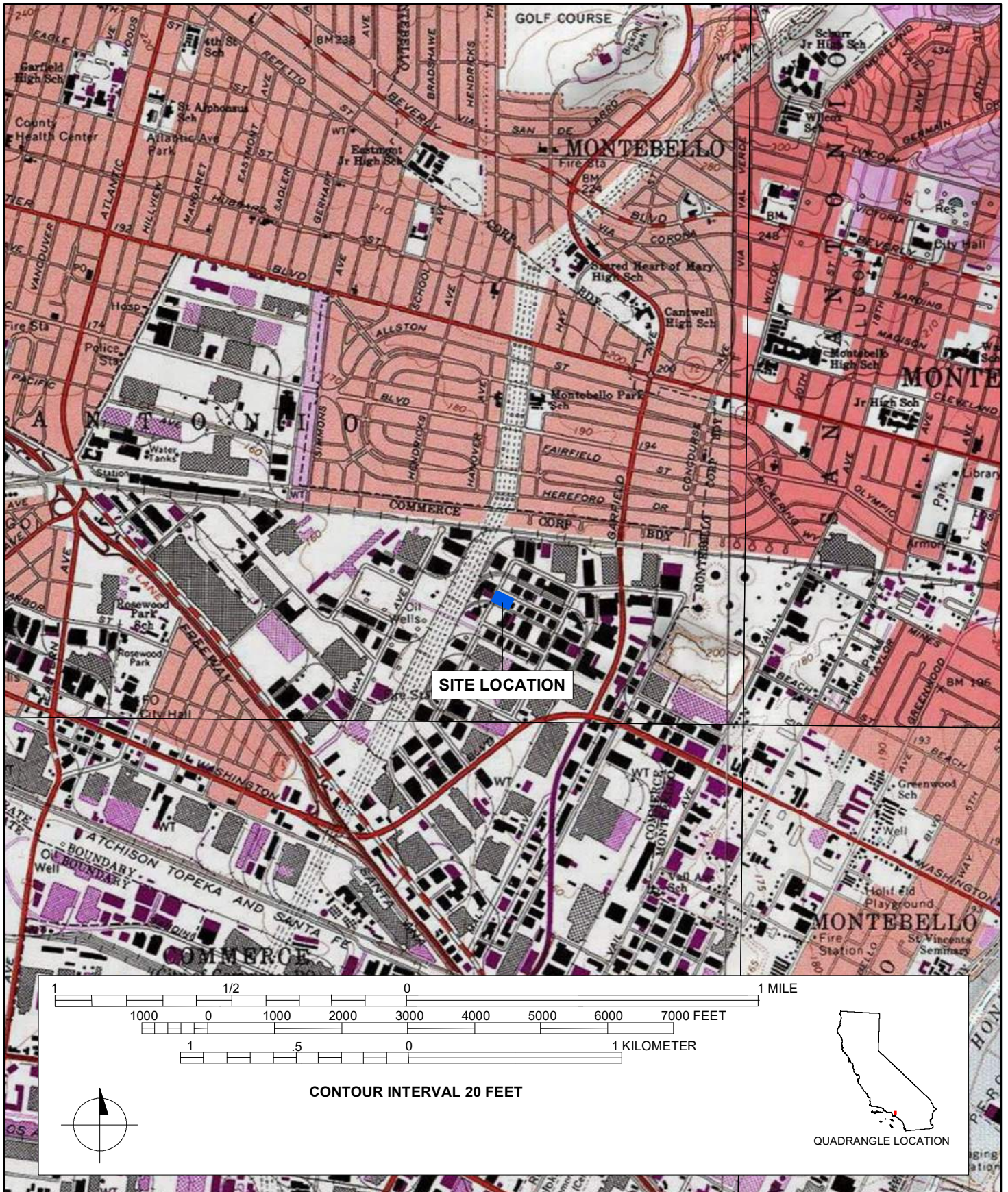
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**LOCATION MAP**



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6440 Fleet Street

P1. Other Identifier: 6440 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6440 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763276mE/395047mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-012-017

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing southwest, 12/18/2019, IMG\_9183

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6440 Fleet Street

B1. Historic Name: W. P. Wooldridge Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); Building Permits: 1958 plumbing improvements; 1974 HVAC install; 1980 electrical improvements; 1954 crane supports; and 2001 roof replacement.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1;C3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6440 Fleet Street, originally the W. P. Wooldridge Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

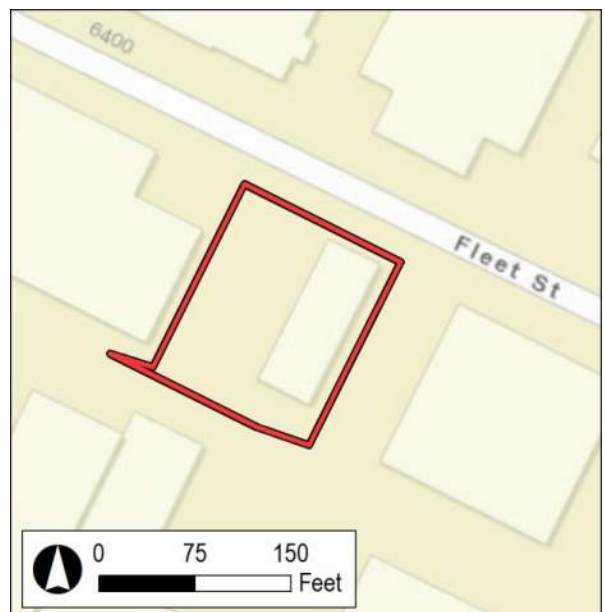
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6440 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6440 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the entire lot and has a north-facing orientation. To the west of the building is a surface parking lot providing warehouse and delivery access.

The building has a flat roof with a parapet and is covered with composite material. The walls are constructed of tilt-up concrete panels. The north elevation façade features an inset porch accessed by concrete steps flanked by an accent wall and a planter constructed of Roman brick. The primary entrance is a glazed, single-entry door with a transom and sidelight. The windows are steel-frame multi-light casement windows. The east elevation includes two steel casement windows, and the west elevation includes one loading dock with a metal roll-up door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

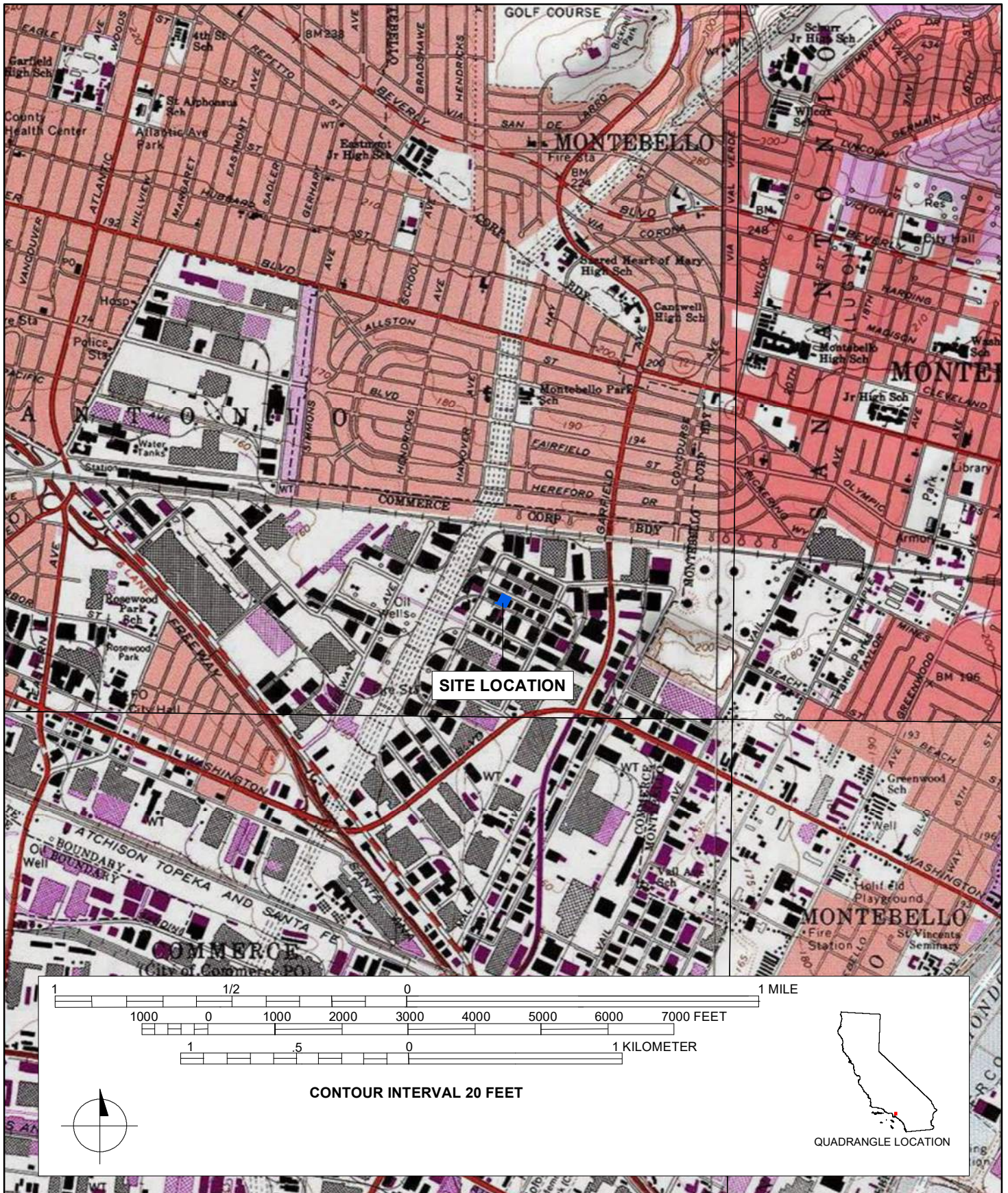
The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6459 Fleet Street

P1. Other Identifier: 6459 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6459 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763303mE/395159mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-014-022

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing east, 12/18/2019, IMG 9186

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 3D;3CD

\*Resource Name or # (Assigned by recorder) 6459 Fleet Street

B1. Historic Name: Insul-Therm Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A/1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6459 Fleet Street, originally Insul-Therm Inc warehouse, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

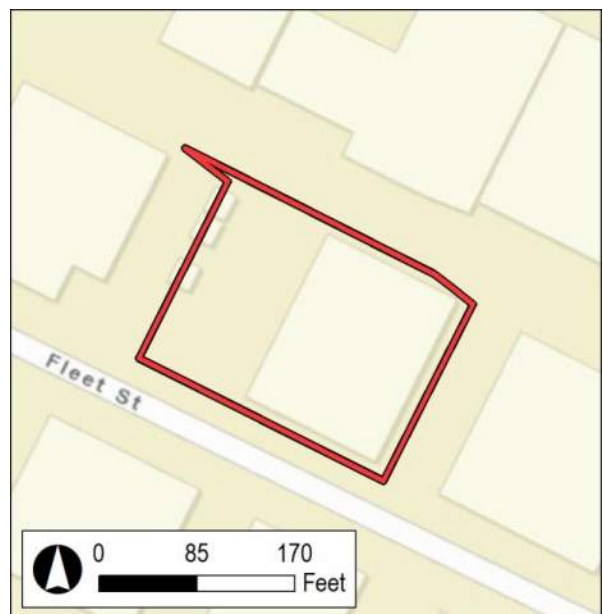
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 6459 Fleet Street  
 Continuation  Update

Recorded by: M. Wilson \*Date: January 2020

**\*P3a. Description (continued):**

The property located at 6459 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photographs 1-2**). It occupies the eastern side of the lot and has a south-facing orientation. To the west of the building is a surface parking lot that provides warehouse and delivery access.

The building has a bowstring roof with parapet and evenly spaced skylights and is covered with composite material. The walls are constructed of tilt-up concrete panels. The south elevation façade has an inset porch accessed by concrete steps. The primary entrance is a single-entry steel door. The windows are recessed, metal-frame, multi-light, casement windows. The east elevation is bare of fenestration and architectural details. The west elevation has four loading docks with metal roll-up garage doors, a single-entry metal flush door, and three steel casement windows. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

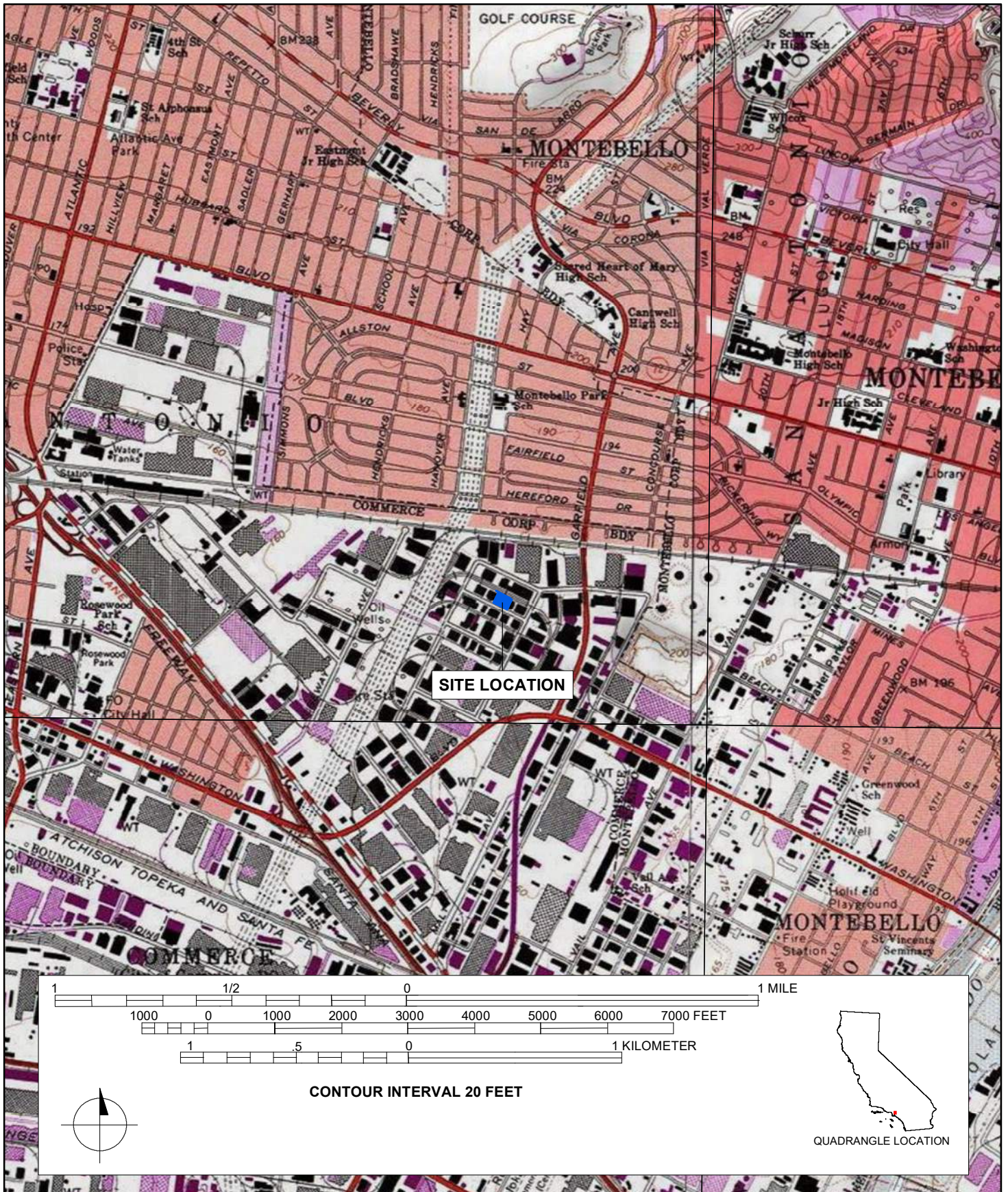
Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.



**Photograph 2.** View of entrance, camera facing SW, 12/18/2019, IMG\_9187



**LOCATION MAP**



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6415 Fleet Street

P1. Other Identifier: 6415 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6415 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763371mE/395025mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-014-024

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W and S elevation/facade, camera facing east, 12/18/2019, DSCN0238

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1954 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Metal Prits Inc.

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1954(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development Area Commerce  
Period of Significance 1951-1960 Property Type Industrial Applicable Criteria A1:C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6415 Fleet Street, originally Metal Prits Inc., is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

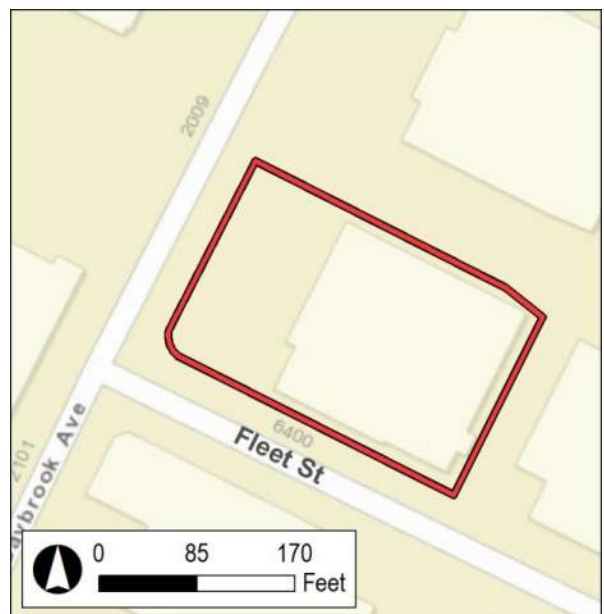
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6415 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6415 Fleet Street was constructed in 1954 and is a one-story Modern-style industrial building with a rectangular plan and a concrete slab foundation (**Photograph 1**). It occupies the eastern side of the lot and has a south-facing orientation. To the west of the building is a surface parking lot providing warehouse and delivery access. The north elevation faces the railroad alignment.

The building has a bowstring roof with parapet and evenly spaced skylights, and is covered with composite material. The exterior walls are painted brick. The south elevation façade includes the primary entrance, which is a metal-frame and glass, single-entry storefront door with sidelights, which is located within an inset porch accessed by concrete steps. The entrance is flanked on the west by individual and ribbons of three metal-framed fixed windows. These windows and the inset porch are shaded by a metal cantilever. The façade east of the porch features three recessed, metal-frame, multi-light, casement windows. The east elevation has no windows or doors. The cantilever on the façade continues around the southwest corner to the west elevation to shade two sets of paired windows. The west elevation also features a loading dock covered by a cantilevered awning. The loading dock includes three steel casement windows and three bays with metal roll-up doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

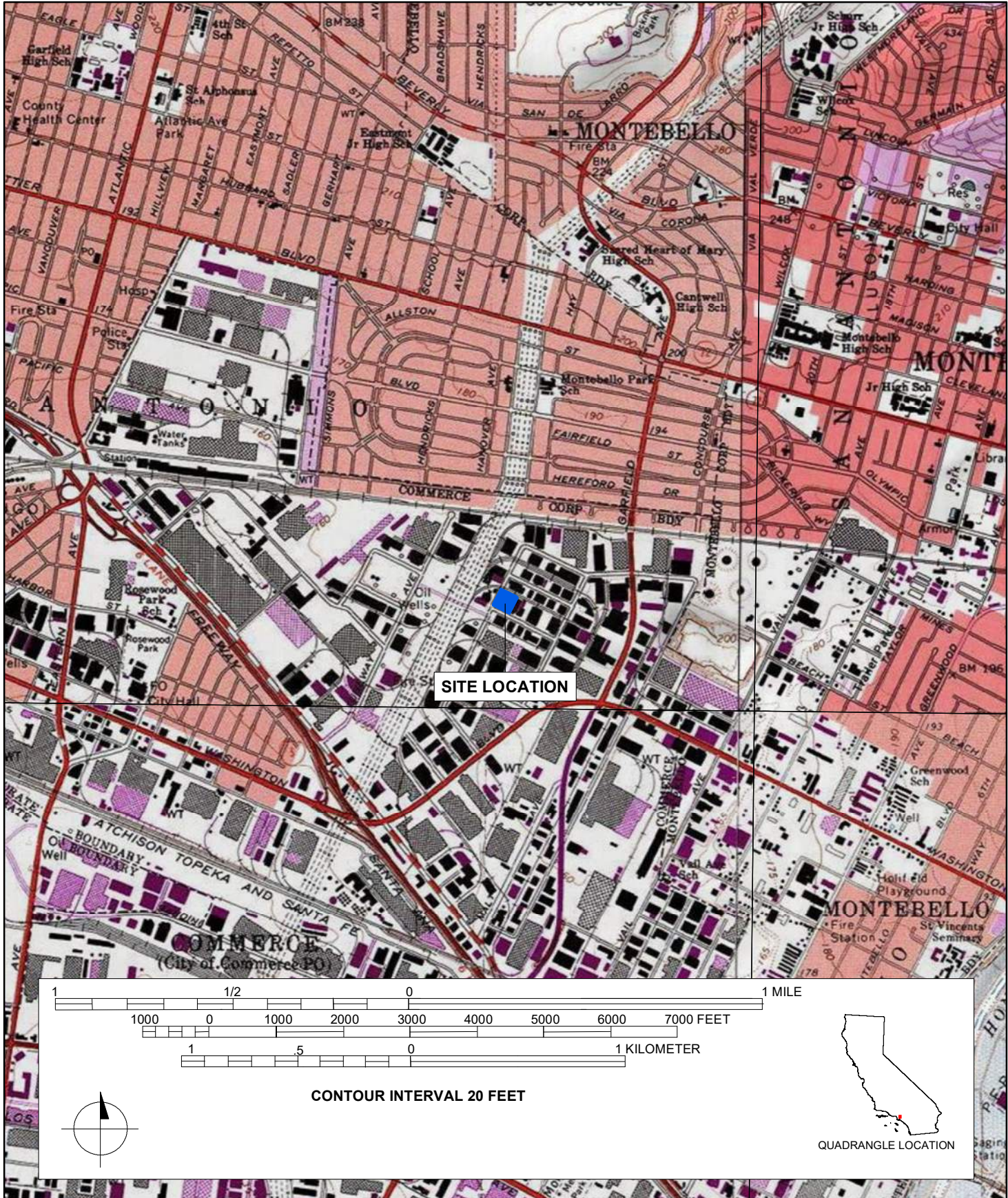
**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 4 of 4      \* Resource Name or # (Assigned by recorder) \_\_\_\_\_

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle      \* Scale: 1:24,000      \* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 3D:3CD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6445 Fleet Street

P1. Other Identifier: 6445 Fleet Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6445 Fleet Street City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3763335mE/395095mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-014-023

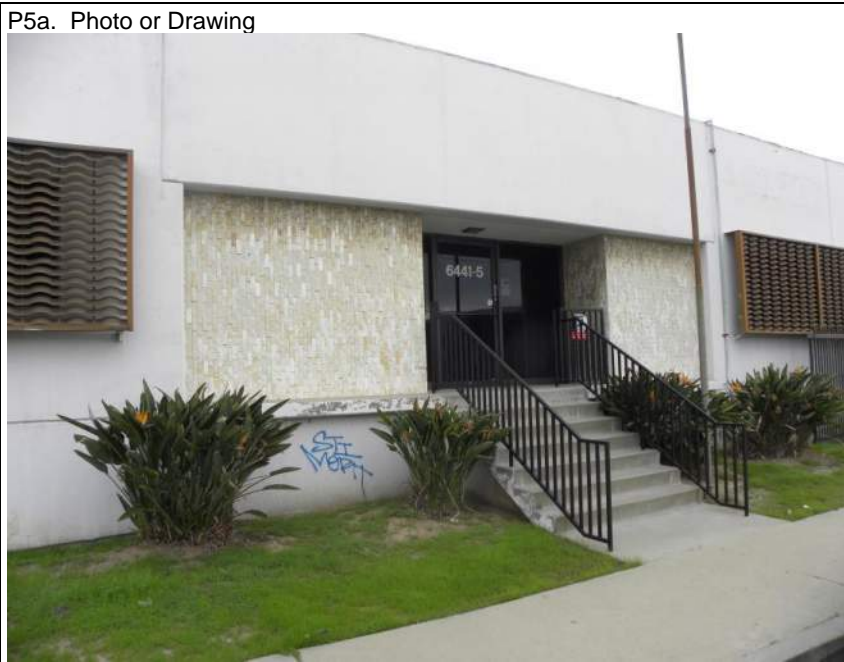
\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of SW elevation/facade, camera facing north, 12/18/2019, DSCN0242

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

B1. Historic Name: Durand Door Supply Company

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor); N/A

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1951-1960

Property Type Industrial Applicable Criteria A1;C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6445 Fleet Street, Durand Door Supply Company, is potentially significant for listing in the National Register of Historic Places at the local level as a contributor to a potential historic district, the Vail Field Industrial Addition. The Vail Field Industrial Addition is significant at the local level under NRHP Criterion A/CRHR Criterion 1 in the areas of industry and community planning as an important industrial development in the east Los Angeles metropolitan area during the period of significance from 1951 to 1960; and under NRHP Criterion C/CRHR Criterion 3 in the area of industrial architecture as a Mid-Century Modern-style planned industrial park that represents a significant and distinguishable entity whose components may lack individual distinction during the same period of significance from 1951 to 1960. At the time of the post-World War II industrial boom, Vail Field, a former airfield and oilfield property, was open land ripe for development near the regional industrial core of East Los Angeles, which had developed in the early 1920s near the junction of several major regional and national railroads. The first planned industrial park in the Los Angeles area was the Central Manufacturing District established in 1923 at Vernon, to the west of Vail Field. The planned industrial park concept of clustering manufacturing and commercial buildings around critical railroad infrastructure started in the 1900s and culminated at the end of the 1950s, when railroads were in steady decline. The development of the Vail Field Industrial Addition represented the transition in dominance from railroad-based access to highway-based access for modern industrial needs by providing both railroad and trucking lanes. The commercial success of the hundreds of major companies that established facilities in the industrial park ultimately led to the incorporation of the city of Commerce. The district is significant in the areas of industry and community planning, because it represents a planned industrial park with suburban qualities and the last vestiges of railroad dominance in commercial transportation. The district is also significant in the area of industrial architecture, because it has several excellent local examples of Mid-Century Modern-style industrial facilities that are notable for their eclectic International Style, Futurist, and Contemporary architectural influences, as well as deliberate landscape features to accentuate the unconventional industrial aesthetic with garden-like features.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6445 Fleet Street  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6445 Fleet Street was constructed in 1955 and is a one-story Modern-style industrial building with a T-shaped plan composed of a large rectangular warehouse and a rectangular office centered on its south elevation (**Photograph 1**). It occupies the center of the lot and has a south-facing orientation. Surface parking lots east and west of the building provide warehouse and delivery access. The north elevation faces the railroad alignment.

The building has a flat roof with a parapet and evenly spaced skylights and is covered with composite material. The walls are constructed of tilt-up concrete panels and the building sits on a concrete slab foundation. The façade features a central bay that contains the inset primary entrance flanked on each side by decorative tile panels. The entrance is an aluminum and glass single-entry storefront door with sidelights accessed by a concrete staircase with metal railings. The central bay is flanked on each side by ribbons of windows covered with non-historic metal screens. The façades of the warehouse that extend east and west of the office section both include loading docks with two metal roll-up doors and single-entry metal doors with one light accessed by concrete stairs. The east and west elevations of the office section both include three windows. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

The period of significance is 1951 to 1960, beginning with the establishment of the Vail Field Industrial Addition to the Central Manufacturing District and ending with its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties.

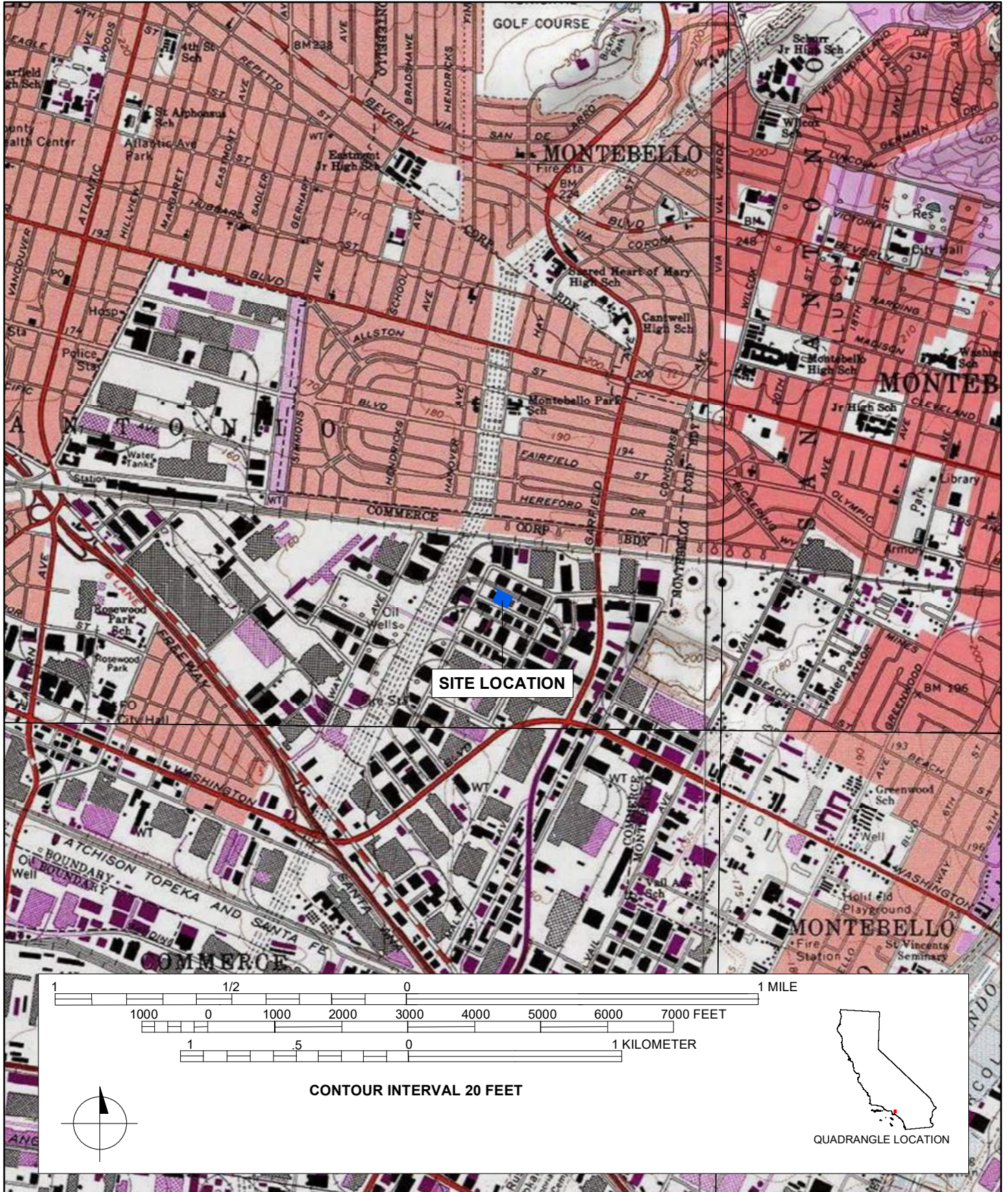
Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 5201 East Beverly Boulevard

P1. Other Identifier: 5201 East Beverly Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 5201 East Beverly Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3766337mE/393550mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5249-031-006

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W and S elevation/façade, camera facing east, 12/18/2019, DSCN0314

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1973 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 5201 East Beverly Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Saku's Service
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1973 (Los Angeles County Assessor). Storage tanks removed from property in 1986. The property appears to have been abandoned since 2017 (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area East Los Angeles  
Period of Significance ca. 1970s Property Type Commercial building Applicable Criteria n/a  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 5201 East Beverly Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 5201 East Beverly Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 5201 East Beverly Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 5201 E Beverly Boulevard, Sako's Service, was constructed in 1973 and is a vernacular automotive garage (**Photograph 1**). It occupies the rear of the lot and has a south-facing orientation. It is a one-story, wood-framed building with a rectangular plan. Building permit data indicates the building's storage tanks were removed in 1986. The property appears to have been abandoned since 2017 (Google Streetview 2019).

The building has a flat roof covered with composite material with box cornice. The walls are clad with stucco, and the north elevation wall is concrete block. The building has four, single-car garage bays with roll-up multi-light doors. The main entry, which is off-centered on the façade, is a single-entry steel door with a transom. The windows are metal-frame fixed storefront windows. The lot is enclosed by metal fencing. Although the resource retains integrity of location, design, feeling, and association, its materials and workmanship have been slightly diminished due neglect.

**\*B10. Significance (continued):**

Historic Context

The commercial building at 5201 E. Beverly Boulevard was constructed in 1973 on Lot 92 of Tract 10665 in East Los Angeles. East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

**\*B12. References (continued):**

Clary, William W. 1966. History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1, pp. 222–223. Los Angeles: privately printed.

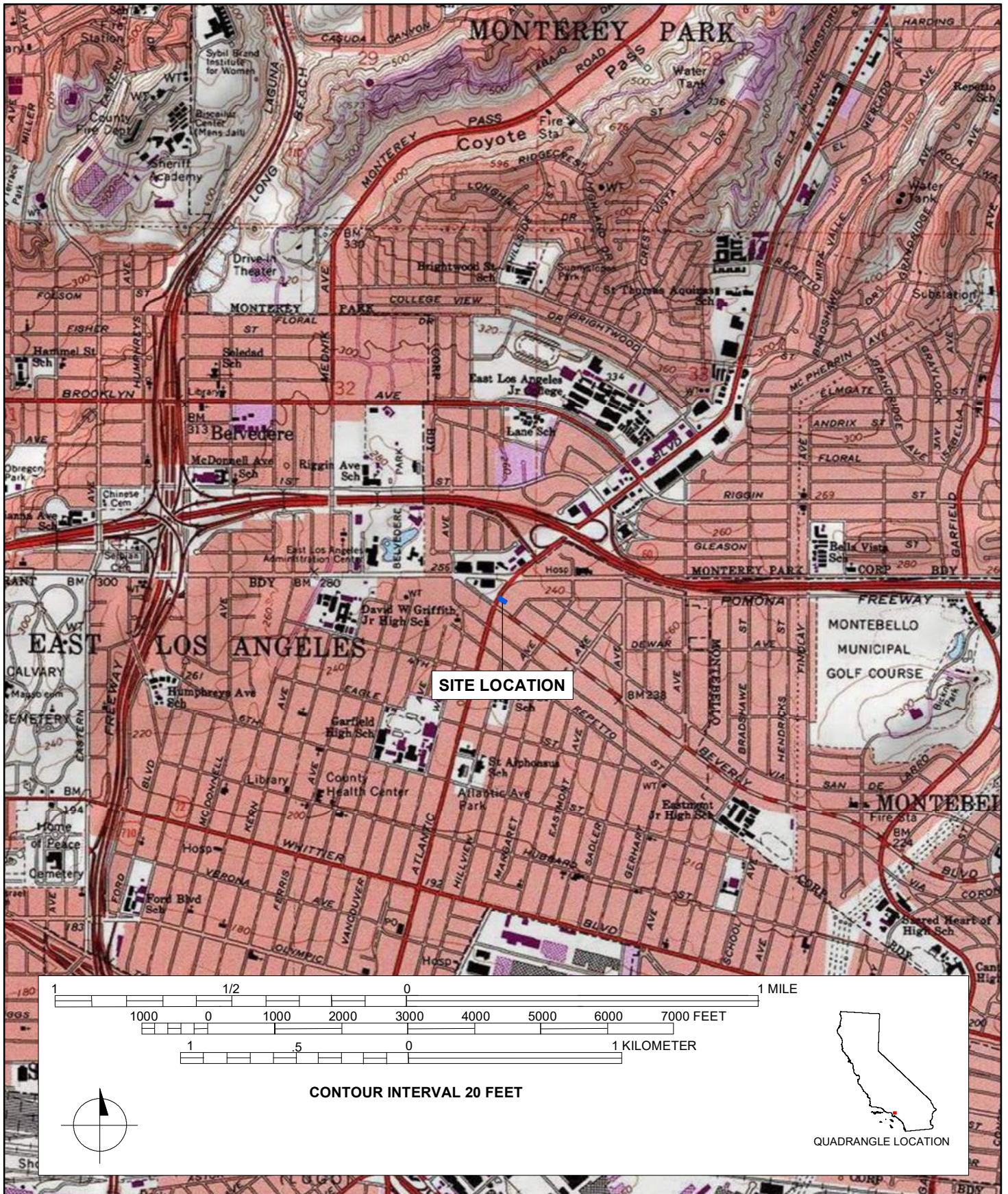
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12502 Evaro Drive

P1. Other Identifier: 12502 Evaro Drive

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12502 Evaro Drive City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758688mE/403160mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-025-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of west elevation/façade, camera facing east, 12/17/2019.

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1963 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12502 Evaro Drive

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1963 (Los Angeles County Assessor). Alterations: garage door.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1960s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12502 Evaro Drive does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12502 Evaro Drive is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

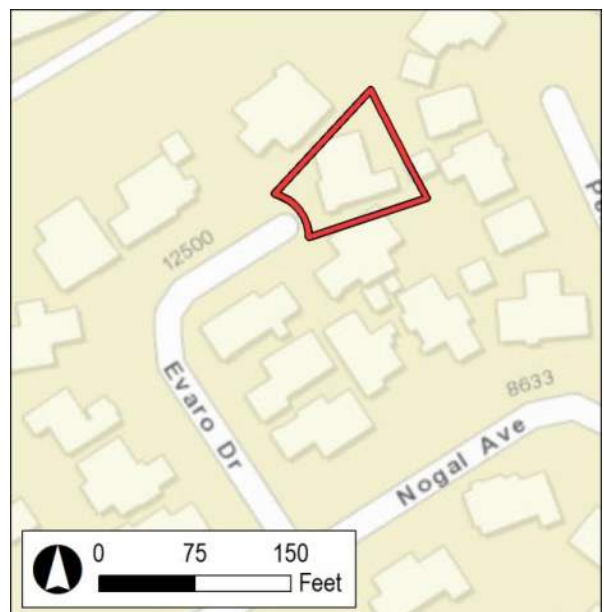
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12502 Evaro Drive  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12502 Evaro Drive was constructed in 1963 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the center of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has side gable roof with upswept eaves covered with composite shingles, an end-wall brick chimney, and gable ends filled with lattice stickwork. The walls are clad with stucco and vertical board siding. The building has double-hung metal-frame window sashes. The porch is inset, and the main entry is filled with a wood panel door. On the south side of the primary façade, the residence has an attached two-car garage with a non-historic metal roll-up garage door. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

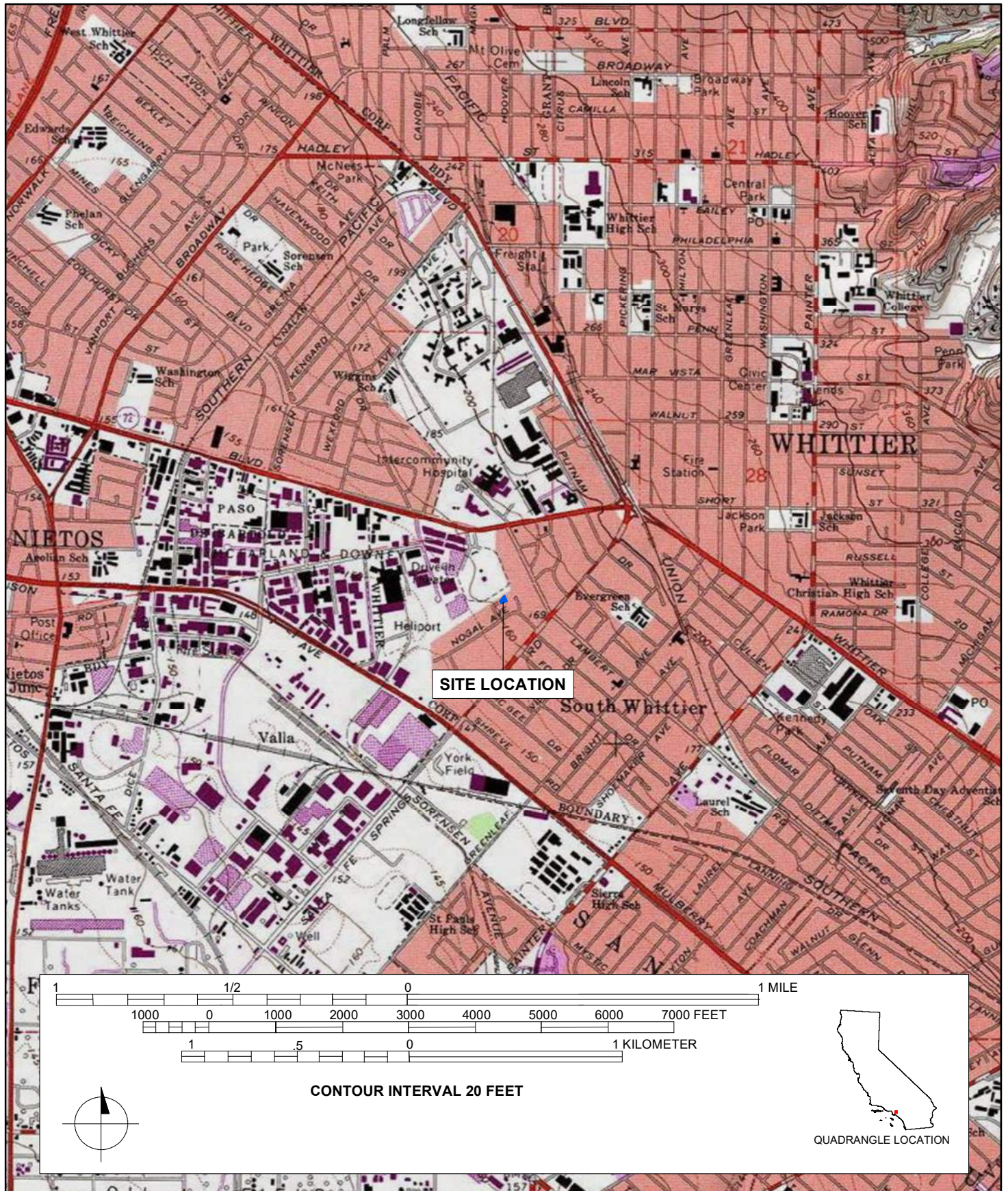
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12512 Evaro Drive

P1. Other Identifier: 12512 Evaro Drive

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12512 Evaro Drive City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758680mE/403116mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-025-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing northwest, 12/17/2019, DSCN0117

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1963 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12512 Evaro Drive

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1963 (Los Angeles County Assessor). Alterations: replacement windows.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area n/a  
Period of Significance 1960s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12512 Evaro Drive does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12512 Evaro Drive is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

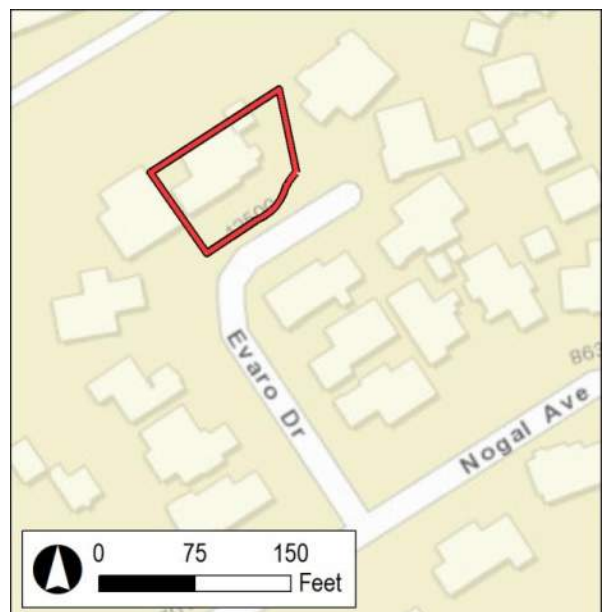
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12512 Evaro Drive  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12512 Evaro Drive was constructed in 1963 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the rear of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has cross-gable roof with overhanging eaves and exposed rafter ends, covered with composite shingles, and an end-wall brick chimney. The walls are clad with stucco. The building has double-hung fiberglass-sash multi-light windows arranged in pairs. There is a central, partial length porch supported by wood posts with brick piers. The main entry is filled with a wood panel door with a screen. On the west side of the primary façade, the residence has an attached two-car garage with a paneled, swing-up garage door. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

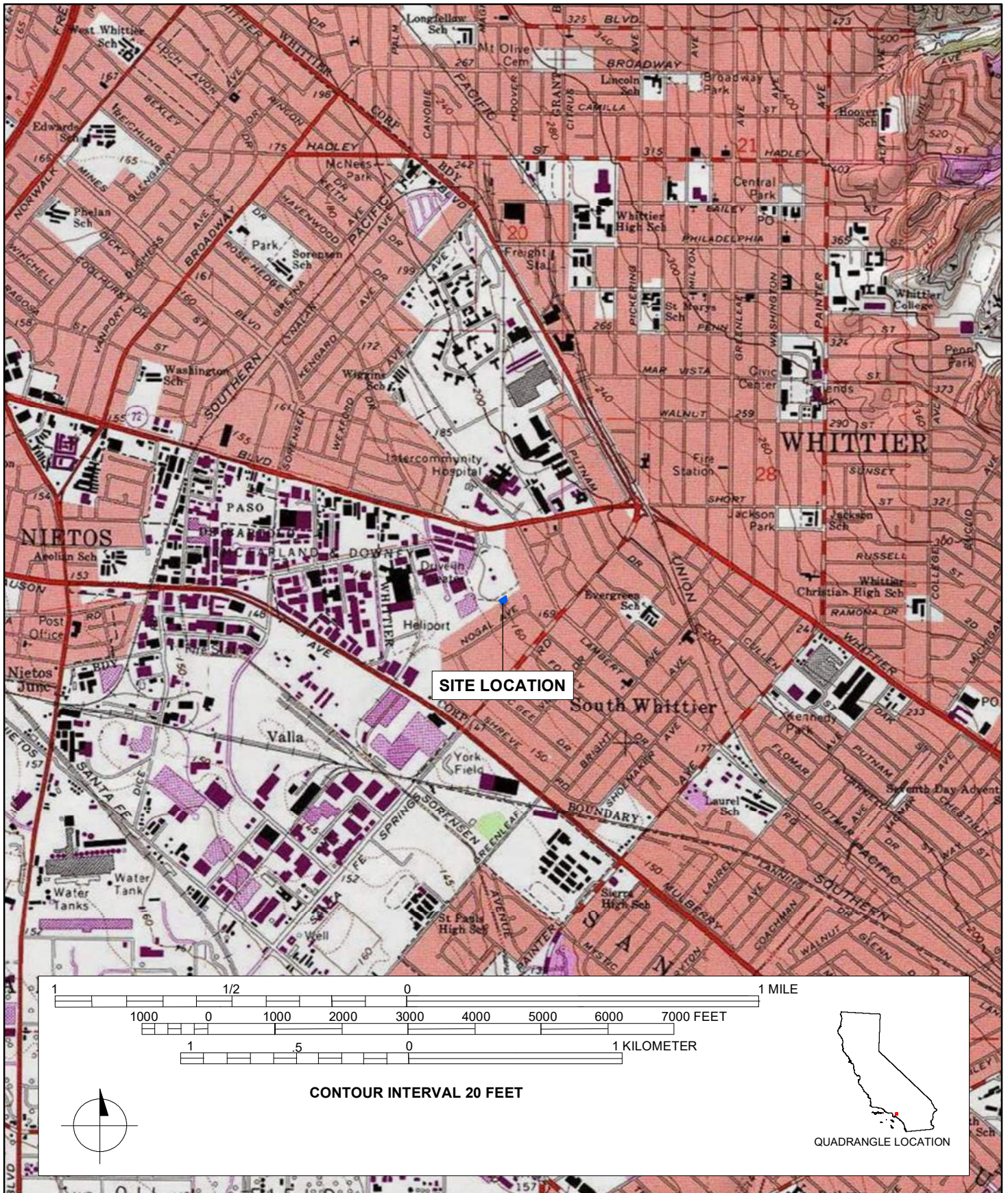
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12506 Evaro Drive

P1. Other Identifier: 12506 Evaro Drive

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12506 Evaro Drive City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758700mE/403145mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-025-008

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/17/2019, DSCN0113

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1963 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12506 Evaro Drive

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1963 (Los Angeles County Assessor). Between 2011 and 2019 the garage door was replaced with a modern paneled swing-up door (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1960s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12506 Evaro Drive does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12506 Evaro Drive is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12506 Evaro Drive  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12506 Evaro Drive was constructed in 1963 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southwest-facing orientation. It is a one-story, wood-framed, building with an irregular plan. Between 2011 and 2019 the garage door was replaced with a modern paneled swing-up door (Google Streetview 2019).

The building has a gambrel roof over the two-car garage and a front gable roof over the residence; both are covered with composite shingles. The building has a ridgeline, brick chimney. The walls are clad with stucco and brick, and clapboard siding at the gable ends. The building has double-hung aluminum-frame multi-light windows with diamond pattern muntins arranged in pairs. There is a full-length porch supported by wood posts. The main entry is filled with a wood panel door with a screen. The attached two-car garage has a swing-up garage door and a hayloft door at the gable end. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

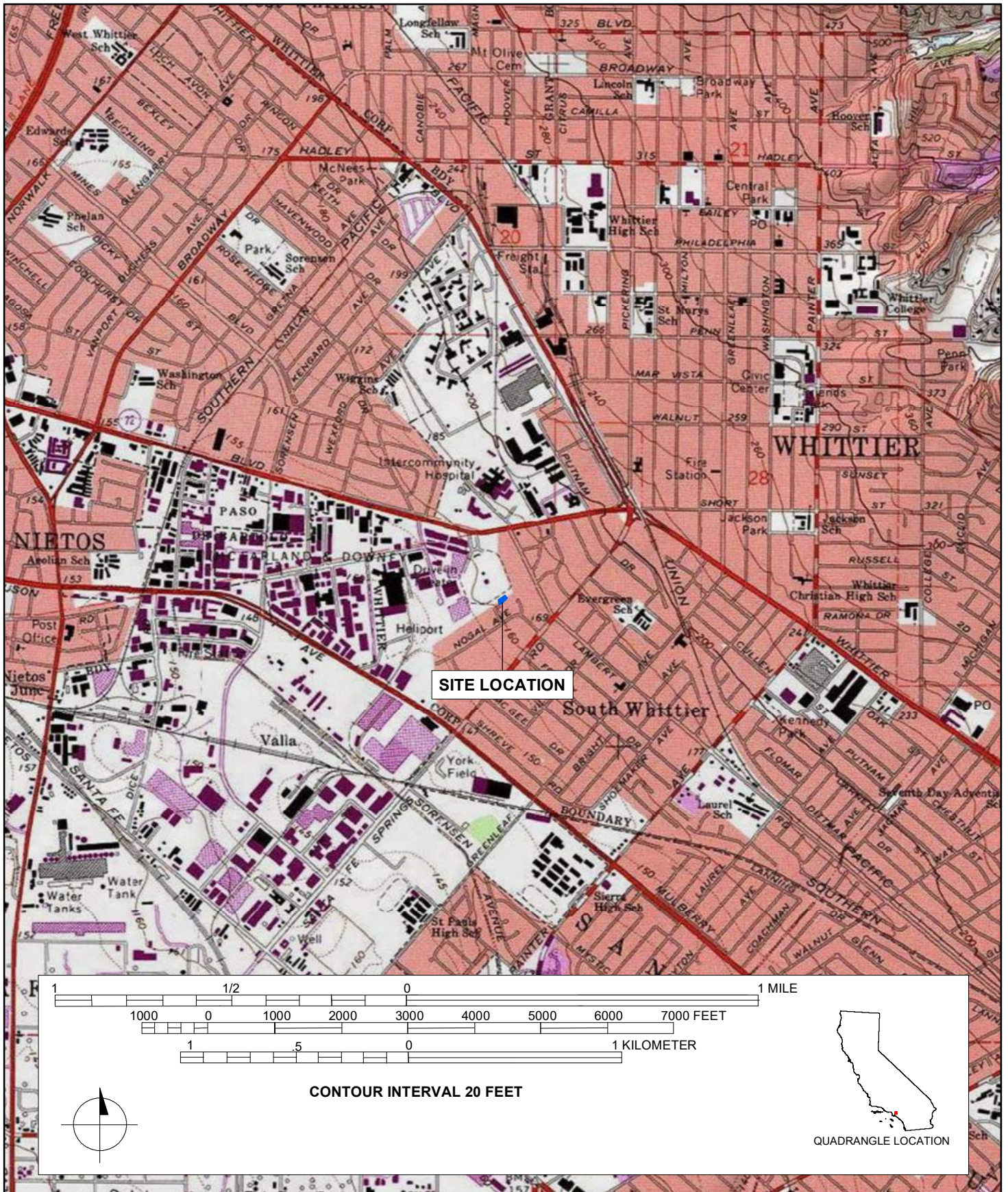
Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 1025 South Greenwood Avenue

P1. Other Identifier: 1025 South Greenwood Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 1025 South Greenwood Avenue City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762111mE/396520mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-017-015

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW and SE elevation/façade, camera facing north (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1960 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1025 South Greenwood Avenue

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular Utilitarian-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1960 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 1025 S Greenwood Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 1025 S Greenwood Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

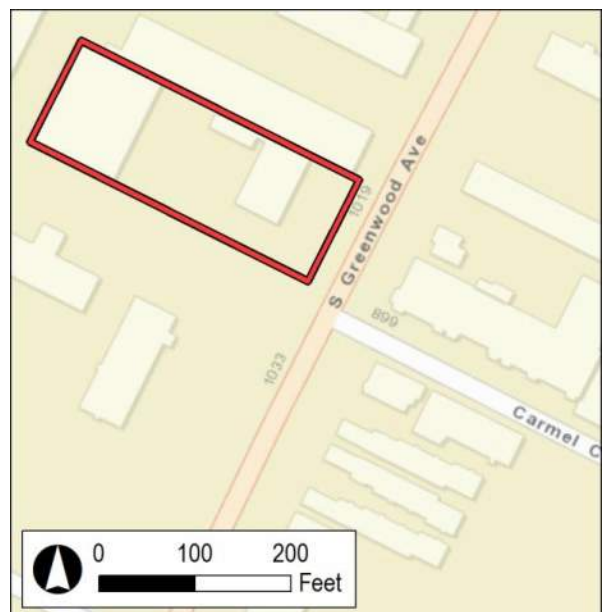
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1025 South Greenwood Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 1025 S Greenwood Avenue was constructed in 1960 and is a vernacular Utilitarian-style industrial building (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a two-story industrial building with a rectangular plan. The building has a low-pitched gable roof that is covered corrugated metal. The walls are standing-seam sheet metal. The building sits on a concrete slab foundation. No windows or doors were visible from the public right-of-way. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Utilitarian Architecture:

Utilitarian Industrial style is found in buildings whose architecture is significantly determined by the use of the building. For instance, a utilitarian industrial style manufacturing facility may have a particular roof built to accommodate the interior crane. Utilitarian style structures are of various sizes, roof styles and clad in different materials (often corrugated metal or masonry), but what distinguishes them is that the builder has made no attempt to impose any detailing or ornamentation besides those that are deemed necessary for the business of the building. Utilitarian buildings include factories, warehouses, and storage sites and usually are industrial structures (Bradley 1999). Most industrial buildings built from the mid-20th century to the present are utilitarian.

**\*B12. References (continued):**

Bradley, Betsy H. 1999. *The Works: The Industrial Architecture of the United States*. New York: Oxford University Press.

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

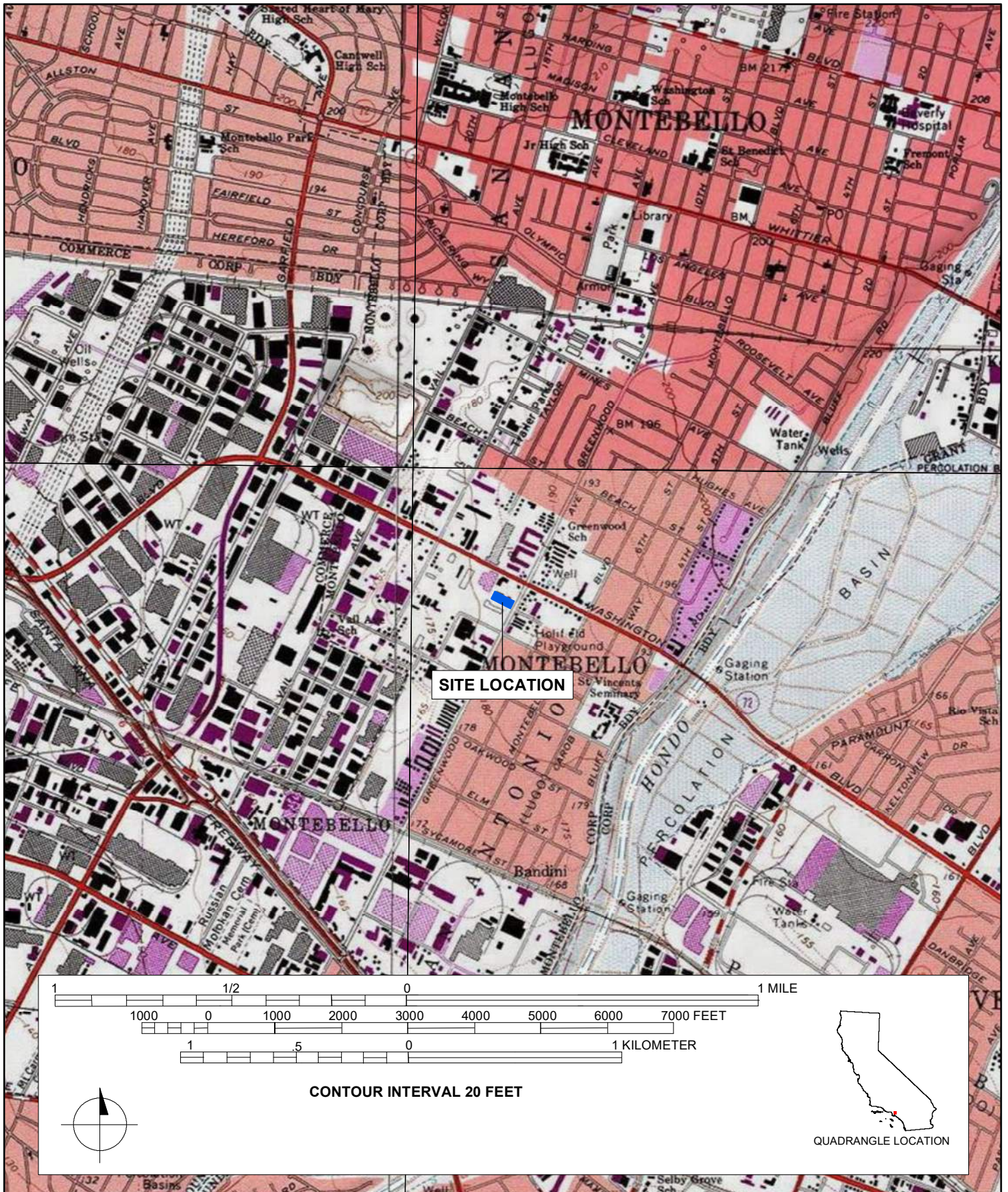
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 901-945 South Greenwood Avenue

P1. Other Identifier: 901-945 South Greenwood Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 901-945 South Greenwood Avenue City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762343mE/396617mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-012-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/façade, camera facing west, 12/17/2019, IMG 9144

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1974 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 901-945 South Greenwood Avenue

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular Utilitarian-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1974 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Montebello  
Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 901-945 S Greenwood Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 901-945 S Greenwood Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

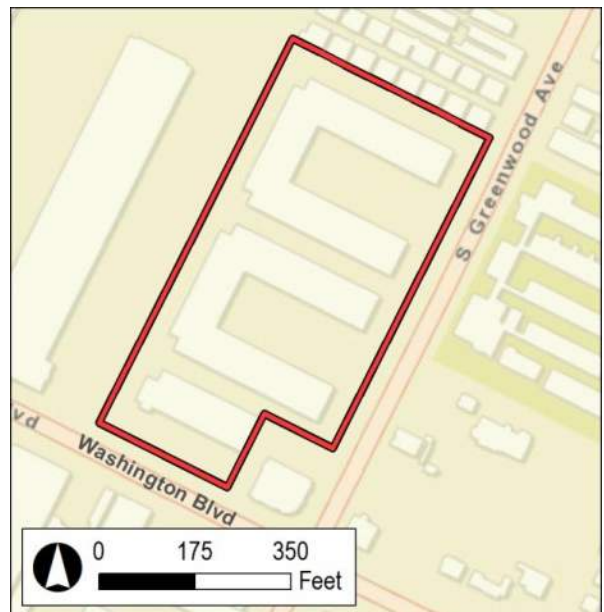
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 901-945 South Greenwood Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 901-945 S Greenwood Avenue, the Greenwood Center, was constructed in 1974 and is a vernacular Utilitarian-style commercial business park (**Photographs 1-2**). The property consists of two, identical, U-shaped, one-story buildings with east-facing orientations and interior parking lots. The buildings have flat roofs covered with composite material. The walls are tilt-up concrete panels with textured stucco. The buildings sit on a concrete slab foundation. The entrances to the office spaces are evenly spaced, recessed, and consist of metal-frame and glass, storefront, double-leaf doors with sidelights. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Utilitarian Industrial Architecture:

Utilitarian Industrial style is found in buildings whose architecture is significantly determined by the use of the building. For instance, a utilitarian industrial style manufacturing facility may have a particular roof built to accommodate the interior crane. Utilitarian style structures are of various sizes, roof styles and clad in different materials (often corrugated metal or masonry), but what distinguishes them is that the builder has made no attempt to impose any detailing or ornamentation besides those that are deemed necessary for the business of the building. Utilitarian buildings include factories, warehouses, and storage sites and usually are industrial structures (Bradley 1999). Most industrial buildings built from the mid-20th century to the present are utilitarian.

**\*B12. References (continued):**

Bradley, Betsy H. 1999. *The Works: The Industrial Architecture of the United States*. New York: Oxford University Press.

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.



Page 4 of 5

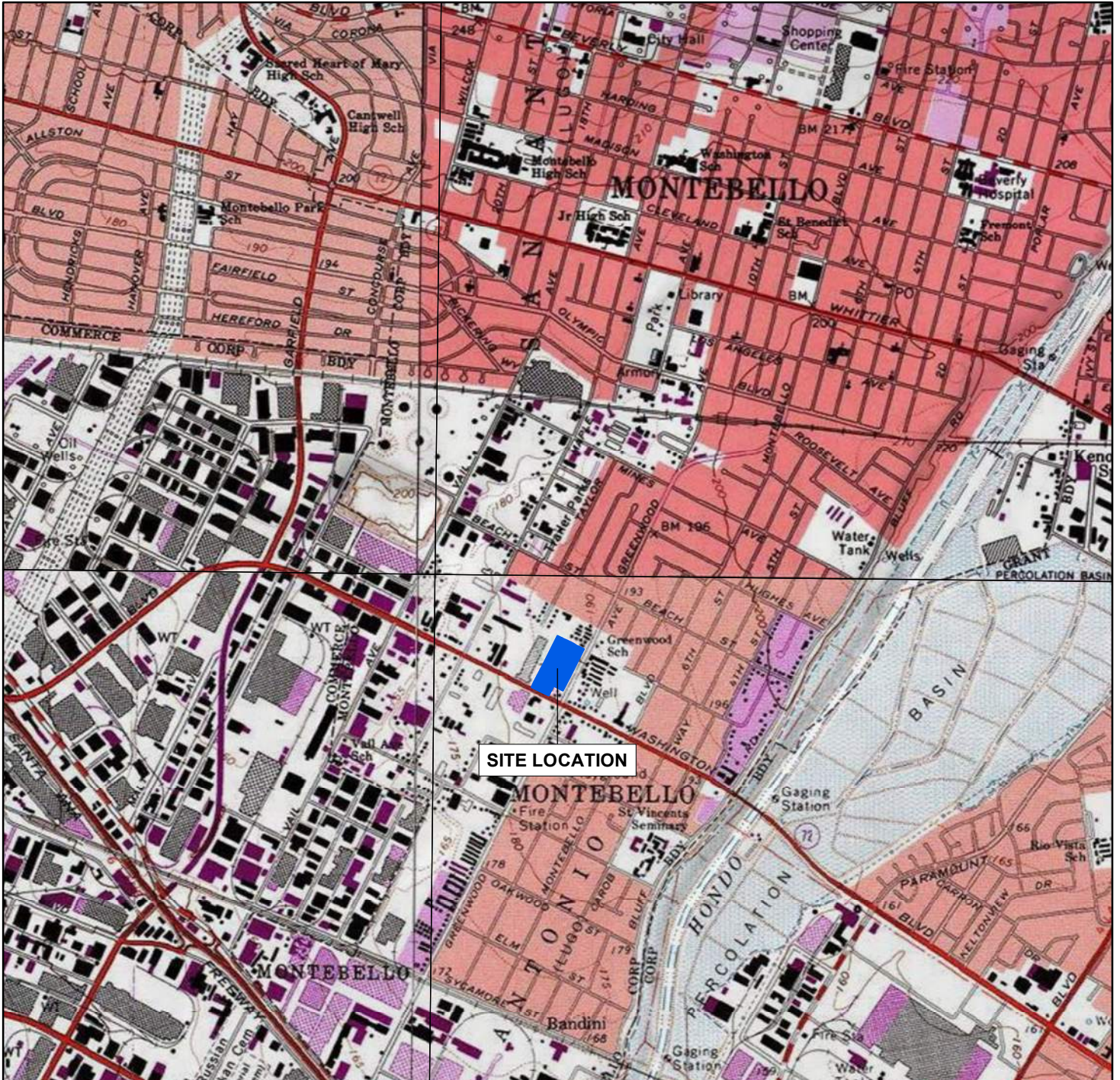
\*Resource Name or # (Assigned by recorder) 901-945 South Greenwood Avenue

Recorded by: M. Wilson \*Date: January 2020

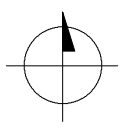
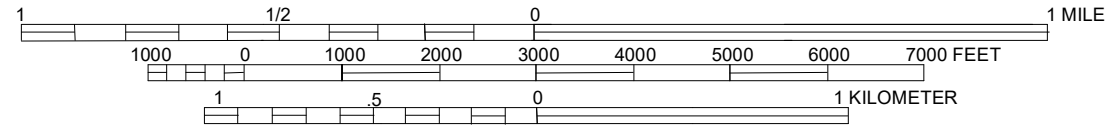
Continuation  Update



Photograph 2. View of north elevation, view southwest, 12/17/2019, IMG\_9145



**SITE LOCATION**



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 12508 Lambert Road

P1. Other Identifier: 12508 Lambert Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 12508 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758782mE/403256mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of E elevation/face, camera facing south, 12/17/2019, DSCN0121

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1977 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12508 Lambert Road

B1. Historic Name: N/A

B2. Common Name: n/a

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1977 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier

Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12508 Lambert Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12508 Lambert Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

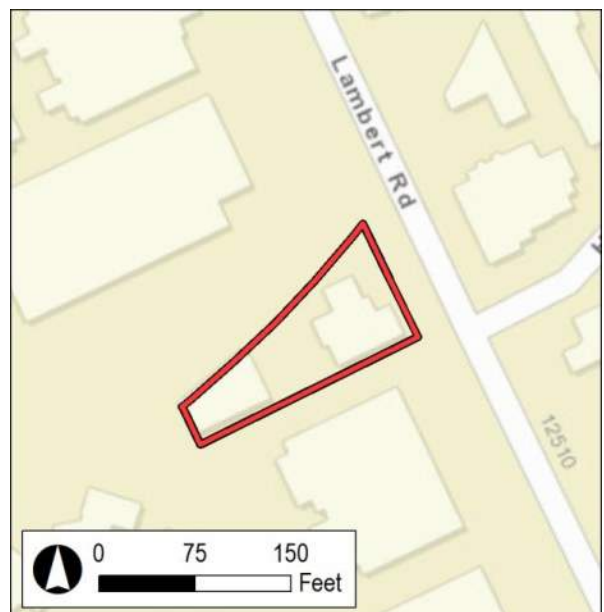
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12508 Lambert Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12508 Lambert Road was constructed in 1977 and is a Contemporary-style commercial building (**Photographs 1-2**). It occupies the front of the lot and has an east-facing orientation. It is a one-story office building with an irregular plan. The office storefront encompasses the southern portion of the building and a porte-cochere spans the northern end of the building.

The rear portion of the building has a flat roof with parapet and wide eaves, the front office storefront has a hipped roof covered with standing-seam sheet metal. The walls are stucco and concrete block. The building sits on a concrete slab foundation. The office storefront has full-length metal-frame ribbon windows along the east elevation and metal-frame and glass, storefront, double-leaf door along the north elevation. The porte-cochere has narrow, metal-frame windows and steel doors. A metal roll-up garage door spans the west elevation of the port-cochere that allows for access to the rear of the property. The north and south elevations are unadorned, concrete block, end walls. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

McAlester, Virginia and Lee McAlester. 1984. A Field Guide to American Houses. New York: Alfred A. Knopf, Inc.

Page 4 of 5

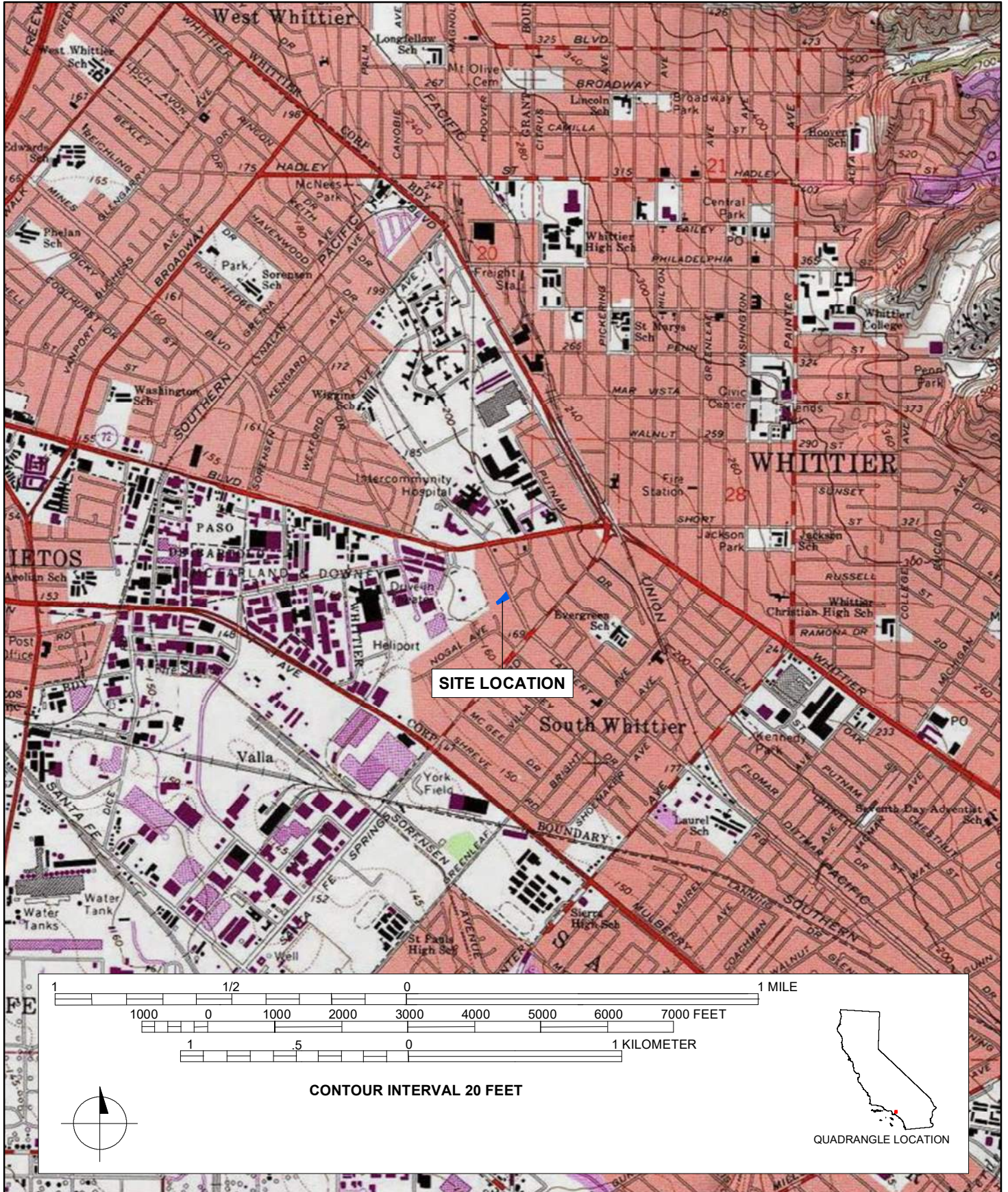
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12508 Lambert Road

Continuation  Update



Photograph 2. View of E elevation, camera facing west, 12/17/2019, DSCN0122



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12541 Lambert Road

P1. Other Identifier: 12541 Lambert Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12541 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758719mE/403359mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-036-004

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W elevation/façade, camera facing north, 12/17/2019, DSCN0119

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1980 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12541 Lambert Road

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style/Neo-Mission Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1980 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier

Period of Significance 1980s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12541 Lambert Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12541 Lambert Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12541 Lambert Road

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12541 Lambert Road was constructed in 1980 and is a Contemporary-style commercial building with Neo-Mission Revival features (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story office building with a rectangular plan.

The building has a flat roof with parapet and a wood cornice. A Spanish tile covered awning with chamfered rafter ends spans the façade. The walls are brick, and the west elevation façade has three wooden engaged posts. The building sits on a concrete slab foundation. The west elevation façade includes two entrances, both are wood panel doors with metal-frame, storefront windows at either end. There are two smaller, fixed windows with metal security grills located at the center of the façade. The south elevation has no windows or doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

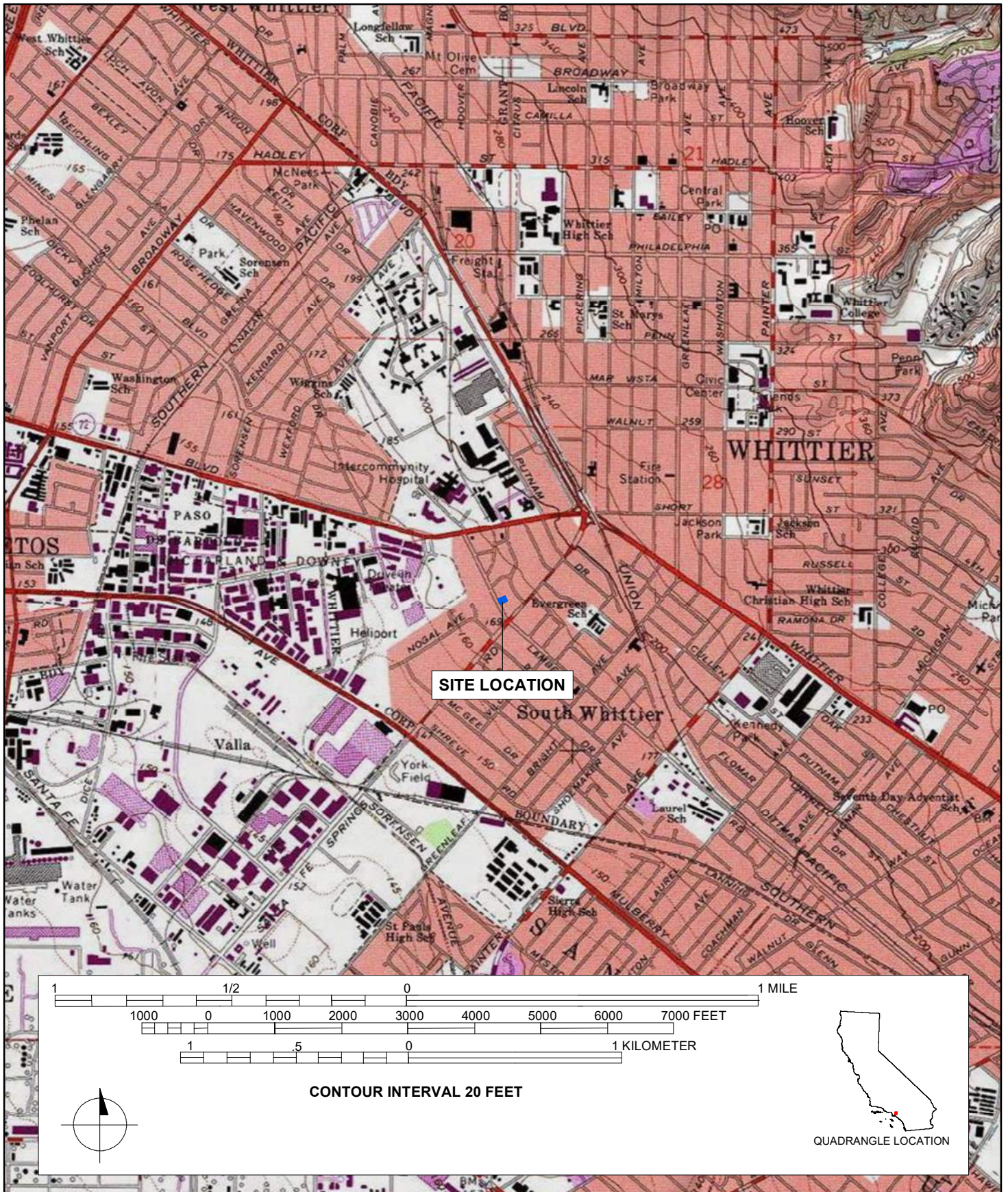
Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 9748 Lochinvar Drive

P1. Other Identifier: 9748 Lochinvar Drive

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 9748 Lochinvar Drive City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759942mE/399759mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-004-001

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of E elevation, camera facing west, 12/17/2019, DSCN0167

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 9748 Lochinvar Drive

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor); Between 2017 and 2019 the windows along the southeast elevation were replaced (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Pico Rivera  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 9748 Lochinvar Drive does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 9748 Lochinvar Drive is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 9748 Lochinvar Drive  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 9748 Lochinvar Drive was constructed in 1957 and is a Ranch-style, single-family residence (**Photographs 1-2**). It occupies the center of the lot and has a southeast-facing orientation. It is a one-story, wood-framed, building with rectangular plan. Between 2017 and 2019 the windows along the southeast elevation were replaced (Google Streetview 2019).

The building has a cross-gable roof with overhanging eaves and exposed rafter ends that is covered with composite shingles. The walls are clad with stucco and board and batten siding. The southeast elevation façade has double-hung, fiberglass-sash, four-over-four windows with wide surrounds, and a tripartite bay window. The main entry is filled with a panel door with metal screen. Along the south portion of the façade is an inset porch with square wood posts and metal handrails. The northeast elevation also has an attached, two-car garage with a metal roll-up garage door with four fanlights and a built-in birdhouse at the gable end. The building has a concrete slab foundation. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement windows and garage door.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

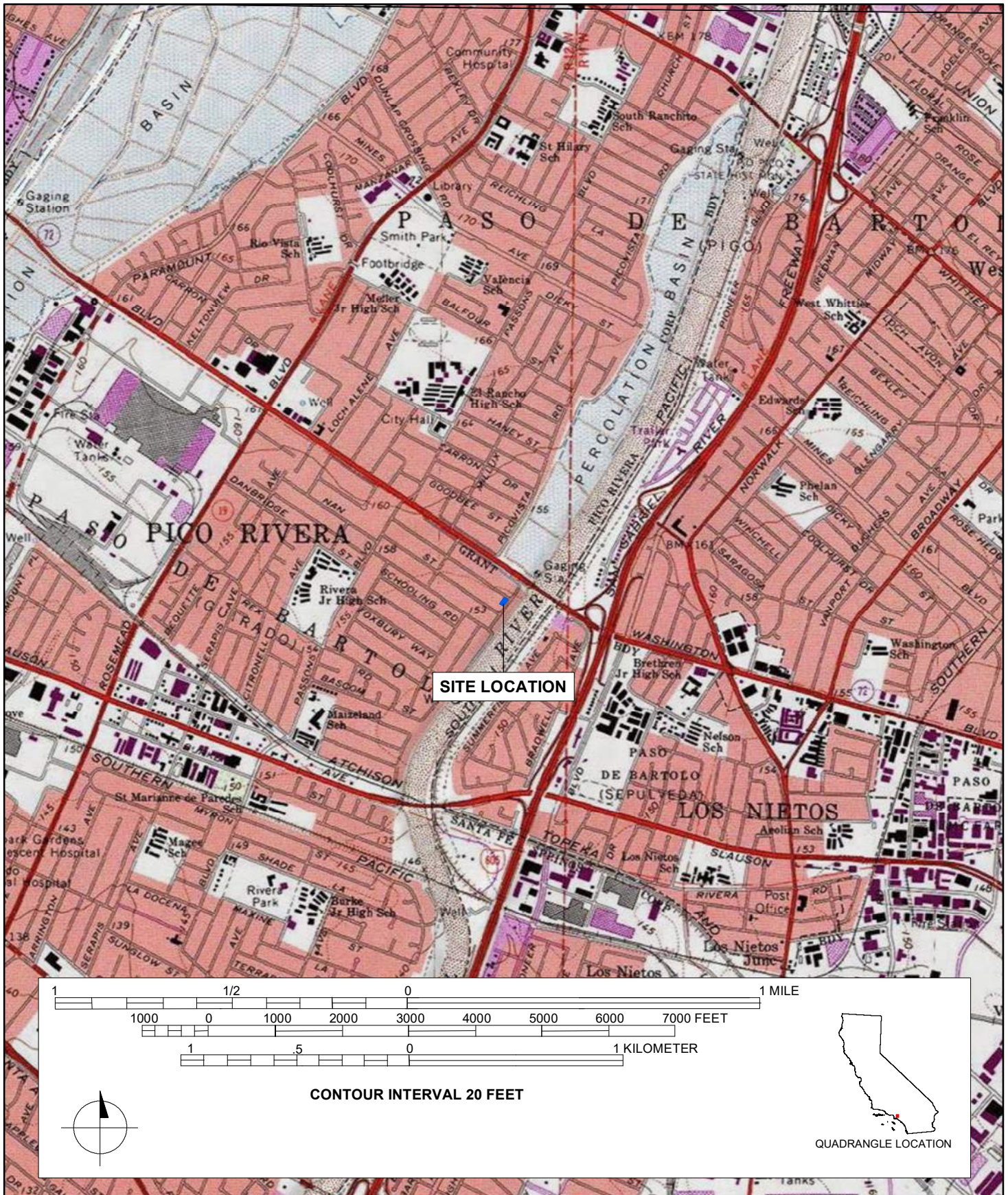
Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 9748 Lochinvar Drive  
 Continuation  Update



Photograph 2. View of N and E elevations, camera facing southwest, 12/17/2019, DSCN0169





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 10601 Lochinvar Street

P1. Other Identifier: 10601 Lochinvar Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 10601 Lochinvar Street City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759801mE/400109mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8177-008-035

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing northwest, 12/17/2019, DSCN0165

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1952 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 10601 Lochinvar Street

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1952 (Los Angeles County Assessor); Building permit data indicates vinyl siding was installed in 2002, the roof was replaced in 1996, a rear building addition was constructed in 1987, and an aluminum patio enclosure was constructed in 1982.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 10601 Lochinvar Street does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 10601 Lochinvar Street is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

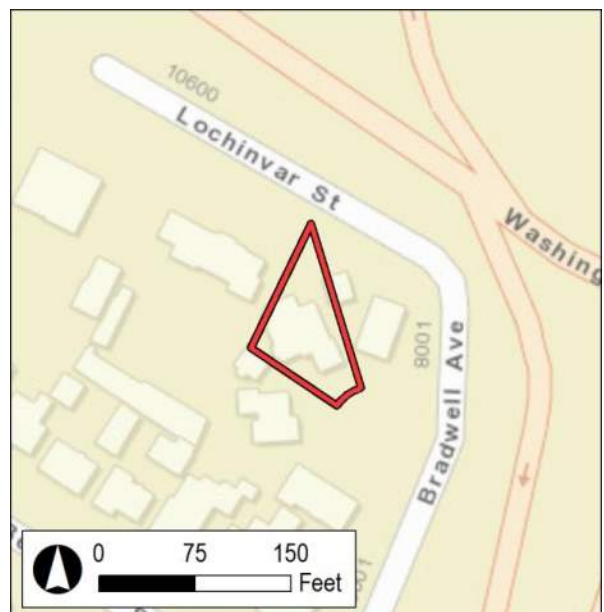
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 10601 Lochinvar Street

Continuation  Update

**\*P3a. Description (continued):**

The property located at 10601 Lochinvar Street was constructed in 1952 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southeast-facing orientation. It is a one-story, wood-framed, building with a modified L-shaped plan. Building permit data indicates vinyl siding was installed in 2002, the roof was replaced in 1996, a rear building addition was constructed in 1987, and an aluminum patio enclosure was constructed in 1982.

The building has a hipped roof that is covered with composite shingles. There is vinyl siding along the porch gable end. The walls are clad with stucco. The southeast elevation façade has double-hung, one-over-one windows with wide surrounds and covered with metal security grills. The windows also have vinyl awnings. The porch is enclosed by metal gates. The building also has an attached, two-car garage with a metal roll-up garage door with four fanlights. The building has a concrete slab foundation. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

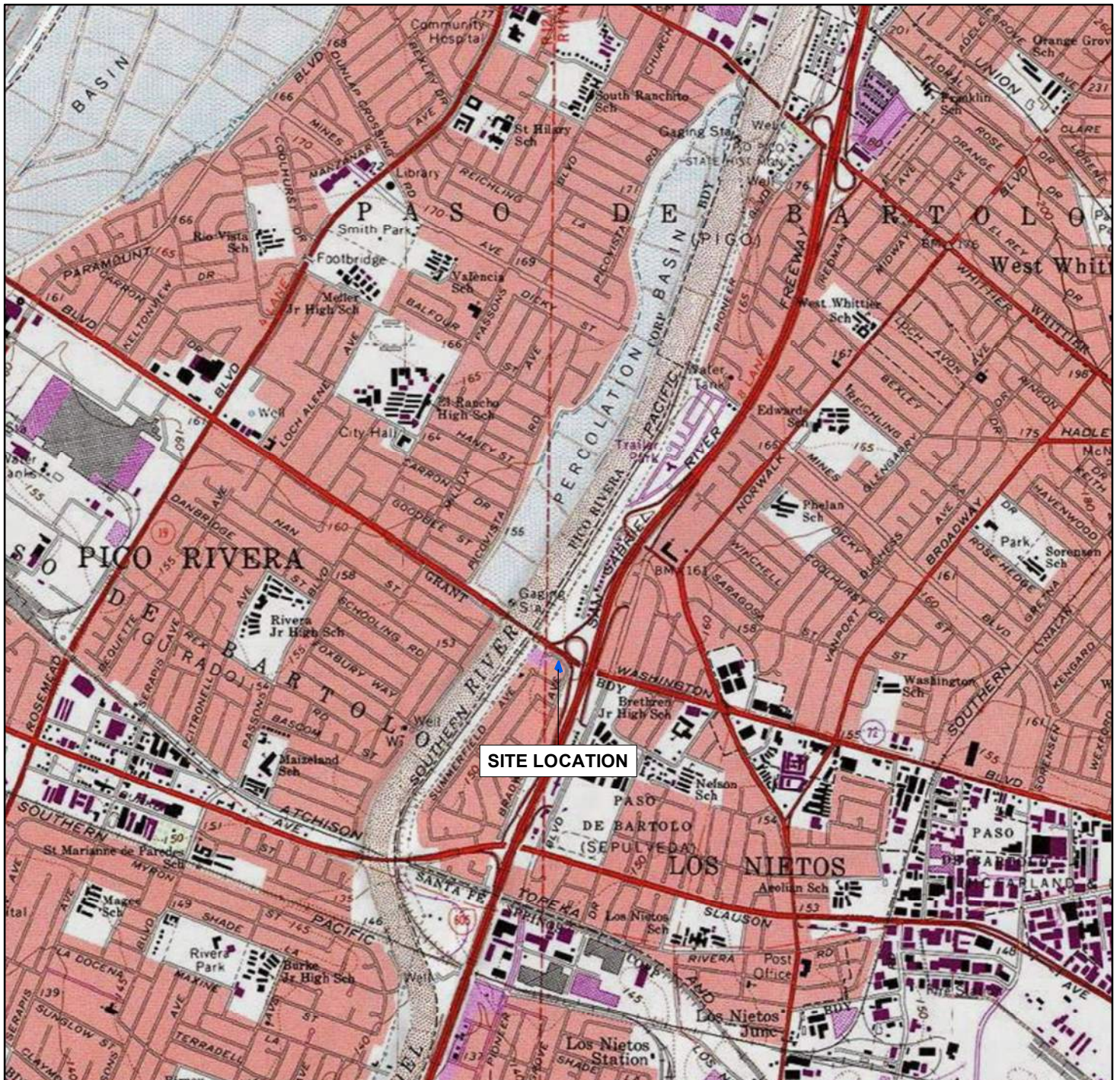
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

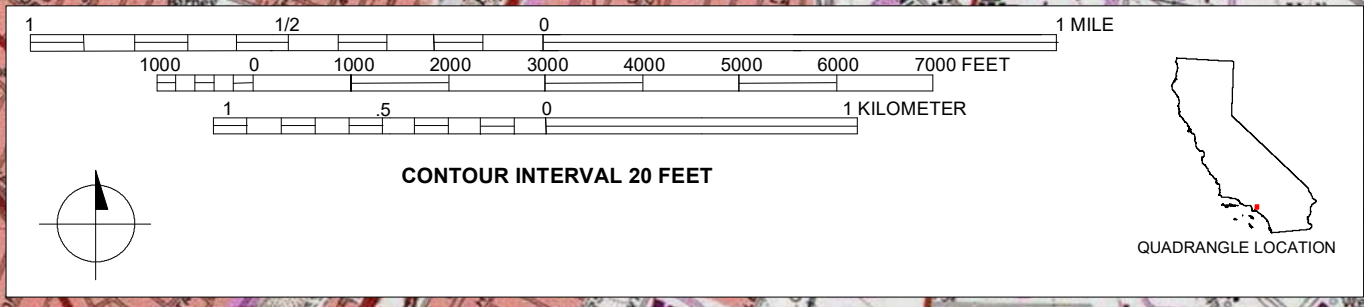
Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.



**SITE LOCATION**



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 10603 Lochinvar Street

P1. Other Identifier: 10603 Lochinvar Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 10603 Lochinvar Street City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759804mE/400126mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8177-008-046

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/façade, camera facing north, 12/17/2019, IMG 9114

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1952 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 10603 Lochinvar Street

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1952 (Los Angeles County Assessor); Plumbing and electrical improvements conducted in 1991-1992.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 10603 Lochinvar Street does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the subdivision was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 10603 Lochinvar Street is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

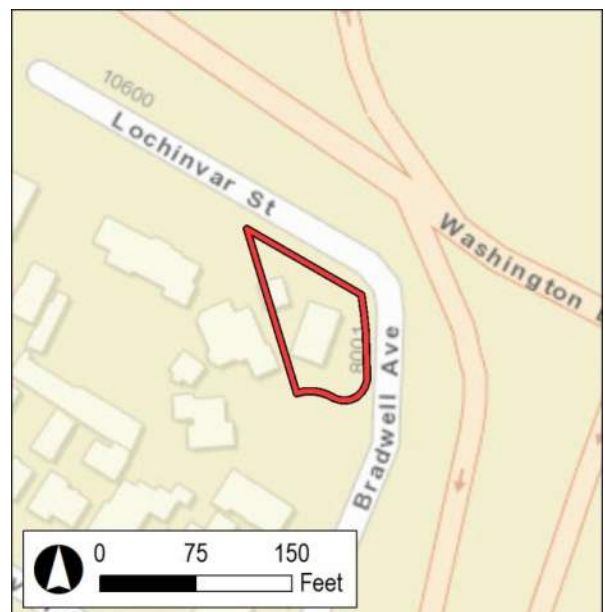
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 10603 Lochinvar Street

Continuation  Update

**\*P3a. Description (continued):**

The property located at 10603 Lochinvar Street was constructed in 1952 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with a rectangular plan.

The building has a side gable that is covered with composite shingles. The walls are clad with stucco. The south elevation façade has a full-length porch with fabricated metal posts and handrails. There is a large picture window and a horizontal slider window along the façade. The main entry is a glazed door with a metal screen. The west elevation has three horizontal slider windows with metal security grills. The building has a concrete slab foundation. To the northeast of the residence is a detached two-car garage with a pyramidal roof, stucco exterior, and a metal swing-up garage door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

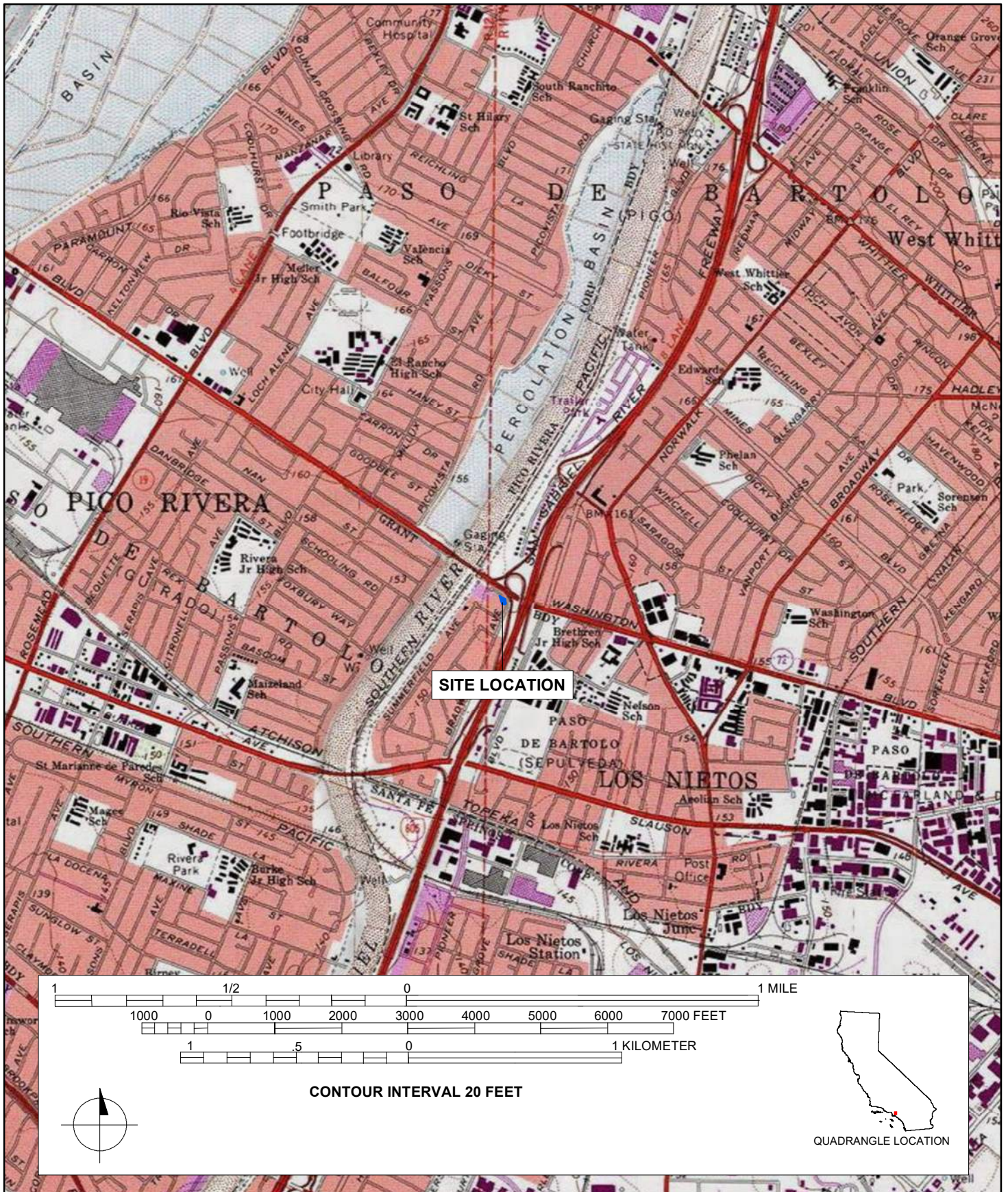
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 939 South Montebello Boulevard

P1. Other Identifier: 939 South Montebello Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 939 South Montebello Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762155mE/396939mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-027-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing northwest, 12/17/2019, DSCN0183

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1948 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 939 South Montebello Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1948 (Los Angeles County Assessor). Between 2007 and 2012 the porch was enclosed with metal gates (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Montebello  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 939 S Montebello Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 939 S Montebello Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 939 South Montebello Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 939 S Montebello Boulevard was constructed in 1948 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has an east-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. Between 2007 and 2012 the porch was enclosed with metal gates (Google Streetview 2019).

The building has a side gable roof with overhanging eaves and exposed rafter ends that is covered with composite shingles. There is clapboard siding along the porch gable end. The walls are clad with stucco. The windows are metal-frame, one-over-one window. Most of the windows are covered with metal security grills. The porch is enclosed by metal gates. The building has a concrete slab foundation. To the northwest of the residence is a detached garage with a side gable roof. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

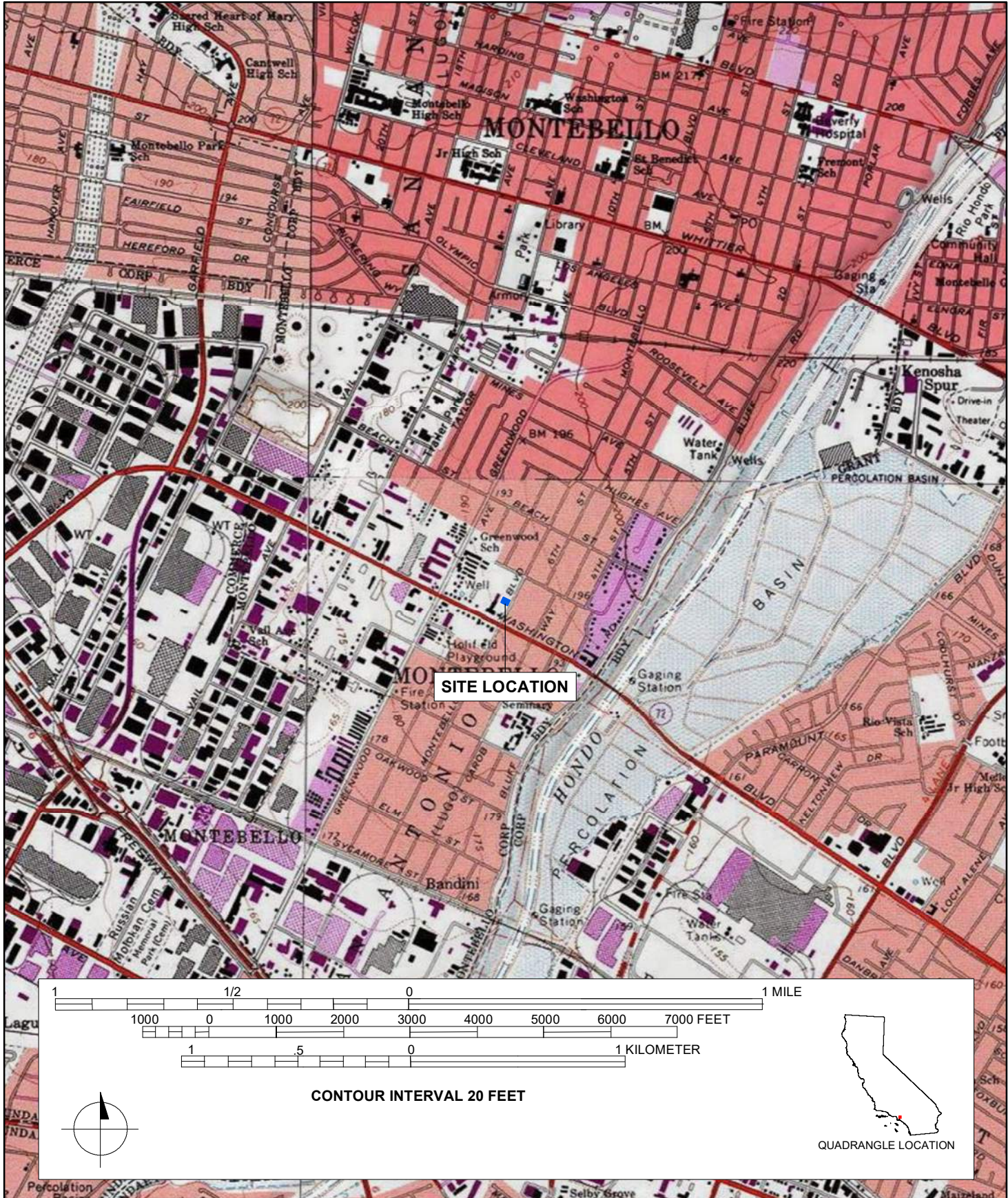
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7816 Morrill Avenue

P1. Other Identifier: 7816 Morrill Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7816 Morrill Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759763mE/400709mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8176-016-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing east, 12/17/2019, DSCN0157

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1950 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7816 Morrill Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1950 (Los Angeles County Assessor). Alterations: garage door replacement.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N.A. Artukovich

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7816 Morrill Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7816 Morrill Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7816 Morrill Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 7816 Morrill Avenue was constructed in 1950 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with a modified rectangular plan. Building permit data indicates the building had an L-shaped plan in 1950.

The building has a cross-gable roof with overhanging eaves that is covered with composite shingles. There is clapboard siding along the gable ends. The walls are clad with stucco. The windows are double-hung, wood frame, four-over-four windows arranged in singles and pairs. The paired window along the west elevation façade has a rectangular flowerbox planter mounted to the wall. The building has a concrete slab foundation. There is an attached two-car garage addition with a metal roll-up garage door with four lights. The resource retains its location, setting, materials, feeling, and association, but its workmanship and design are compromised due to building additions.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

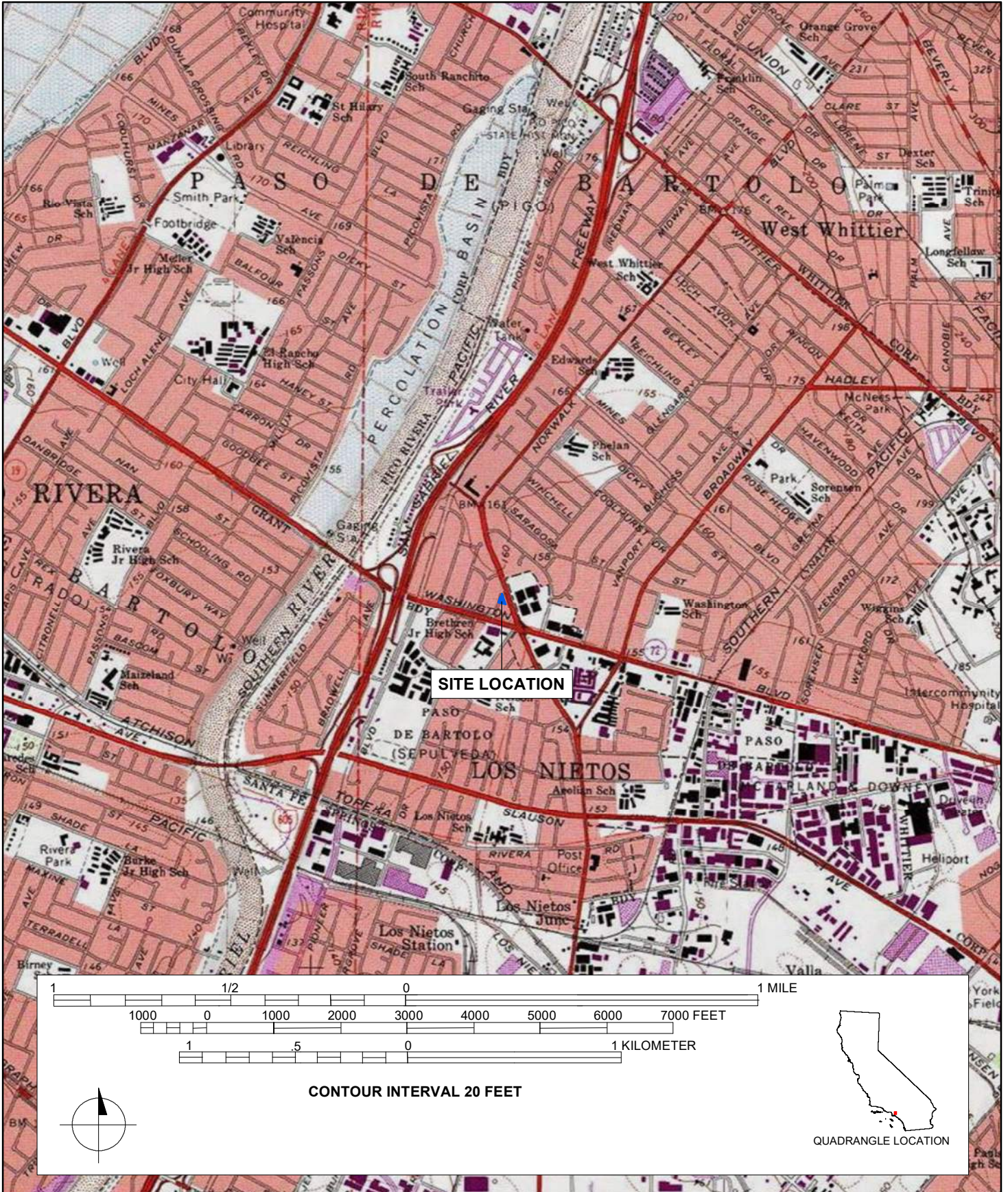
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7844 Morrill Avenue

P1. Other Identifier: 7844 Morrill Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7844 Morrill Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759679mE/400688mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8176-016-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W elevation/façade, camera facing east, 12/17/2019, IMG 9111

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1950 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7844 Morrill Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1950 (Los Angeles County Assessor). Alterations: window replacement and exterior cladding alterations.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7844 Morrill Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7844 Morrill Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

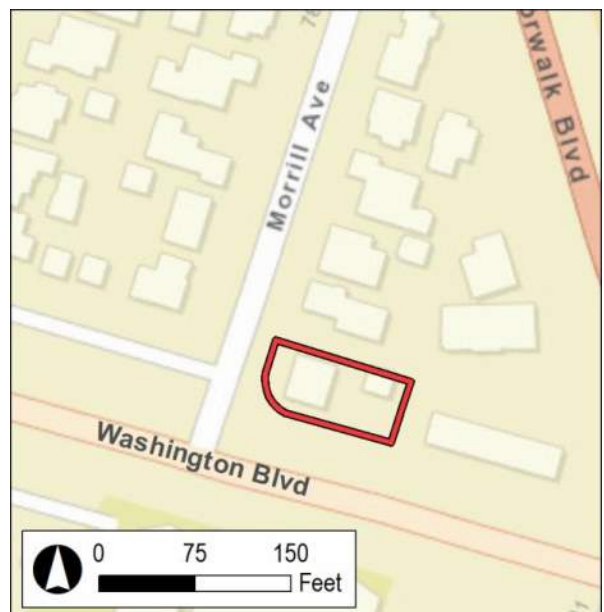
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7844 Morrill Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 7844 Morrill Avenue was constructed in 1950 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan. Building permit data indicates the building had an L-shaped plan in 1950.

The building has a cross-gable roof with overhanging eaves that is covered with composite shingles. There is clapboard siding along the gable ends. The walls are clad with stucco and a fieldstone water table wraps around the building. The windows are fiberglass-sash, horizontal slider windows arranged in singles and pairs. The porch has two wood post supports and a concrete stoop. The main entry faces north and is a panel door with metal screen. The south elevation has two windows and a louvered vent at the gable end. The building has a concrete slab foundation. To the east, at the rear of the property is a detached garage with a front gable roof and stucco exterior cladding. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

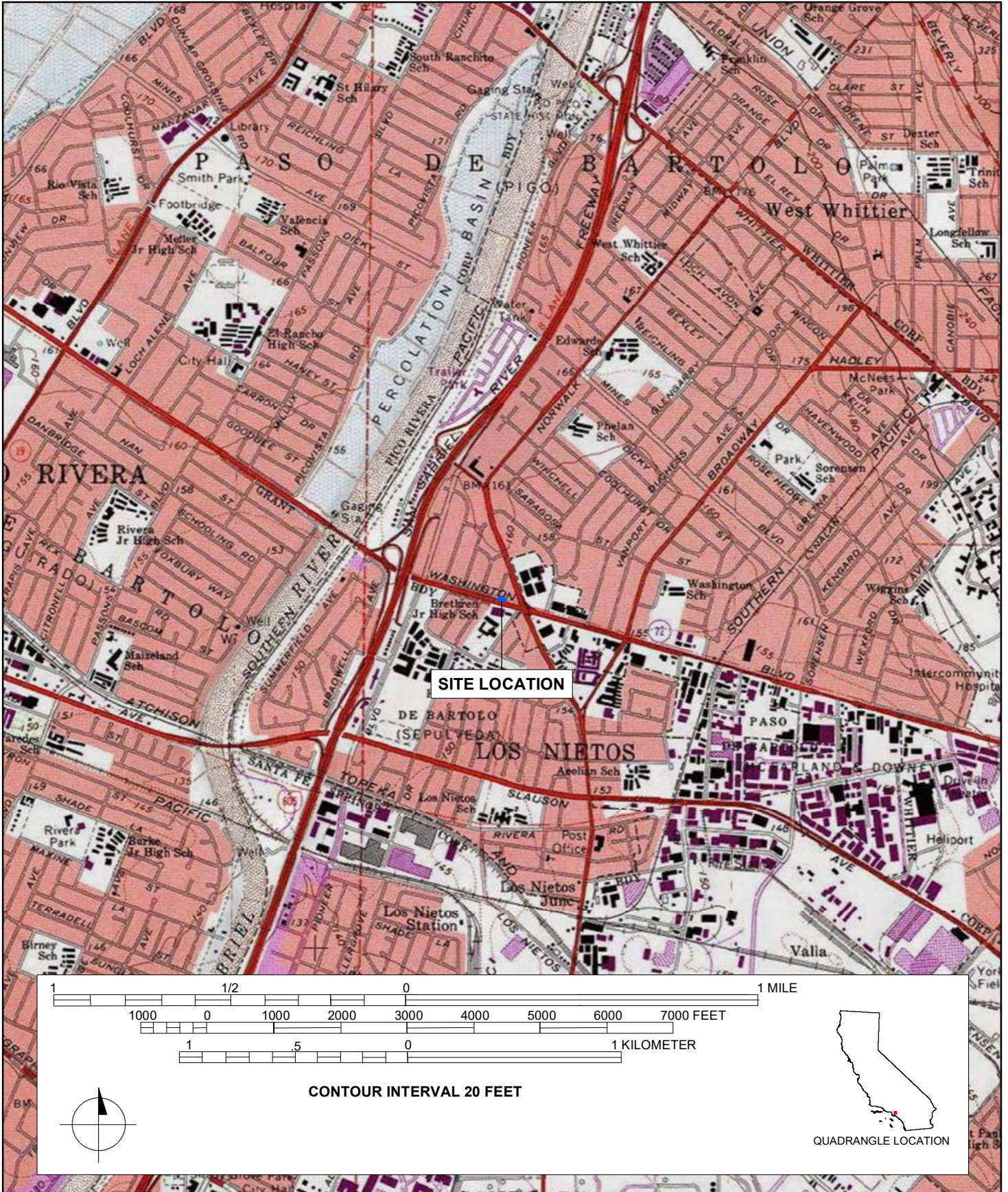
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8617 Nogal Avenue

P1. Other Identifier: 8617 Nogal Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8617 Nogal Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758615mE/403282mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-001

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/façade, camera facing east, 12/17/2019, DSCN0104

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1948 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8617 Nogal Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1948 (Los Angeles County Assessor). Alterations: window replacements and exterior cladding alterations.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: nN/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8617 Nogal Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8617 Nogal Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

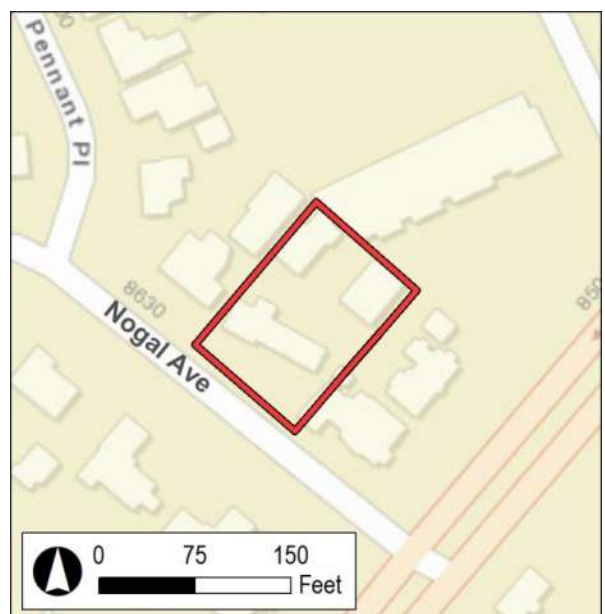
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8617 Nogal Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 8617 Nogal Avenue was constructed in 1948 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with a T-shaped plan.

The building has a side gable roof with overhanging eaves that is covered with composite shingles. The walls are clad with stucco and fieldstone. There is shingle siding along the gable ends. The windows are fiberglass-sash, horizontal slider windows, and metal-frame multi-light windows. The main entry faces west and has a metal screen. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the windows along the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

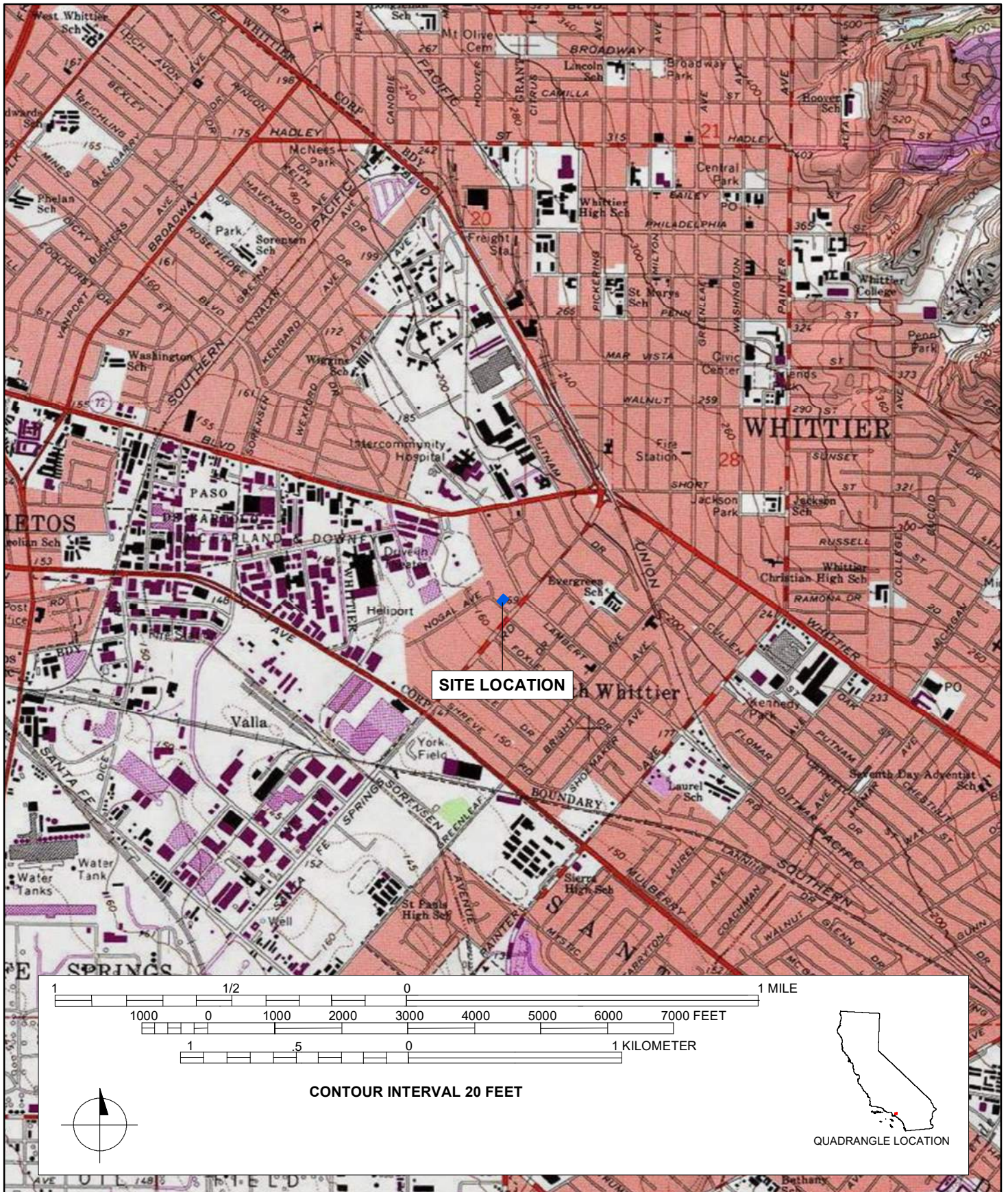
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8605 Nogal Avenue

P1. Other Identifier: 8605 Nogal Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 8605 Nogal Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758585mE/403298mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-002

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/17/2019, DSCN0106

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1949 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8605 Nogal Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1949 (Los Angeles County Assessor). Between 2007 and 2011 the garage door was replaced, and between 2016 and 2019 the windows were replaced, and the brick porch supports were replaced with wood posts (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8605 Nogal Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8605 Nogal Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8605 Nogal Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8605 Nogal Avenue was constructed in 1949 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southwest-facing orientation. It is a one-story, wood-framed, building with an irregular plan. Between 2007 and 2011 the garage door was replaced, and between 2016 and 2019 the windows were replaced, and the brick porch supports were replaced with wood posts (Google Streetview 2019).

The building has a hipped roof with overhanging eaves that is covered with composite shingles. An end-wall, brick chimney is centrally located along the southwest elevation façade. The walls are clad with stucco. The windows are double-hung, fiberglass-sash, one-over-one windows. The main entry faces southwest and has a metal screen. The inset porch has two, square wood posts and a brick stoop. There is an attached two-car garage with a paneled, swing-up garage door along the westernmost portion of the southwest elevation. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the windows and porch.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

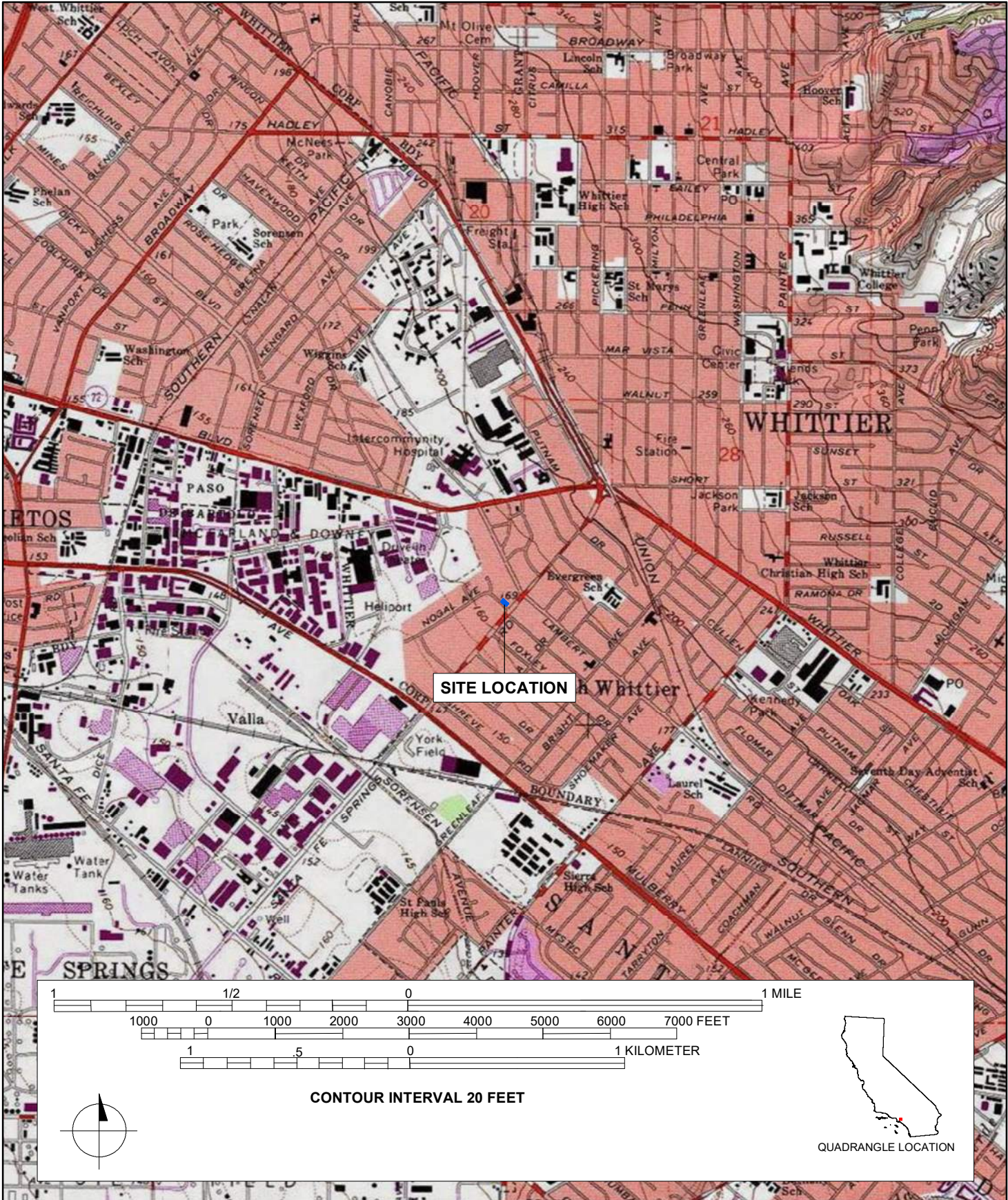
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8625 Nogal Avenue

P1. Other Identifier: 8625 Nogal Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8625 Nogal Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758629mE/403262mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/façade, camera facing north, 12/17/2019, IMG 9084

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8625 Nogal Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor OR based on field observation); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme n/a Area n/a  
Period of Significance n/a Property Type n/a Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8625 Nogal Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century Residential development in Whittier, the resource lacks integrity and is common examples of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lack architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8625 Nogal Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

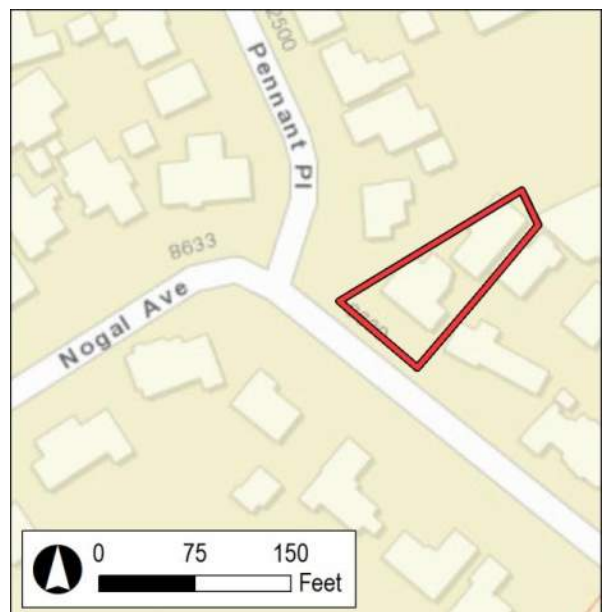
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8625 Nogal Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8625 Nogal Avenue was constructed in 1955 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southwest-facing orientation. It is a one-story, wood-framed, building with an irregular plan.

The building has a side gable roof with overhanging eaves that is covered with composite shingles. An ridgeline, brick chimney is centrally located. The walls are clad with board and batten siding. The windows are double-hung, fiberglass-sash and aluminum frame, one-over-one windows. The main entry faces southwest and has a metal screen. The inset porch has a concrete stoop. There is an attached two-car garage along the southernmost portion of the east elevation. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the windows and doors.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

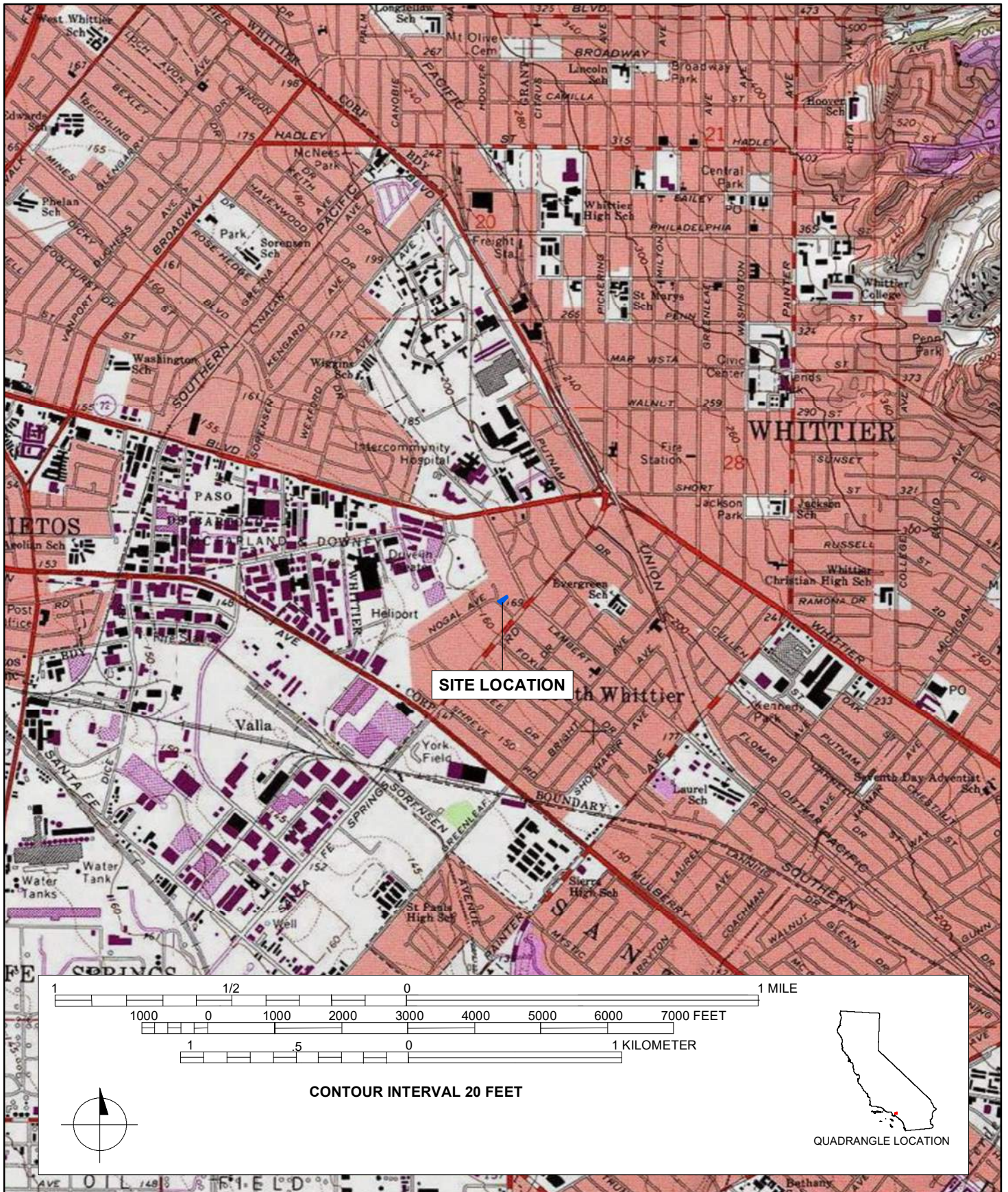
City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 4 of 4 \* Resource Name or # (Assigned by recorder) 8625 Nogal Ave

\* Map Name: Whittier, Calif. 7.5' Quadrangle \* Scale: 1:24,000 \* Date of Map: 1981





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7911 Norwalk Boulevard

P1. Other Identifier: 7911 Norwalk Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7911 Norwalk Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759714mE/400726mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8176-016-026

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of E elevation/facade, camera facing northwest, 12/17/2019, DSCN0159

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7911 Norwalk Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor). Alterations: window replacements and addition of awnings.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7911 Norwalk Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7911 Norwalk Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

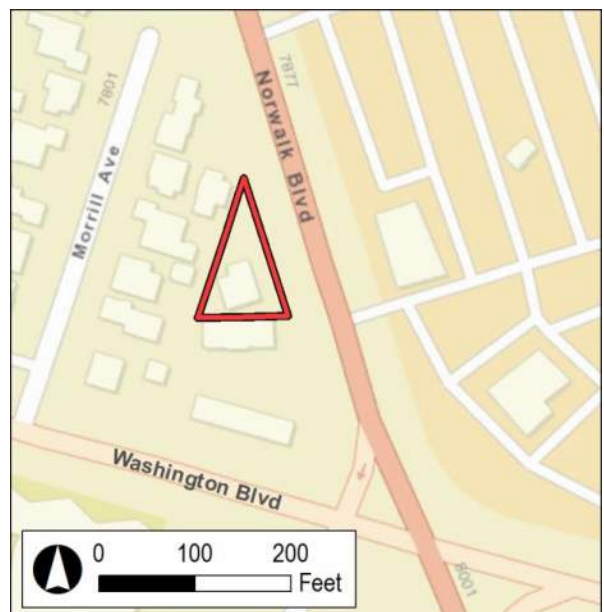
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7911 Norwalk Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 7911 Norwalk Boulevard was constructed in 1957 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has an east-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a hipped roof with overhanging eaves that is covered with composite shingles. The walls are clad with stucco. The windows are double-hung, metal-frame, one-over-one windows with wide surrounds and vinyl awnings. The main entry is covered by a vinyl awning the door has a metal screen. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the windows.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

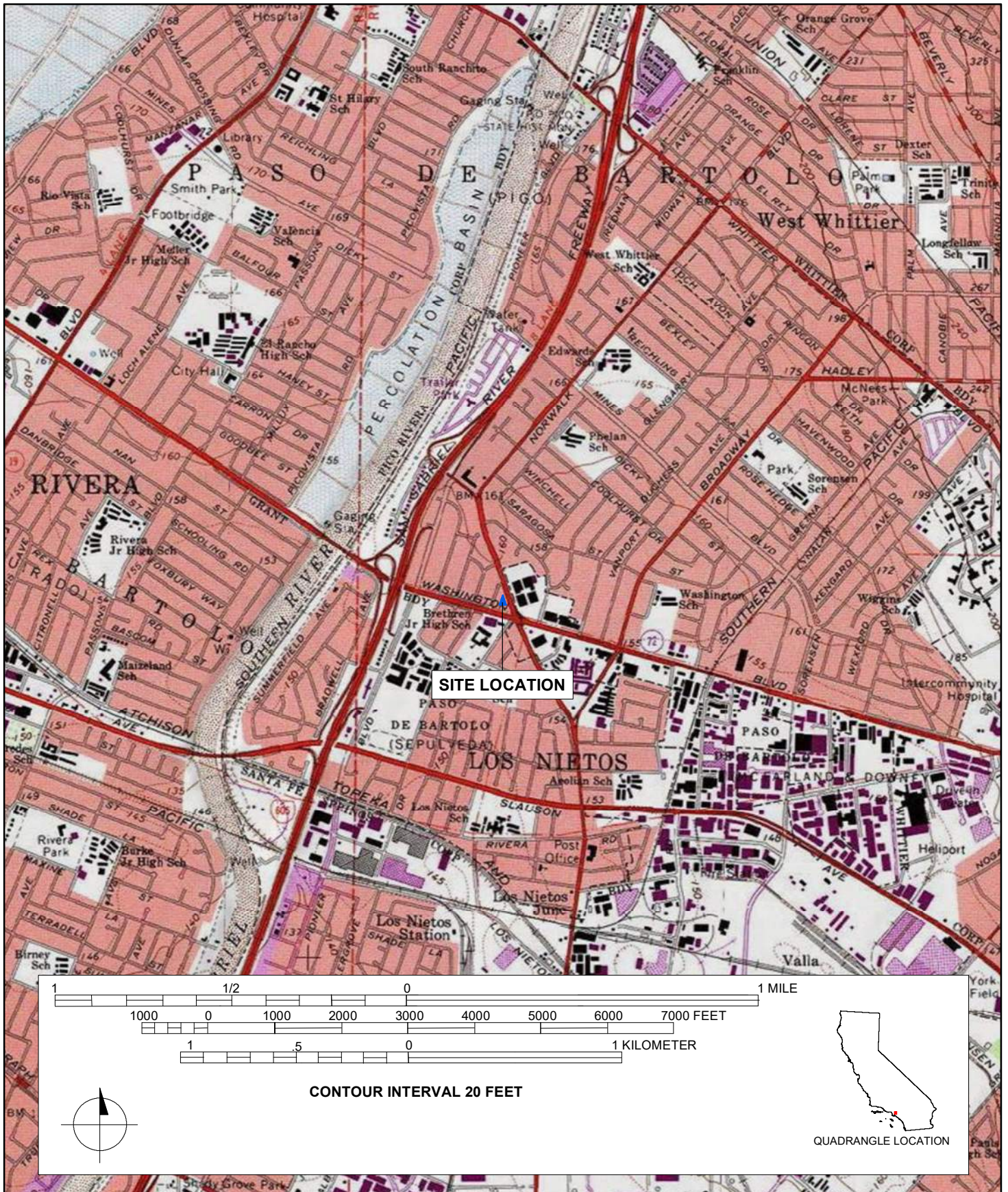
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8039-8045 Norwalk Boulevard

P1. Other Identifier: 8039-8045 Norwalk Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8039-8045 Norwalk Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759504mE/400802mN

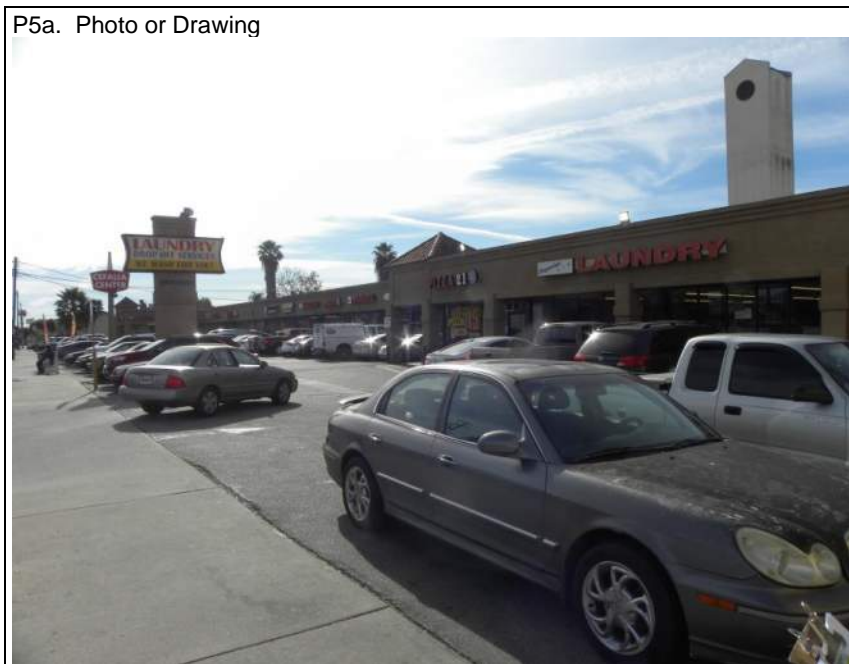
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8178-004-004, 8178-004-005

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing south, 12/17/2019, DSCN0161

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1965 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: N/A
- B2. Common Name: Cefalia Center
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1965 (Los Angeles County Assessor); Illuminated wall signs installed in 2010. In addition, the façade appears to have been resurfaced in the last fifteen years.

\*B7. Moved? X No      Yes      Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A      b. Builder: N/A

\*B10. Significance: Theme Commercial development      Area Santa Fe Springs  
Period of Significance 1960s      Property Type Shopping center      Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8039-8045 Norwalk Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8039-8045 Norwalk Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

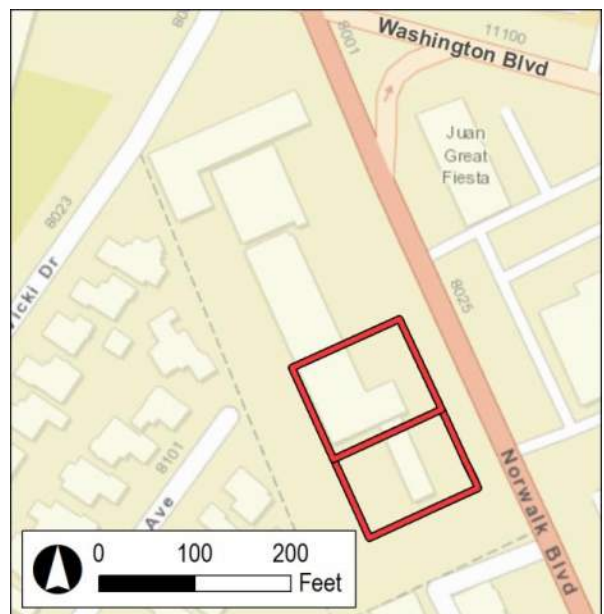
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8039-8045 Norwalk Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8039-8045 Norwalk Boulevard, the Cefalia Center, was constructed in 1965 and is a Contemporary-style commercial building with multiple storefronts (**Photograph 1**). It occupies the western portion of the lot, is fronted by a paved parking lot, and has a northeast-facing orientation. The building is a one-story, wood-framed, building with a modified irregular plan. Although originally constructed in 1965, building permit data indicates a building addition was constructed in 1967 and illuminated wall signs were installed in 2010. In addition, the façade appears to have been resurfaced in the last fifteen years.

The building has a flat roof covered with composite material with a banded parapet, the southern end of the building has a decorative turret with a pyramidal roof covered with tile. The walls are clad with stucco and have horizontal banding. The building's storefronts have metal-frame and glass storefront windows with single-entry doors. There is a pylon mounted sign at the center of the parking lot. The resource retains some aspects of its integrity; however, the renovation of the façade and building additions have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

Contemporary Architecture:

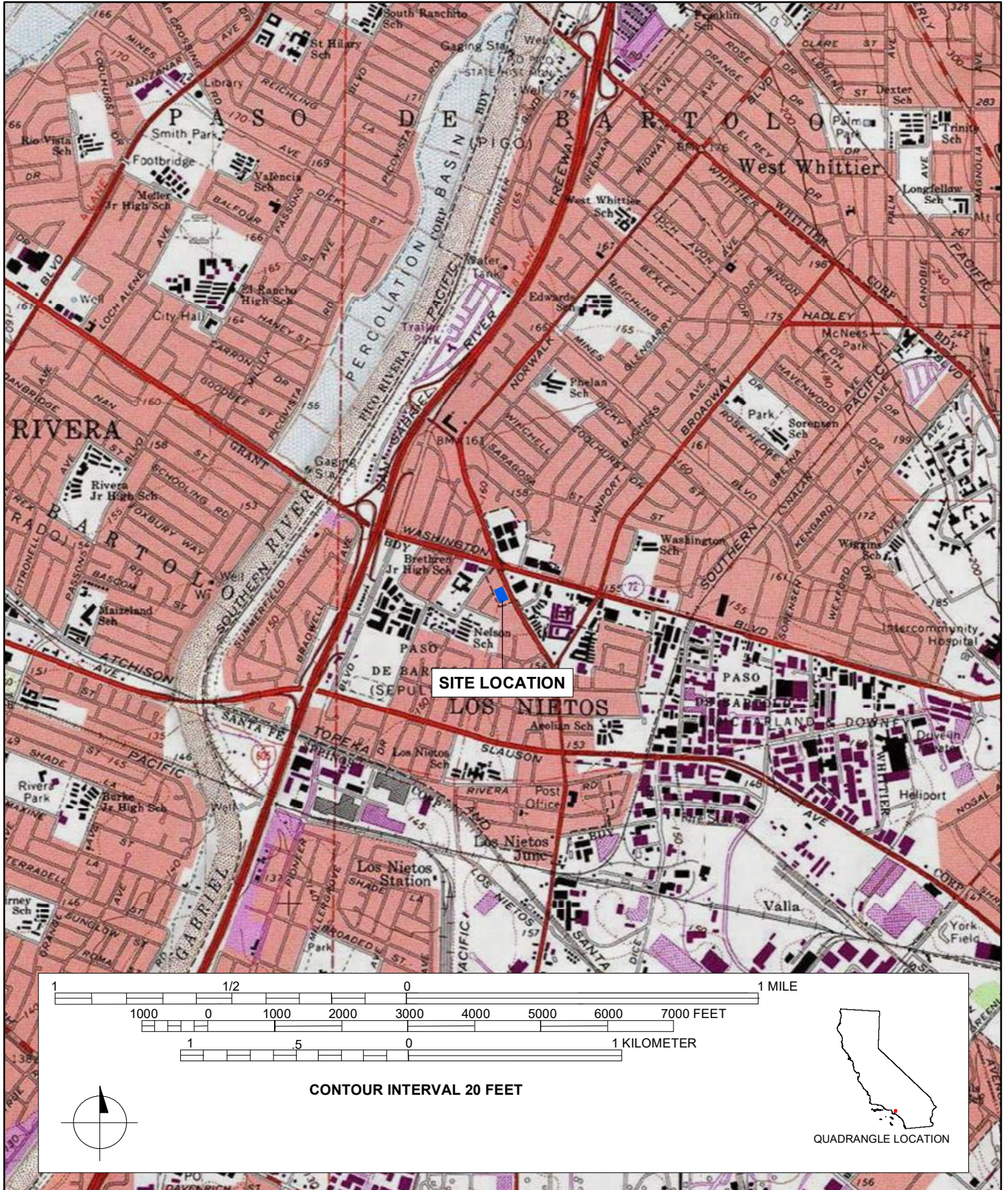
The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A. Knopf, Inc.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7–8. *Santa Fe Springs: Santa Fe Springs Historical Committee*.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12501 Pennant Place

P1. Other Identifier: 12501 Pennant Pl

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12501 Pennant Pl City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758738mE/403207mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/facade, camera facing north, 12/17/2019, DSCN0110

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12501 Pennant Place

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955 (Los Angeles County Assessor). Between 2012 and 2019 the building's exterior cladding was replaced with fieldstone veneer, the windows were replaced, and the garage door was replaced (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12501 Pennant Place does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12501 Pennant Place is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

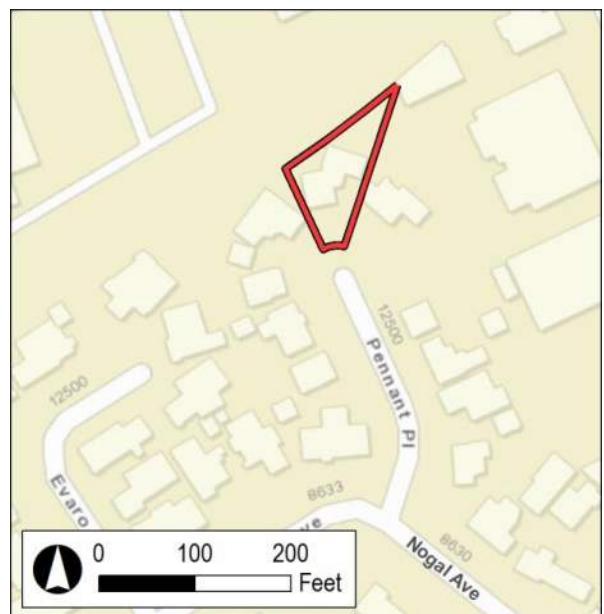
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12501 Pennant Place  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12501 Pennant Place was constructed in 1955 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the rear of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with an irregular plan. Between 2012 and 2019 the building's exterior cladding was replaced with fieldstone veneer, the windows were replaced, and the garage door was replaced (Google Streetview 2019).

The building has a front gable roof with overhanging eaves that is covered with composite shingles. The walls are clad with fieldstone veneer. The windows are double-hung, metal-frame, horizontal slider windows. To the east of the building is an attached, two-car garage with a paneled roll-up garage door. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the windows and doors.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

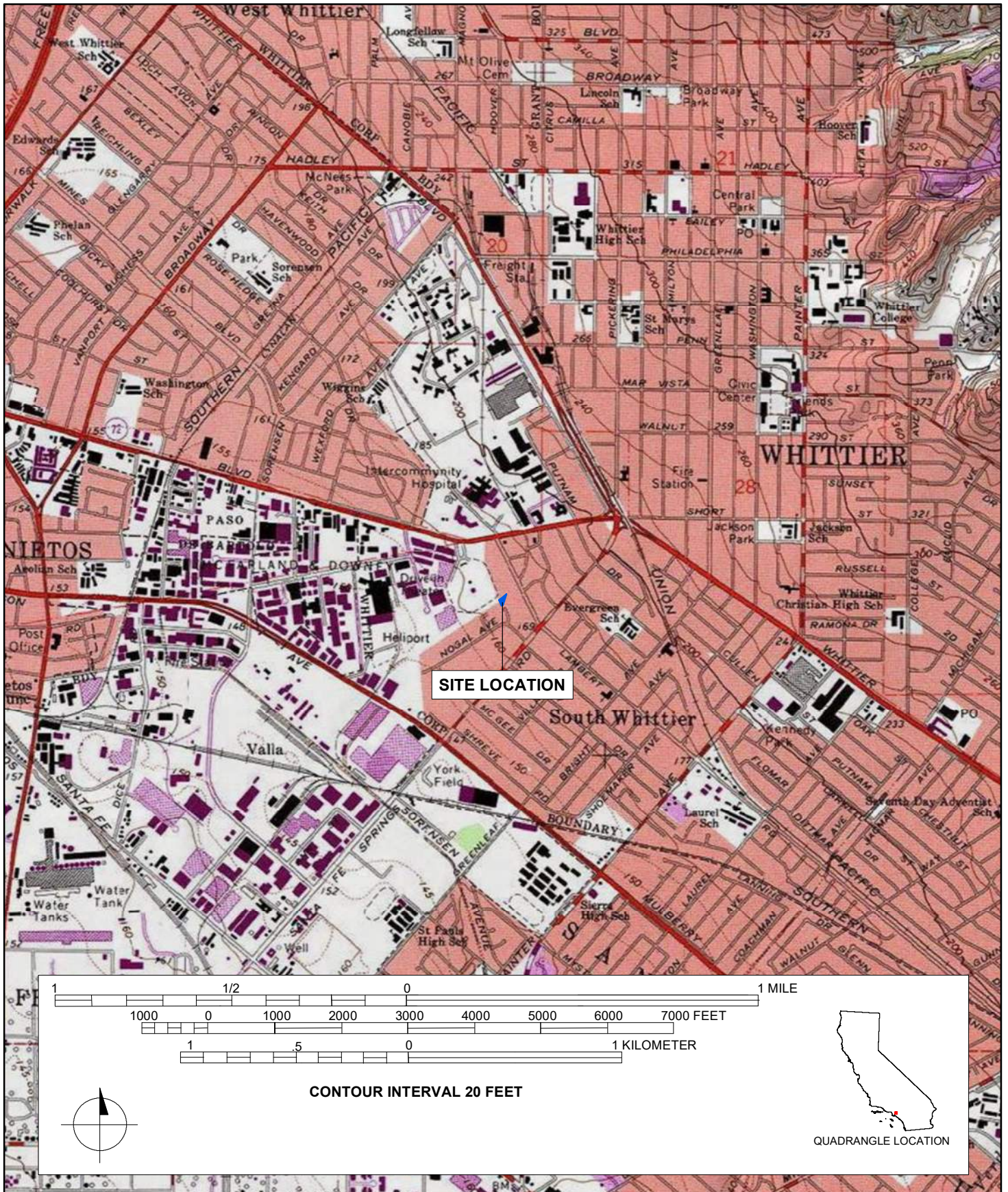
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12502 Pennant Place

P1. Other Identifier: 12502 Pennant Place

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12502 Pennant Place City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758705mE/403178mN

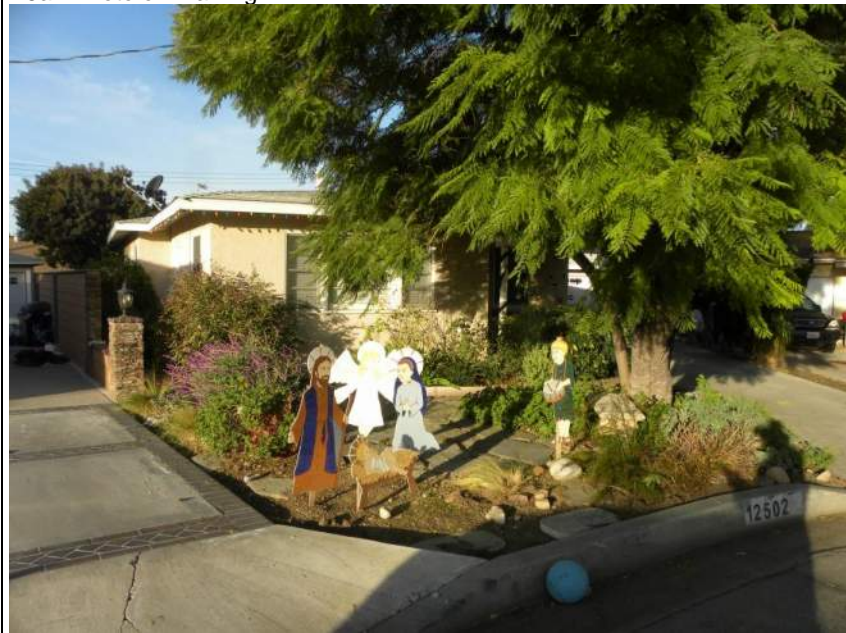
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-012

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of E elevation/facade, camera facing west, 12/17/2019, DSCN0108

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12502 Pennant Place

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955 (Los Angeles County Assessor). Between 2007 and 2011 the building's garage door was replaced (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12502 Pennant Place does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12502 Pennant Place is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

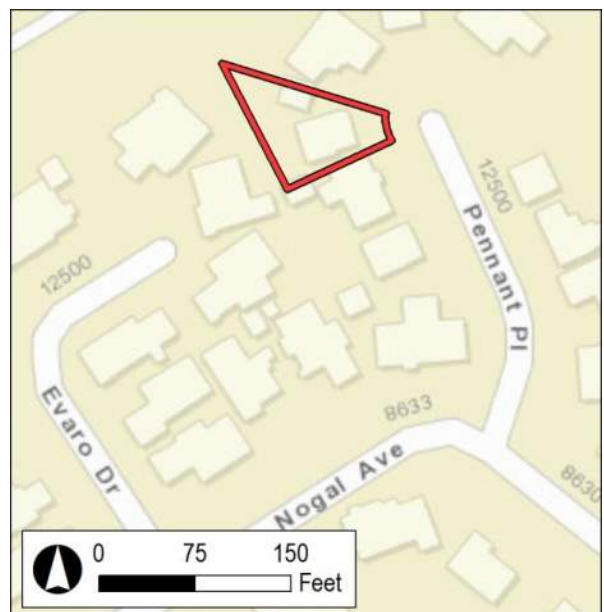
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12502 Pennant Place

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12502 Pennant Place was constructed in 1955 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has an east-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. Between 2007 and 2011 the building's garage door was replaced (Google Streetview 2019).

The building has a hipped roof with overhanging eaves that is covered with composite shingles. The walls are clad with stucco. The windows are tripartite, metal-frame, horizontal slider windows with horizontal muntins. There is a partial length porch with wood posts and handrails. No doors are visible from the public right-of-way. To the northwest of the building is detached, two-car garage with a paneled roll-up garage door. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to alterations to the garage.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerken, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

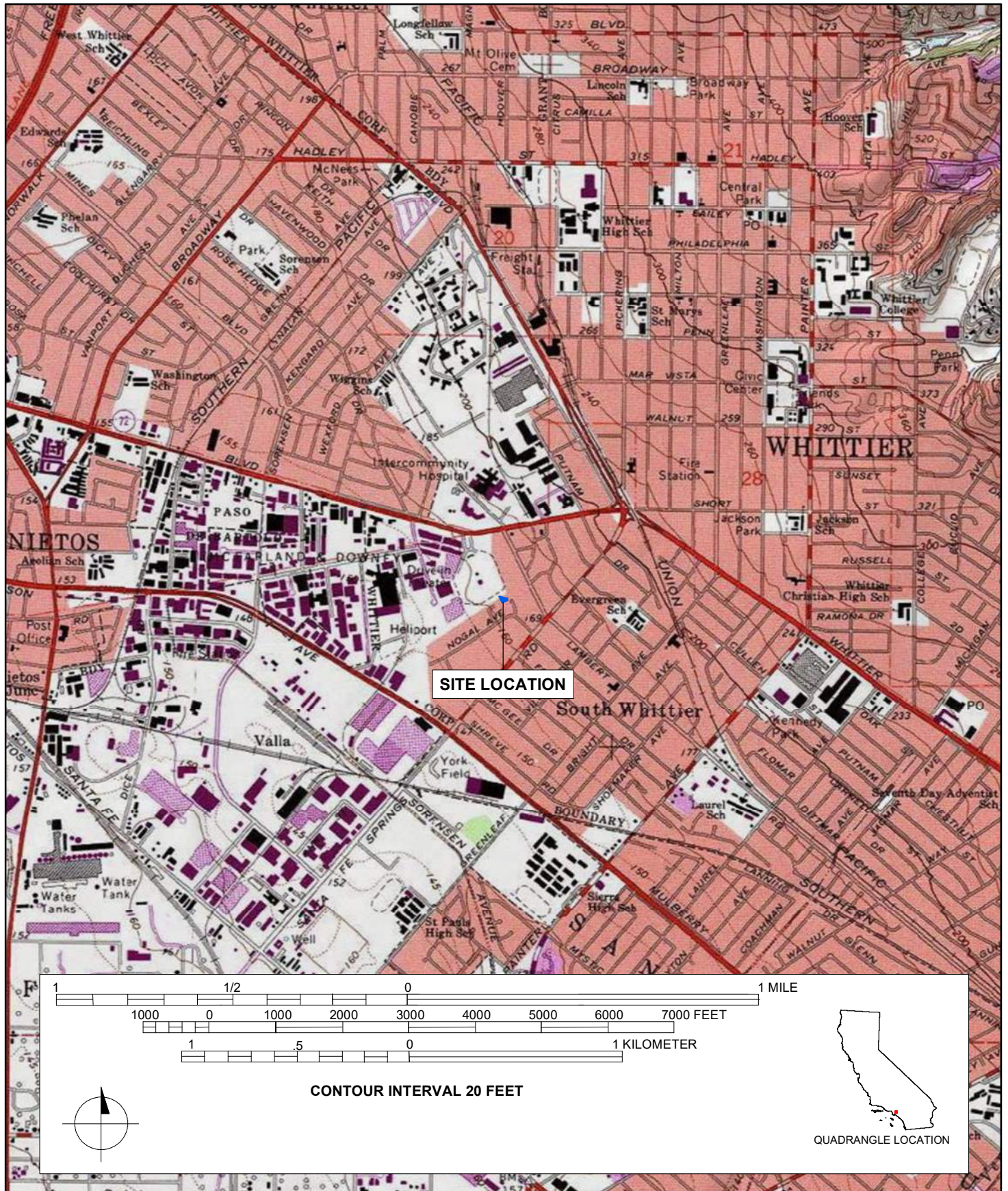
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12500 Pennant Place

P1. Other Identifier: 12500 Pennant Place

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12500 Pennant Place City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758722mE/403184mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/façade, camera facing north, 12/17/2019, IMG 9086

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12500 Pennant Place

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956 (Los Angeles County Assessor). Alterations: window replacements.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12500 Pennant Place does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12500 Pennant Place is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

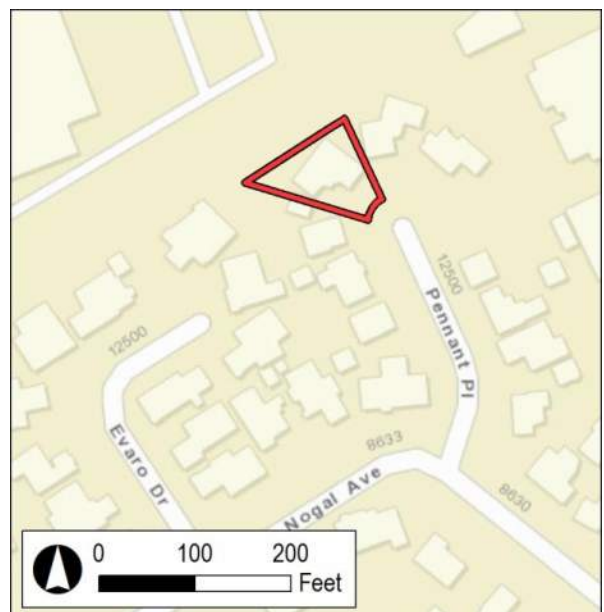
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12500 Pennant Place  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12500 Pennant Place was constructed in 1955 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the center of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a gable on hip roof with overhanging eaves that is covered with composite shingles. The walls are clad with stucco with sill course banding. The windows are non-historic, double-hung, metal-frame, two-over-two windows. There is a partial length, shed roof, with one wood post along the facade. The main entry is a glazed door with screen. To the southeast of the building is an attached, two-car garage with a paneled swing-up garage door. The building has a concrete slab foundation. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to alterations to the windows.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

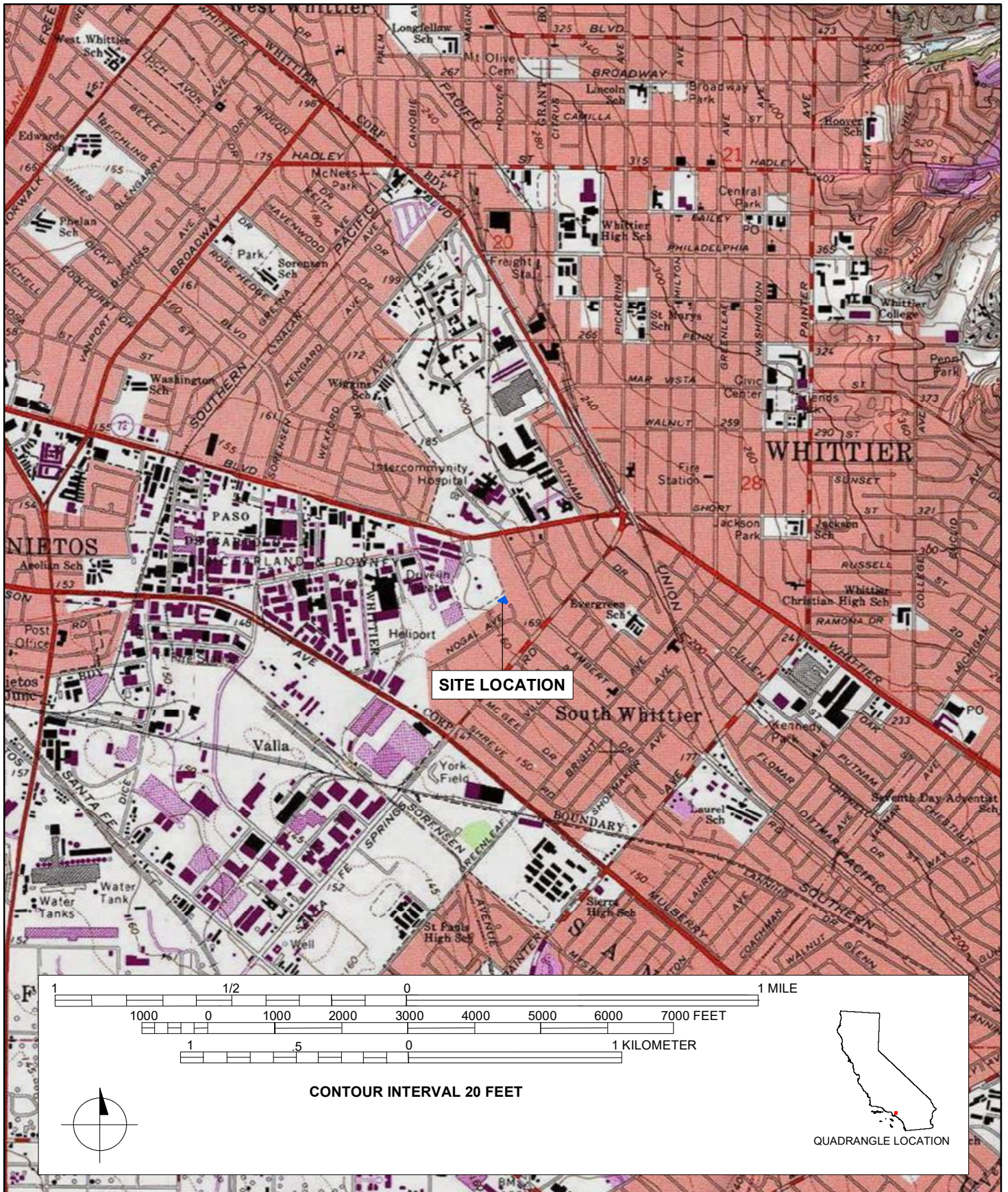
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7030 Pico Vista Road

P1. Other Identifier: 7030 Pico Vista Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7030 Pico Vista Road City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759936mE/399807mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-004-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of NW elevation/façade, camera facing east, 12/17/2019, IMG 9118

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7030 Pico Vista Road

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor). Alterations: window replacements.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Pico Riviera  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7030 Pico Vista Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7030 Pico Vista Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7030 Pico Vista Road

Continuation  Update

**\*P3a. Description (continued):**

The property located at 7030 Pico Vista Road was constructed in 1957 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a moderately-pitched cross-gable roof with overhanging eaves and exposed rafter ends that is covered with composite shingles. An interior brick chimney is centrally located along the west elevation façade. The walls are clad with stucco and clapboard siding. The windows are double-hung, fiberglass-sash, four-over-four windows, and multi-light fixed and horizontal slider windows. The main entry is not visible from the public right-of-way. Facing south, is an attached, two-car garage with a swing-up garage door with a scalloped frame detail. The building has a concrete slab foundation. Although the resource retains integrity of location, design, feeling, and association, its materials and workmanship have been slightly diminished due to replacement windows.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

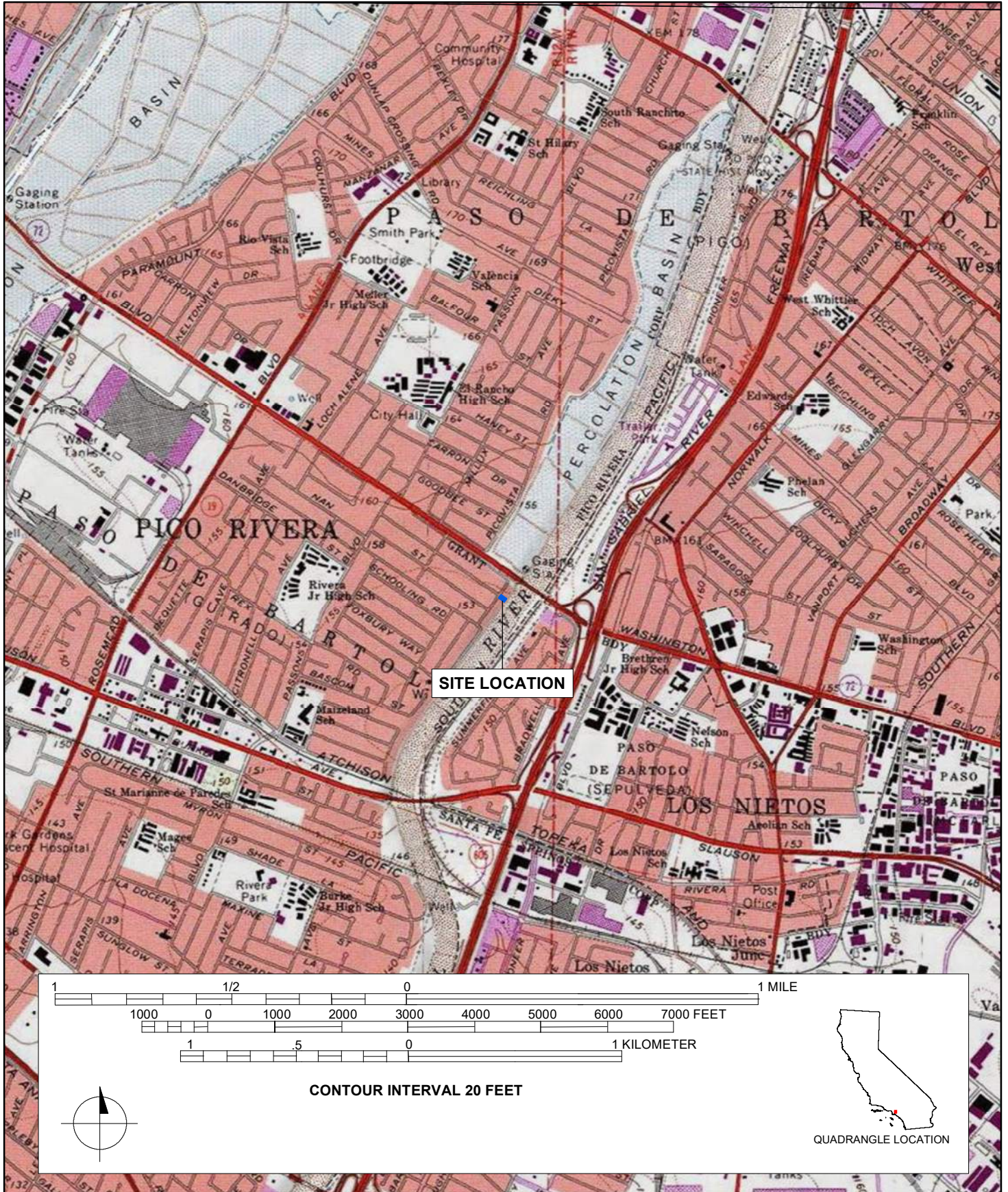
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7040 Pico Vista Road

P1. Other Identifier: 7040 Pico Vista Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7040 Pico Vista Road City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759911mE/399788mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-004-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/facade, camera facing southeast, 12/17/2019, IMG 9116

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7040 Pico Vista Road

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property
- \*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor). Between 2017 and 2019 the building underwent an extensive renovation project that included the removal of the original board and batten siding, windows, doors, scalloped fascia, roof, and brick planters (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Pico Rivera  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7040 Pico Vista Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7040 Pico Vista Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7040 Pico Vista Road

Continuation  Update

**\*P3a. Description (continued):**

The property located at 7040 Pico Vista Road was constructed in 1957 and is a Contemporary-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan. Between 2017 and 2019 the building underwent an extensive renovation project that included the removal of the original board and batten siding, windows, doors, scalloped fascia, roof, and brick planters (Google Streetview 2019).

The building has cross-gable roof with overhanging eaves that is covered with composite shingles. The west elevation features a king-post detail at the gable end and there is an end-wall brick chimney along the south elevation. The walls are clad with stucco and brick. The windows are double-hung, fiberglass-sash, horizontal slider windows. The main entry is not visible from the public right-of-way. The window along the west elevation of the garage has decorative, board shutters. Facing south, is an attached, two-car garage with a paneled roll-up garage door. The building has a concrete slab foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

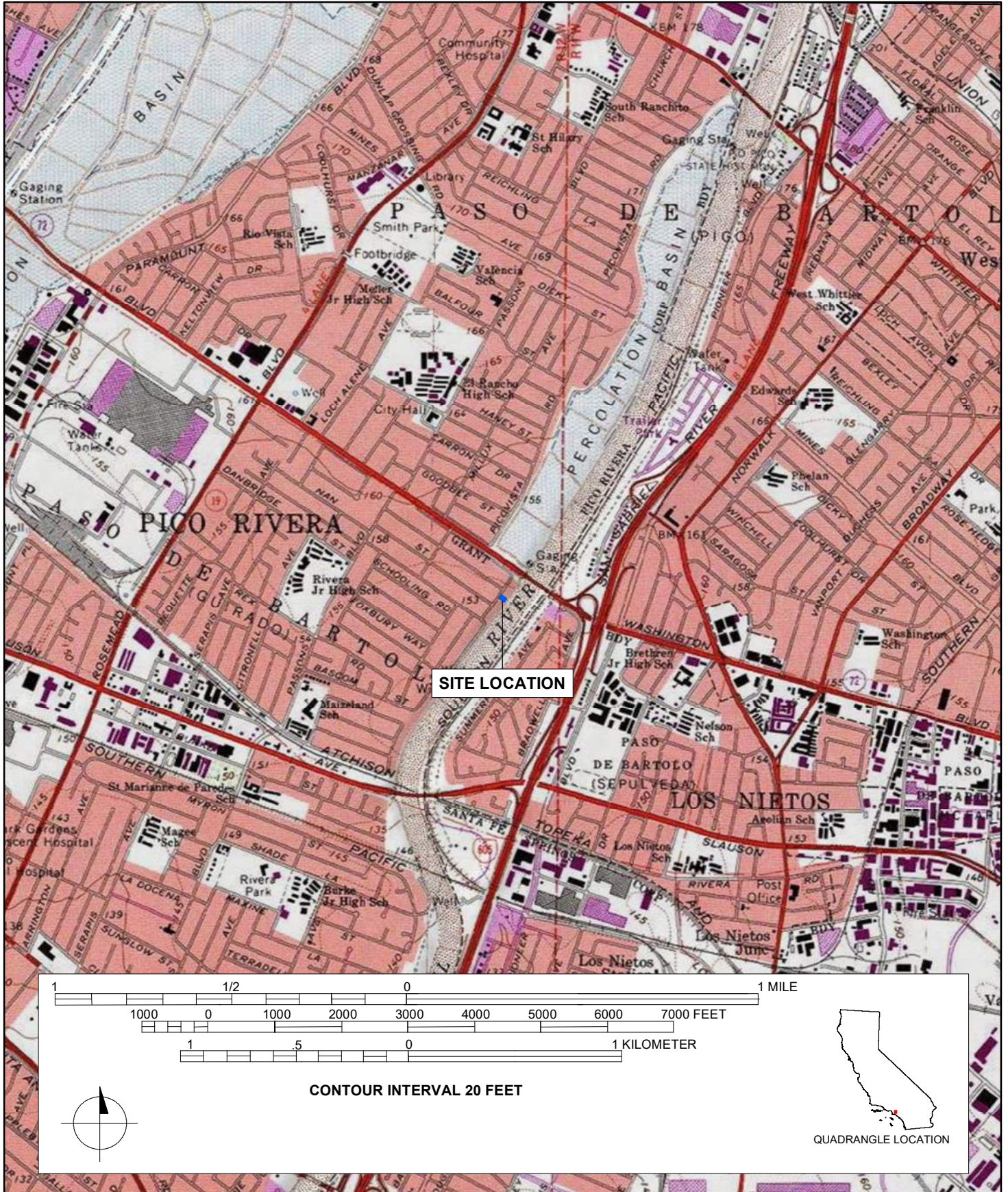
**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

McAlester, Virginia and Lee McAlester. 1984. A Field Guide to American Houses. New York: Alfred A. Knopf, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7036 Pico Vista Road

P1. Other Identifier: 7036 Pico Vista Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 7036 Pico Vista Road City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759923mE/399798mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-004-008

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/façade, camera facing east, 12/17/2019, IMG 9117

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Pico Riviera  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7036 Pico Vista Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the subdivision was similar to numerous others that were established following World War II in Pico Riviera. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7036 Pico Vista Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7036 Pico Vista Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 7036 Pico Vista Road was constructed in 1957 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a cross-gable roof with overhanging eaves and exposed rafter ends that is covered with composite shingles. The walls are clad with clapboard siding, stucco, and brick. The west elevation has an interior brick chimney. The windows are aluminum frame, horizontal slider windows with metal security grills. The main entry is not visible from the public right-of-way. There is a partial length inset porch with a brick column support and a brick stoop. Facing west is an attached, two-car garage with a swing-up garage door. The building has a concrete slab foundation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

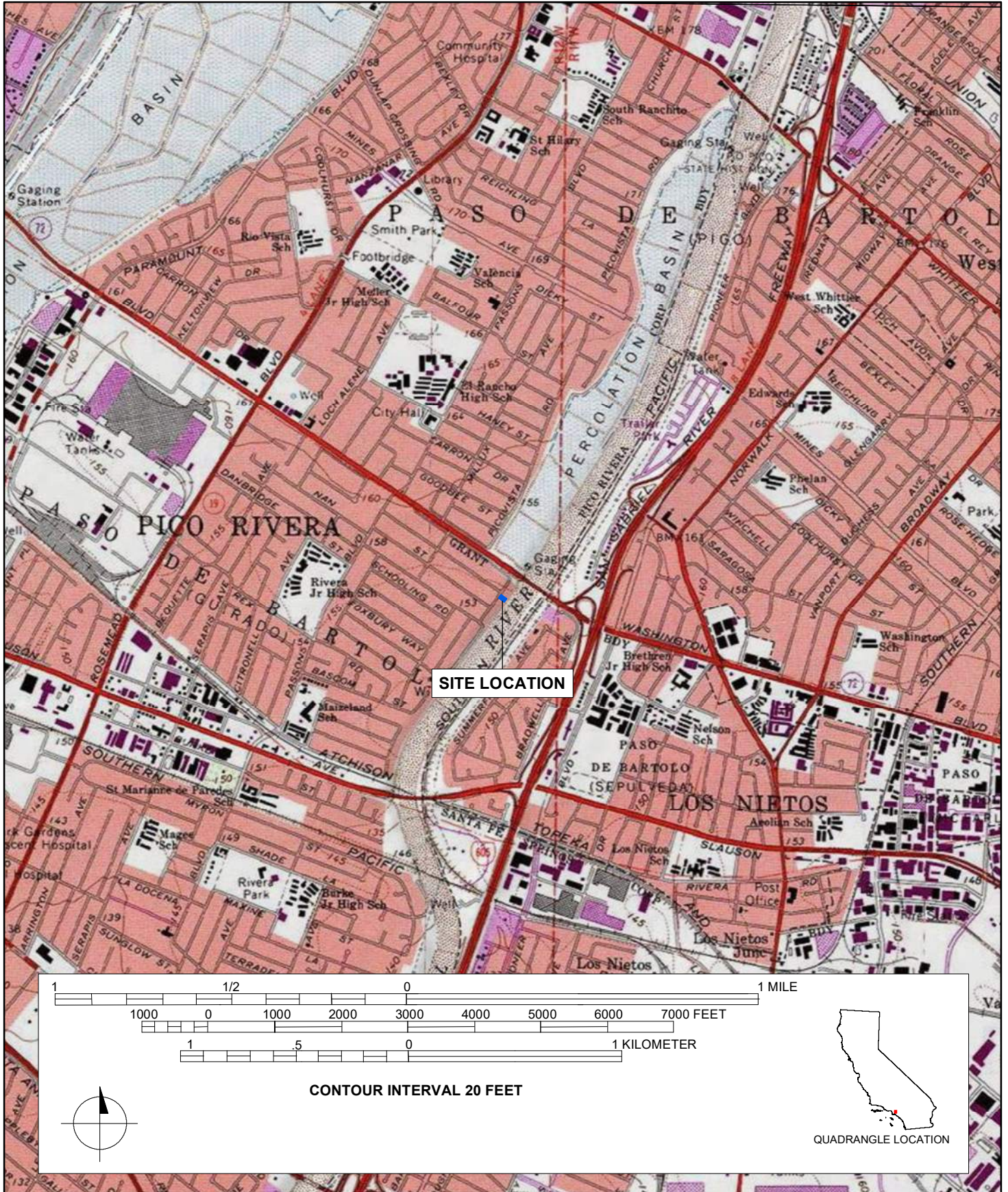
Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinominal \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 7020 Pico Vista Road

P1. Other Identifier: 7020 Pico Vista Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 7020 Pico Vista Road City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759961mE/399825mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-003-016

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of NW elevation/face, camera facing east, 12/17/2019, DSCN0170

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 7020 Pico Vista Road

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor). Alterations: replacement windows and carport addition.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Pico Riviera  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 7020 Pico Vista Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 7020 Pico Vista Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 7020 Pico Vista Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 7020 Pico Vista Road was constructed in 1957 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a cross-gable roof with overhanging eaves and exposed rafter ends that is covered with composite shingles. The walls are clad with clapboard siding, stucco, and brick. The west elevation has an interior brick chimney. The windows are fiberglass-sash, horizontal slider windows. The window along the west elevation of the garage is a paired window with decorative board shutters. The main entry is not visible from the public right-of-way. Carport addition with a gable roof along the west elevation. Facing south is an attached, two-car garage with a paneled roll-up garage door. The building has a concrete slab foundation. Although the resource retains integrity of location, design, feeling, and association, its materials and workmanship have been slightly diminished due to replacement windows and the carport addition.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

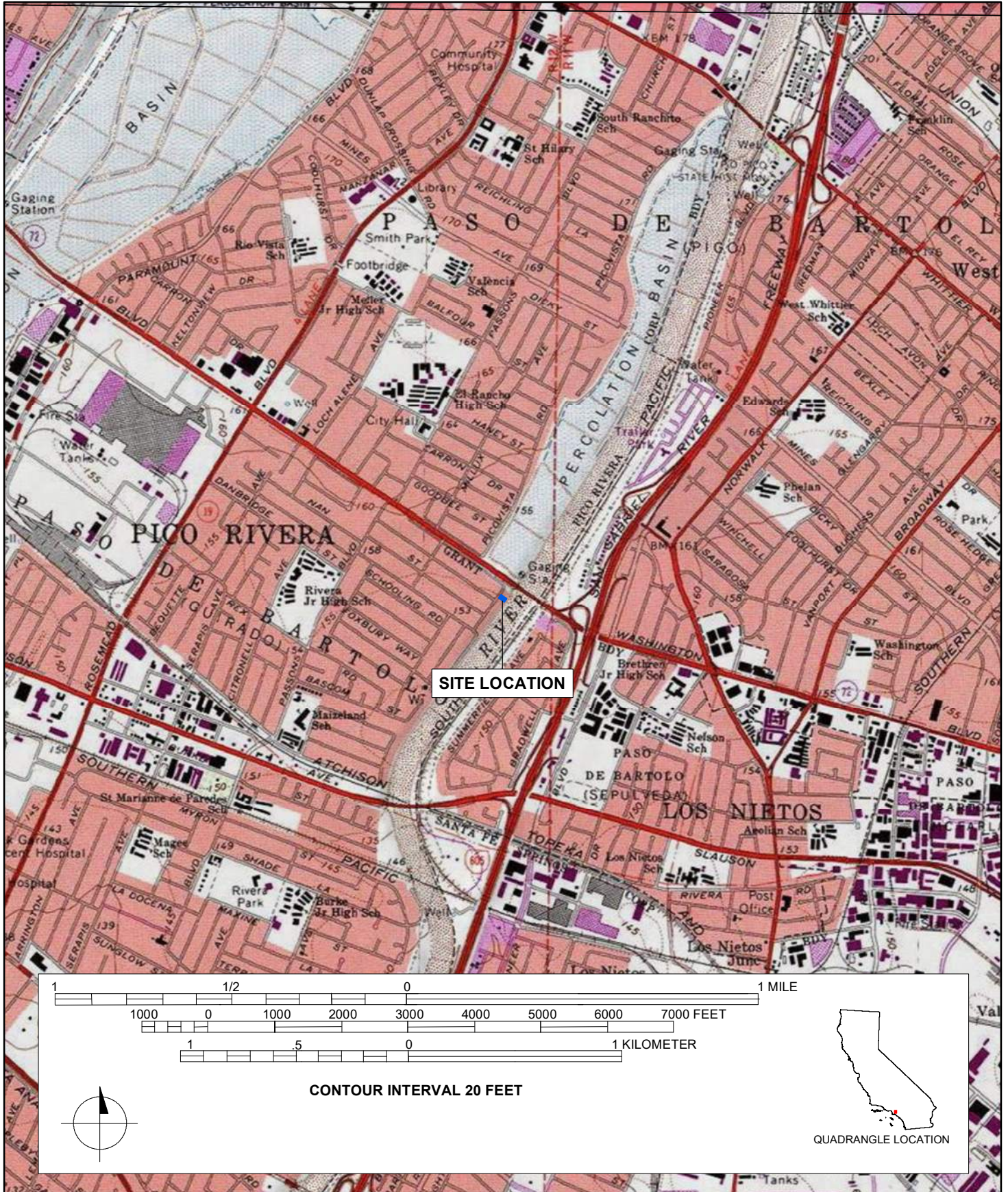
Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12115 Rivera Road

P1. Other Identifier: 12115 Rivera Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12115 Rivera Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758970mE/402654mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8169-001-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/facade, camera facing northwest, 12/17/2019, IMG 9092

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1966 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12115 Rivera Road

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Modern-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1966 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12115 Rivera Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12115 Rivera Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12115 Rivera Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 12115 Rivera Road was constructed in 1966 and is a Modern-style industrial building (**Photograph 1**). It occupies the front of the lot and has a south-facing orientation. It is a one-story, concrete block, building with a rectangular plan. The building has a flat roof with. The walls are clad with Chatsworth stone cladding. The building has recessed metal-frame windows with concrete sills and metal security bars. The doors are aluminum-frame and glass storefronts recessed within a flat roof porch with stone-clad piers. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

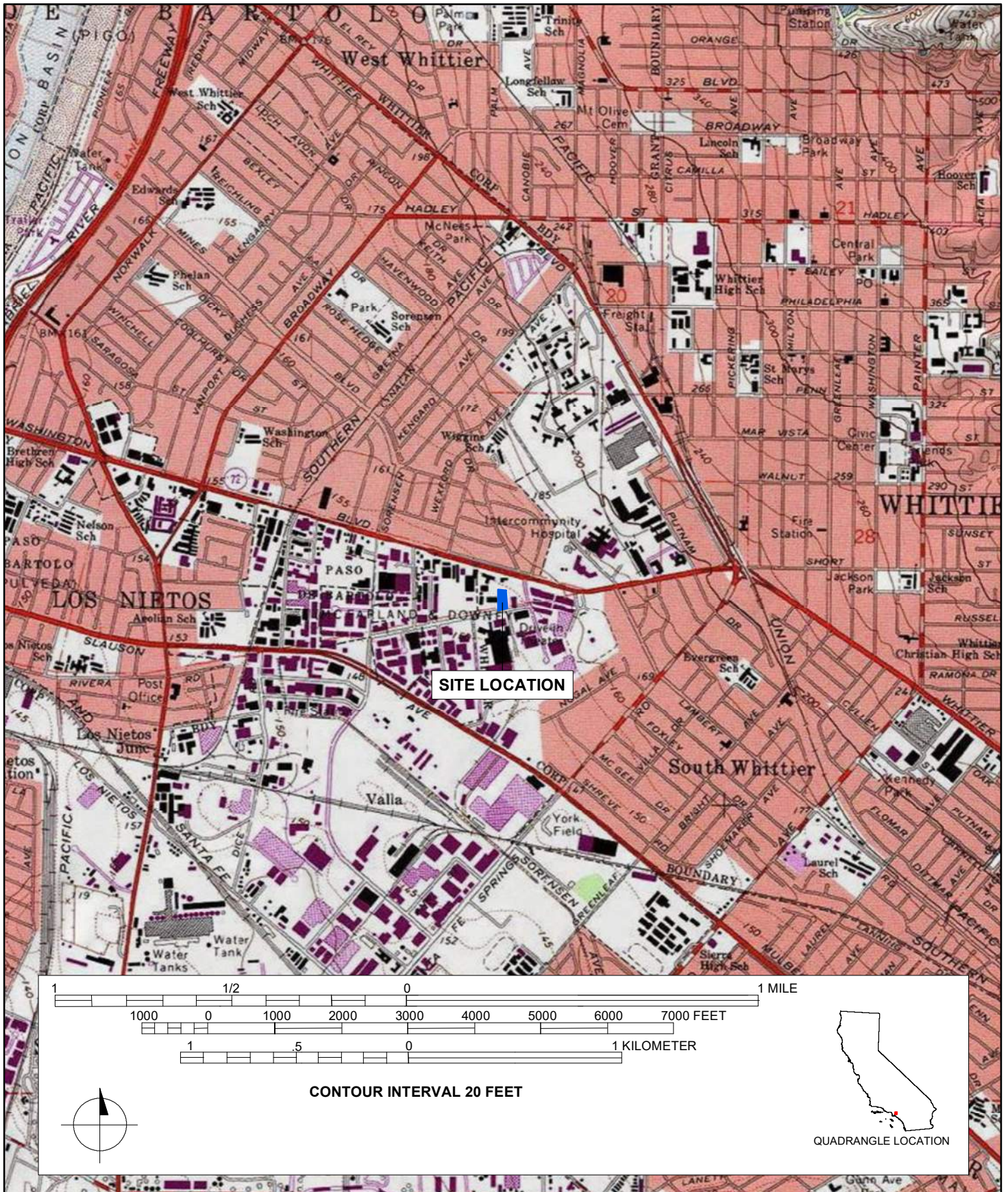
Modern Architecture:

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Painter, Diana J. 2010. Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report.





State of California - The Resources Agency  
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**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6730 Rosemead Boulevard

P1. Other Identifier: 6730 Rosemead Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6730 Rosemead Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3760879mE/398747mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6378-019-058

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/face, camera facing west, 12/17/2019, IMG 9120

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1972 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: N/A
- B2. Common Name: Sizzler
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1972 (Los Angeles County Assessor). Between 2012 and 2015 the property underwent an extensive renovation project that included: installing stone veneer along the walls, metal awnings were added along the eaves, and the north elevation entrance's wood pergola was removed and replaced with a gabled awning and the river rock-clad columns at the entrance were covered with stone veneer (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Riviera  
Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6730 Rosemead Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6730 Rosemead Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6730 Rosemead Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6730 Rosemead Boulevard, Sizzler restaurant, was constructed in 1972 and is a Contemporary-style commercial building (**Photographs 1-2**). It occupies the southwestern corner of the lot and has a north-facing orientation. It is a one-story, concrete block and wood frame, building with a rectangular plan. Between 2012 and 2015 the property underwent an extensive renovation project that included: installing stone veneer along the walls, metal awnings were added along the eaves, and the north elevation entrance's wood pergola was removed and replaced with a gabled awning and the river rock-clad columns at the entrance were covered with stone veneer (Google Streetview 2019).

The building has a trapezoidal roof with an exaggerated mansard roof covered with tile. Wide metal awnings wrap around the eaves and wooden false front signage is mounted along each side of the roof. The walls are clad with stone veneer and brick. The windows are metal-frame fixed windows arranged in ribbons with wide frames and wood sills. The north elevation entrance has a gable porch with two square column supports covered with stone veneer; the door is a metal-frame and glass, storefront, single-entry door. The door along the south elevation is wood panel door. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A, Knopf, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

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Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6730 Rosemead Boulevard

Continuation  Update



Photograph 2. View of S elevation, camera facing north, 12/17/2019, IMG\_9123

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_

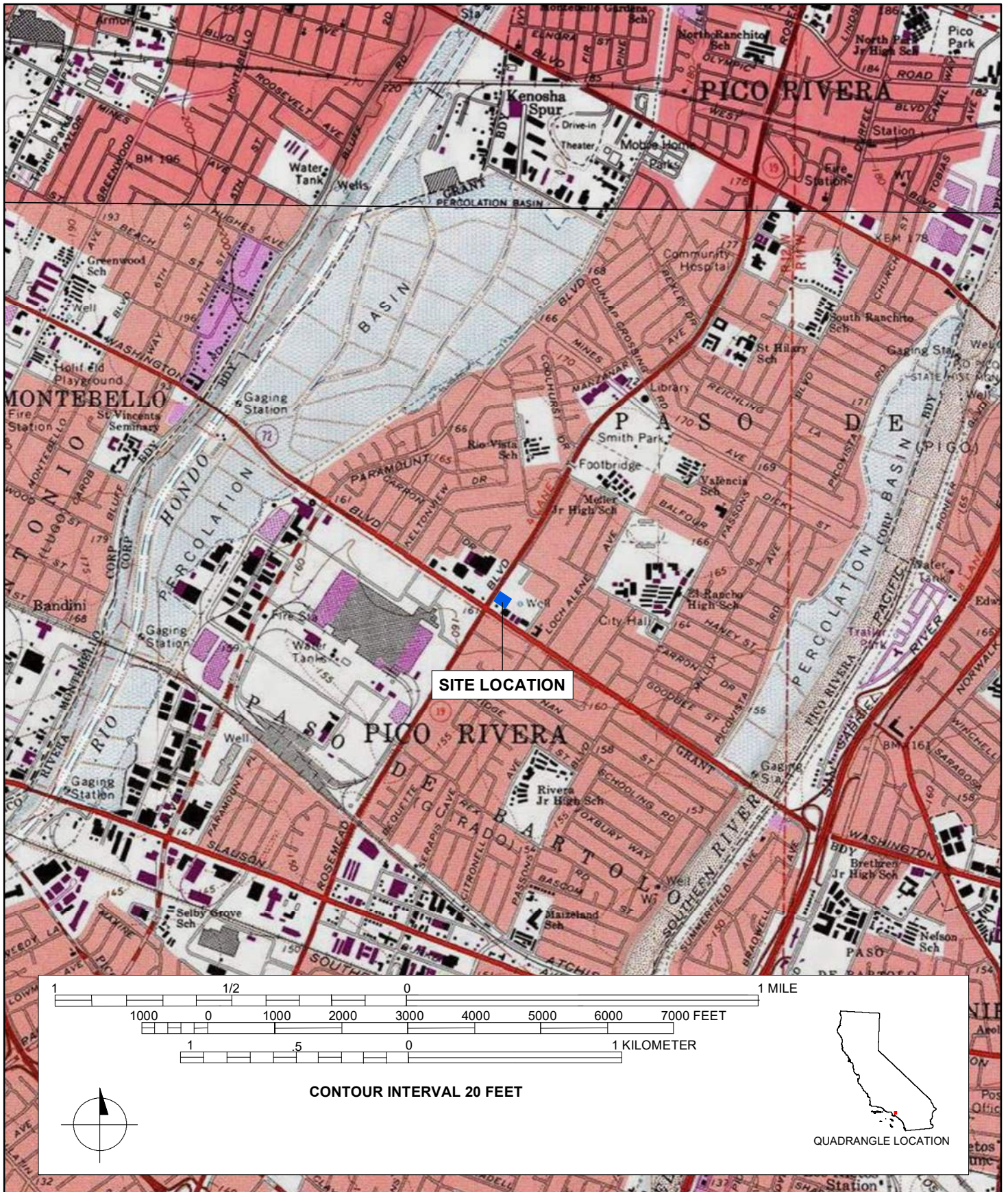
Page 5 of 5

\* Resource Name or # (Assigned by recorder) 6730 Rosemead Blvd

\* Map Name: Whittier, Calif. 7.5' Quadrangle

\* Scale: 1:24,000

\* Date of Map: 1981



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HRI# \_\_\_\_\_  
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NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

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\*Resource Name or #: (Assigned by recorder) 8517 Santa Fe Springs Road

P1. Other Identifier: 8517 Santa Fe Springs Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8517 Santa Fe Springs Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758601mE/403312mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-003

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing north, 12/17/2019, IMG 9089

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1946 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property
- \*B5. Architectural Style: Minimal Traditional-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1946(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme n/a Area n/a  
Period of Significance n/a Property Type n/a Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8517 Santa Fe Springs Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century Residential development in Whittier, the resource lacks integrity and is common examples of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lack architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8517 Santa Fe Springs Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

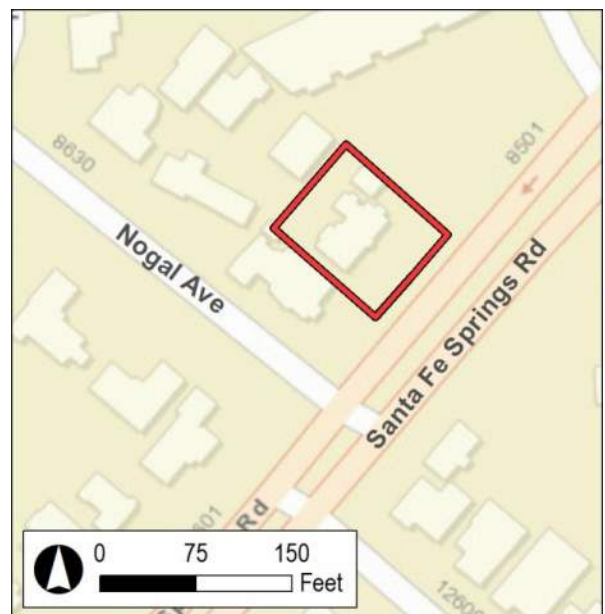
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 8517 Santa Fe Springs Road

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8517 Santa Fe Springs Road was constructed in 1946 and is a Minimal Traditional-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southeast-facing orientation. It is a one-story, wood-framed, building with an irregular shaped plan.

The building has a side-gable roof with overhanging eaves that is covered with composite shingles. The walls are clad with clapboard siding. The windows are fiberglass-sash, horizontal slider windows arranged in singles and pairs. The porch is slightly inset and has two a concrete stoop. The main entry faces southeast and is a panel door with metal screen and a wide surround. The building has a concrete slab foundation. To the northeast, at the rear of the property is a detached garage. The resource retains its location, setting, feeling, and association but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Minimal Traditional Architecture:

The Minimal Traditional style, popular between circa 1935 and 1950, reflected traditional architectural forms and eclectic styles but generally displayed simpler and less extensive decorative architectural detailing than revival styles that came previously. Minimal Traditional houses are usually modest in scale with one level, and common decorative features include small, simple porches, and chimneys. The roofs are low pitch with shallow eaves. Pre-WWII examples usually have a detached garage whereas post-WWII examples may have a garage attached (Gottfried and Jennings 2009).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

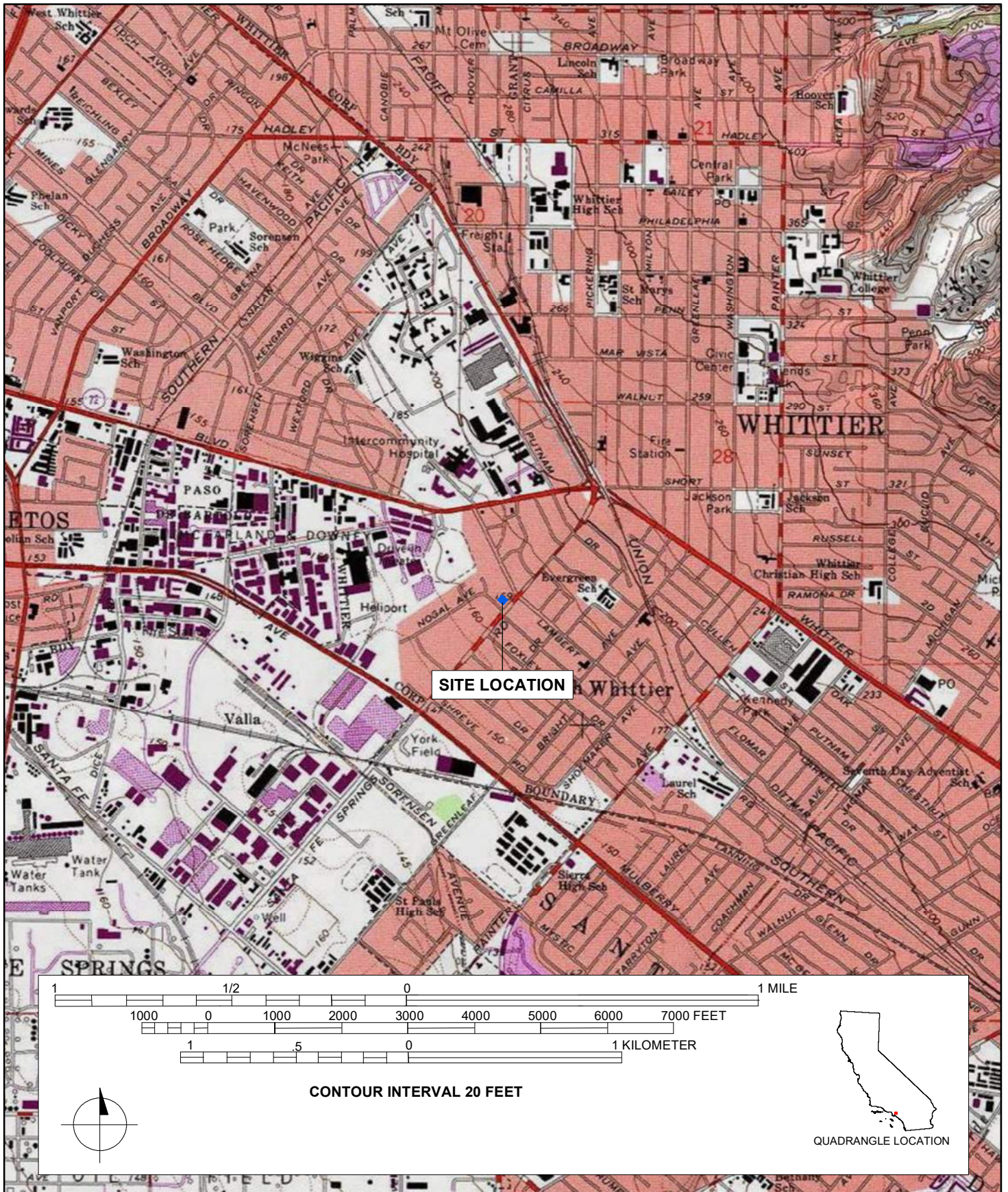


Page \_\_\_\_ of \_\_\_\_ \* Resource Name or # (Assigned by recorder) 8517 Santa Fe Springs Rd

\* Map Name: Whittier, Calif. 7.5' Quadrangle

\* Scale: 1:24,000

\* Date of Map: 1981



State of California - The Resources Agency  
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**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

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\*Resource Name or #: (Assigned by recorder) 5165 Whittier Boulevard

P1. Other Identifier: 5165 Whittier Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 5165 Whittier Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 393080.85 m E /3765085.93 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5240018003

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of SW elevation, camera facing north (Google Streetview 2019)

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1974 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 5165 Whittier Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1974 (Los Angeles County Assessor);

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles

Period of Significance 1970s Property Type Gas station Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 5165 Whittier Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 5165 Whittier Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 5165 Whittier Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 5165 Whittier Boulevard, a multi-business strip mall, was constructed in 1974 and is a vernacular building (**Photograph 1**). The storefronts have a south and west-facing orientations. It is a one-story, brick building with an L-shaped plan; and the center there is a two-story office. The building has a flat roof with illuminated box signage attached to the cornices. The walls are brick veneer. The windows are metal-frame fixed storefront windows. The building features 6 distinct storefronts. Some of the windows and doors are covered by metal grilles.

**\*B10. Significance (continued):**

Historic Context

East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

**\*B12. References (continued):**

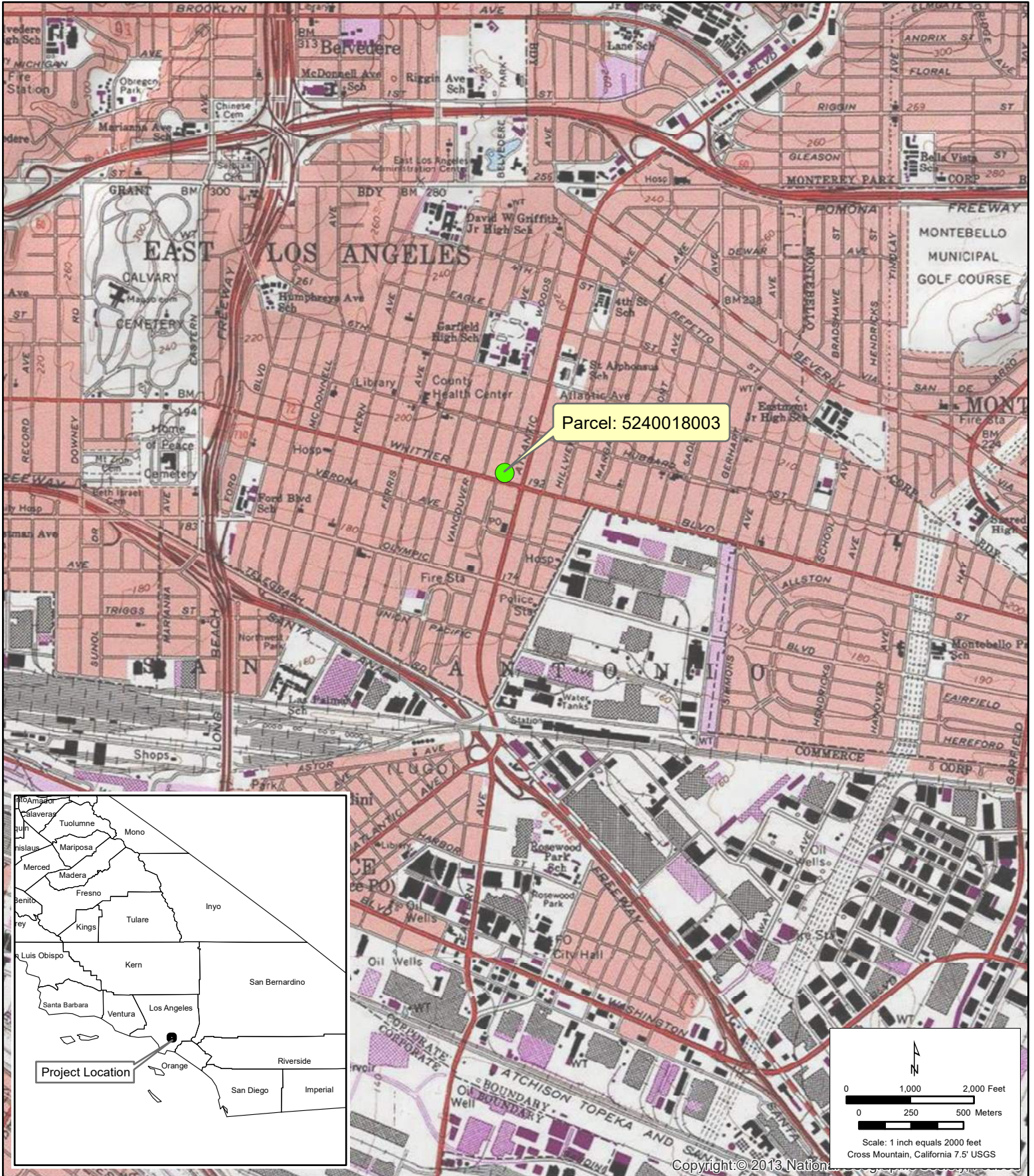
Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 5167 Whittier Boulevard

P1. Other Identifier: 5167 Whittier Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 5167 Whittier Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 393080.85 m E /3765085.93 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5240018003

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation, camera facing north (Google Streetview 2020)

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both 1948 (Los Angeles County Assessor)

\*P7. Owner and Address:

N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 5167 Whittier Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular/ Commercial Block

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1948 (Los Angeles County Assessor);

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles

Period of Significance 1948 Property Type Commercial Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 5167 Whittier Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lack architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 5167 Whittier Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 5167 Whittier Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 5167 Whittier Boulevard was constructed in 1948 and is a one-part Commercial Block commercial building (Photograph 1). It occupies the entire lot and has a south-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. The building has a flat roof with a slight parapet. The walls are clad with stucco and brick veneer. The building has anodized metal-frame and glass storefront with a single-entry door. There is illuminated box signage attached the façade. The building has a concrete slab foundation. The resource retains some aspects of its integrity; however, the replacement of the building's windows and doors with a modern storefront assembly has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

Historic Context

East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

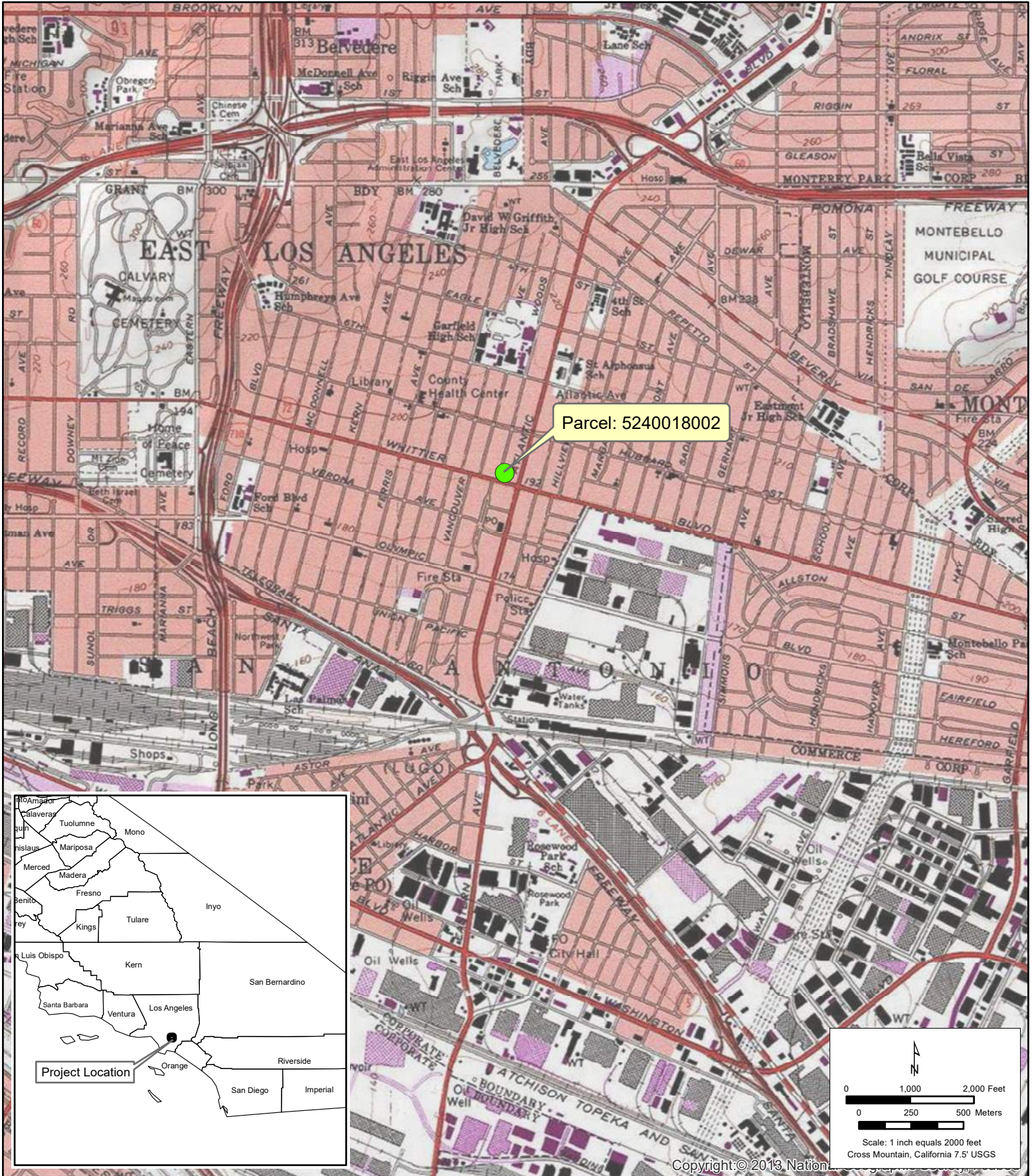
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2020. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed January, 2020.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 2327 Saybrook Avenue

P1. Other Identifier: 2327 Saybrook Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2327 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 394664.41 m E /3762850.83 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336011900

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of east elevation/façade, camera facing west. (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1962 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 2327 Saybrook Avenue

- B1. Historic Name: N/A
- B2. Common Name: Fire Station 50
- B3. Original Use: Fire Station
- B4. Present Use: Fire Station

\*B5. Architectural Style: Utilitarian

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1962(Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme n/a Area Commerce  
Period of Significance 1962 Property Type n/a Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2327 Saybrook Avenue, Los Angeles County Fire Station No. 50, does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. The resource fails to illustrate any known association with significant historical events. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 2327 Saybrook Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2327 Saybrook Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 2327 Saybrook Avenue, the Los Angeles County Fire Station No. 50, was constructed in 1962 and is a Utilitarian-style industrial building (**Photograph 1**). It occupies the central portion of the lot has a southeast-facing orientation. It is a one-story industrial building with an L-shaped plan. The attached garage has two bays with metal roll-up doors and is two-stories in height. The attached office building has a flat roof, that is covered with composite material. The walls are concrete and stucco. The building sits on a concrete slab foundation and has a brick water table accent. The windows are metal-frame, fixed windows. The main entrance is a wood door. The property is fronted by landscaped hedges and palms set in brick planters. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

In 1949, the Consolidated Fire Protection District was established by the Board of Supervisors through the consolidation of numerous fire districts which existed since the 1920s (County of Los Angeles 2019). From 1967 to 1986 there existed four fire protection districts within Los Angeles County, all of which were governed by the Board of Supervisors: the Consolidated Fire Protection District (CFPD), Universal Fire Protection District, Dominguez Fire Protection District, and Wrightwood Fire Protection District (County of Los Angeles 2019). The Commerce Fire Station 50 was constructed in 1962 as part of the rise in development in the region. By 1971, there were 20 Los Angeles County Fire Stations serving the southeast Los Angeles Area (LAT 1971).

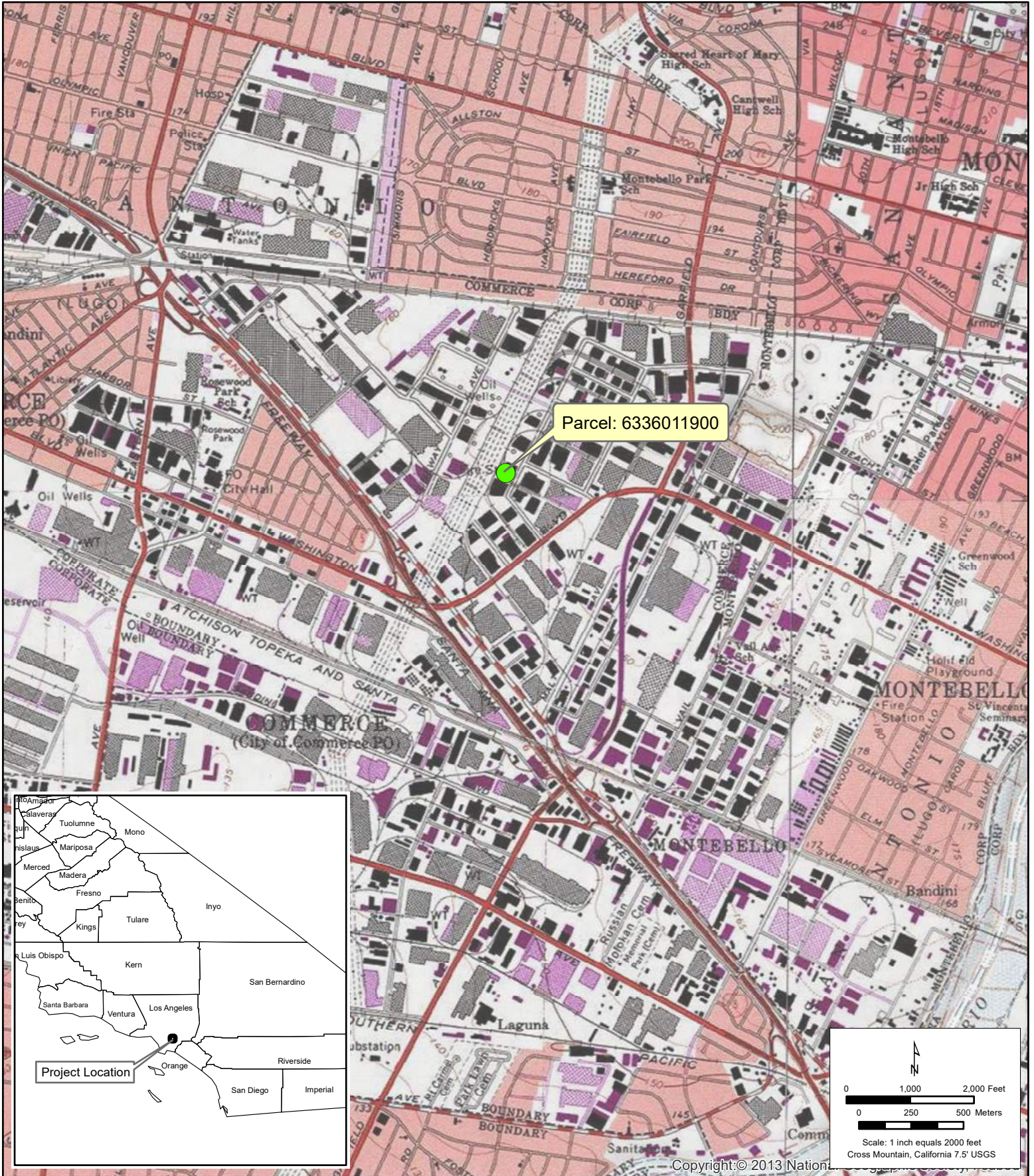
**\*B12. References (continued):**

County of Los Angeles. 2019. "History of the Consolidated Fire Protection District," Electronic document, <https://fire.lacounty.gov/history/>, Accessed June 16, 2021.

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

*Los Angeles Times* (LAT). 1971. "Public invited to visit County Fire Stations." May 2, 1971.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6905 W Acco Street

P1. Other Identifier: 6905 W Acco Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6905 W Acco Street City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 395968.68 m E /3762772.30 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336002033

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/façade, camera facing northwest, (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both 1963 (Los Angeles County Assessor)

\*P7. Owner and Address:

N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6905 W Acco Street

B1. Historic Name: N/A

B2. Common Name: Allied Feather and Down

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1963 (Los Angeles County Assessor); Façade remodel and removal of slate tile accents circa 2012 (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6905 W Acco Street does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6905 W Acco Street is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

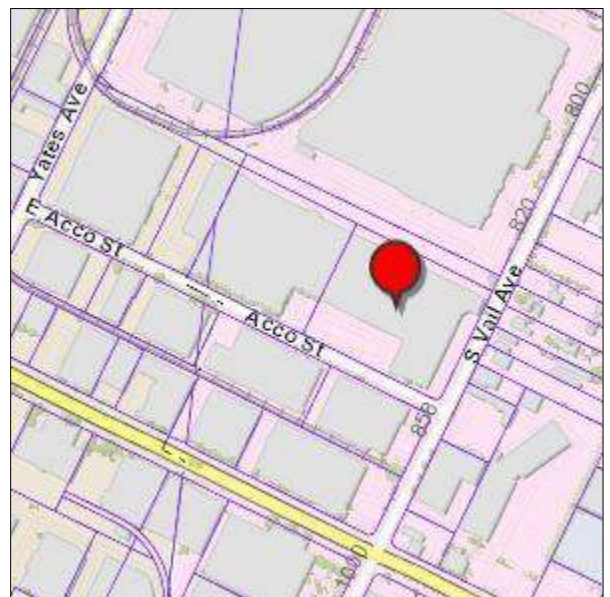
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 6905 W Acco Street

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6905 W Acco Street was constructed in 1963 and is a vernacular industrial building (**Photograph 1**). It occupies the center of the lot, has a south-facing orientation and is surrounded by paved parking lots and delivery access. It is a one-story, tilt-up concrete, building with an L-shaped plan, with office space to the east and delivery warehouse space to the west.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has non-historic, metal-frame storefront windows with a double-leaf glass door, and fiberglass-sash windows along the façade covered with metal grilles. There are multiple loading docks along the south elevation of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

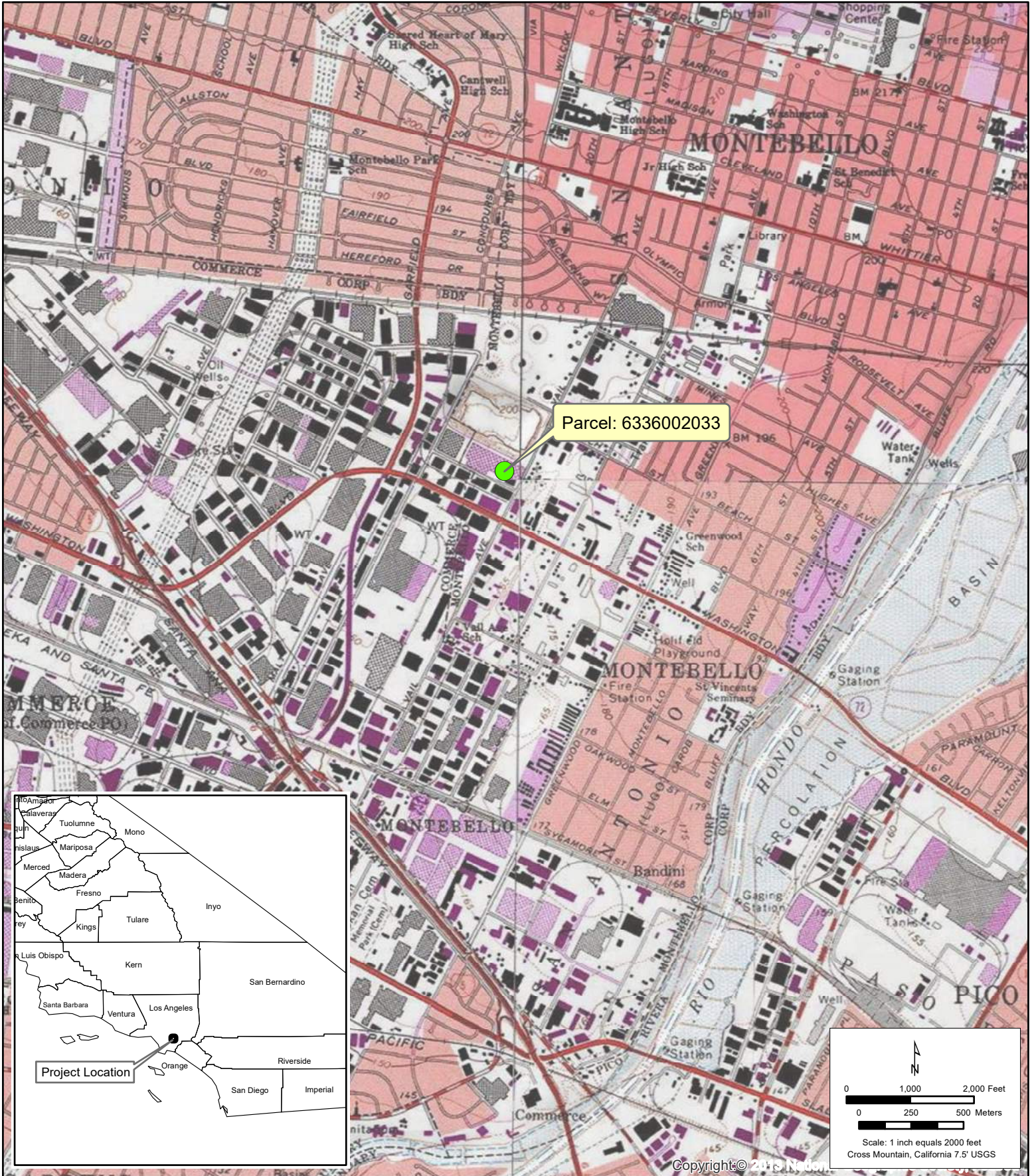
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6900 W Acco Street

P1. Other Identifier: 6900 W Acco Street

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6900 W Acco Street City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 395928.35 m E/ 3762657.75 m N

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336003073

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of north and east elevation/facade, camera facing southwest, (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1961 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6900 W Acco Street

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1961 (Los Angeles County Assessor)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6900 W Acco Street does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6900 W Acco Street is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020



(This space reserved for official comments.)

Page 3 of 4

\*Resource Name or # (Assigned by recorder) 6900 W Acco Street

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6900 W Acco Street was constructed in 1961 and is a Modern-style industrial building (**Photograph 1**). It occupies the center of the lot, has an east-facing orientation and is surrounded by paved parking lots and delivery access. It is a one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. An overhanging boxed cornice runs along the northwestern corner of the building. The walls are clad with concrete panels, stucco, and stone veneer accents. The building has non-historic, metal-frame storefront windows with a single-leaf glass door accessed via concrete steps. There is a loading dock along the east elevation of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

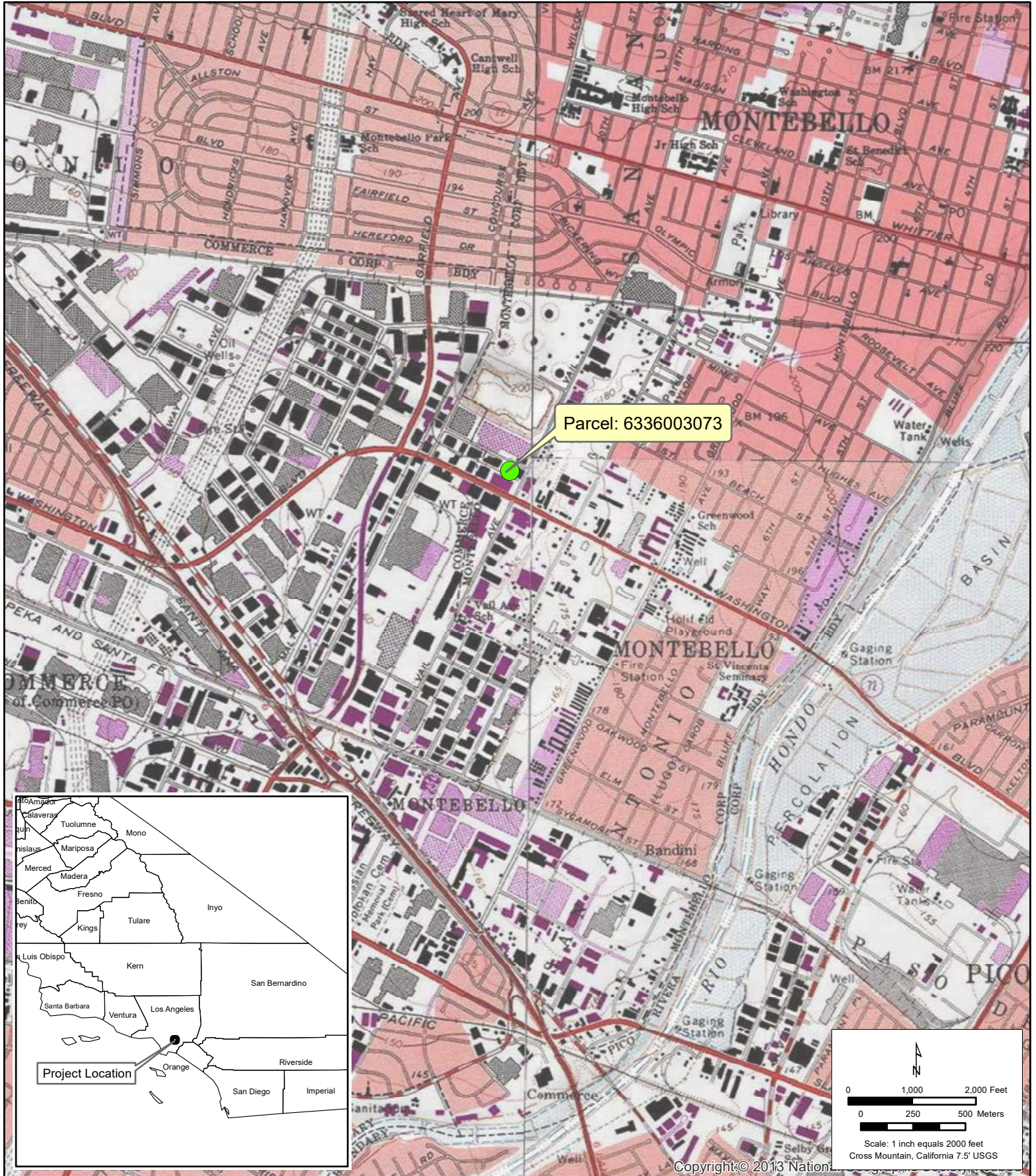
City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

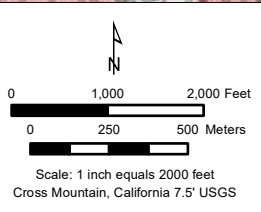
Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.



Parcel: 6336003073

Project Location



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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 6

\*Resource Name or #: (Assigned by recorder) 11825-11839 Washington Boulevard

P1. Other Identifier: 11825-11839 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11825 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759326mE/402134mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-001-020, 8170-001-021, 8170-001-022

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP3. Multiple family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of S elevation/facade, camera facing north, 12/17/2019, DSCN0142

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1945, 1947, 1948 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 6

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11825-11839 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Hacienda Mobile Home Park
- B3. Original Use: Multiple-Family Property
- B4. Present Use: Multiple-Family Property

**\*B5. Architectural Style:**

**\*B6. Construction History:** (Construction date, alterations, and date of alterations) 1945 (Los Angeles County Assessor). Alterations: modern infill and replacement.

**\*B7. Moved?**  No  Yes  Unknown **Date:** \_\_\_\_\_ **Original Location:** \_\_\_\_\_

**\*B8. Related Features:** N/A

B9a. Architect: N/A b. Builder: N/A

**\*B10. Significance: Theme** Residential development **Area** Whittier  
**Period of Significance** 1940s **Property Type** Mobile home park **Applicable Criteria** n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11825-111839 Washington Boulevard, the Hacienda Mobile Home Park, does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the Hacienda Mobile Home Park is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

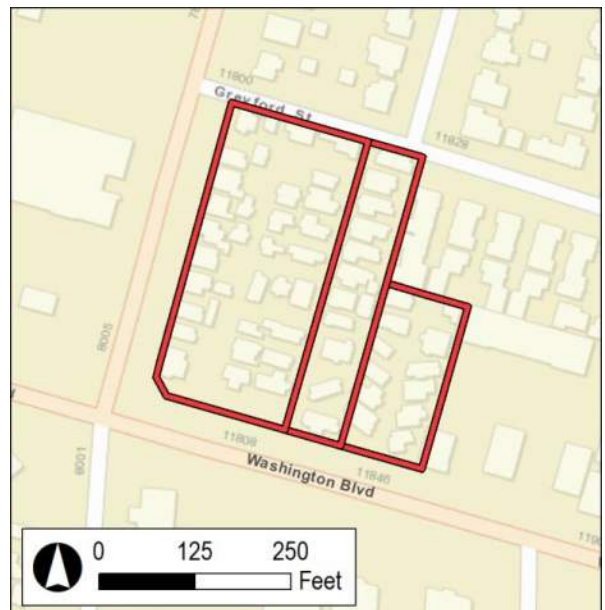
**\*B12. References:** SEE CONTINUATION SHEET

B13. Remarks:

**\*B14. Evaluator:** M. Wilson

**\*Date of Evaluation:** January 2020

(This space reserved for official comments.)



Page 3 of 6

\*Resource Name or # (Assigned by recorder) 11825-11839 Washington Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11825-111839 Washington Boulevard, the Hacienda Mobile Home Park, was constructed 1945-1958 and is a Contemporary Folk-style, mobile home park (**Photographs 1-5**). The park encompasses three parcels and includes approximately 60 manufactured homes. The park has rectilinear streets and landscaped lawns and hedges. Illuminated box signage is located along Washington Boulevard. The manufactured homes within the park appear have been altered since construction and there is some modern infill.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.



**Photograph 2.** Hacienda Mobile Home Park, view north, 12/17/2019, DSCN0143



Page 4 of 6

\*Resource Name or # (Assigned by recorder) 11825-11839 Washington Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 3. Hacienda Mobile Home Park, view north, 12/17/2019, DSCN0144



Photograph 4. Hacienda Mobile Home Park signage along Washington Boulevard, view northwest, 12/17/2019, DSCN0145

Page 5 of 6

\*Resource Name or # (Assigned by recorder) 11825-11839 Washington Boulevard

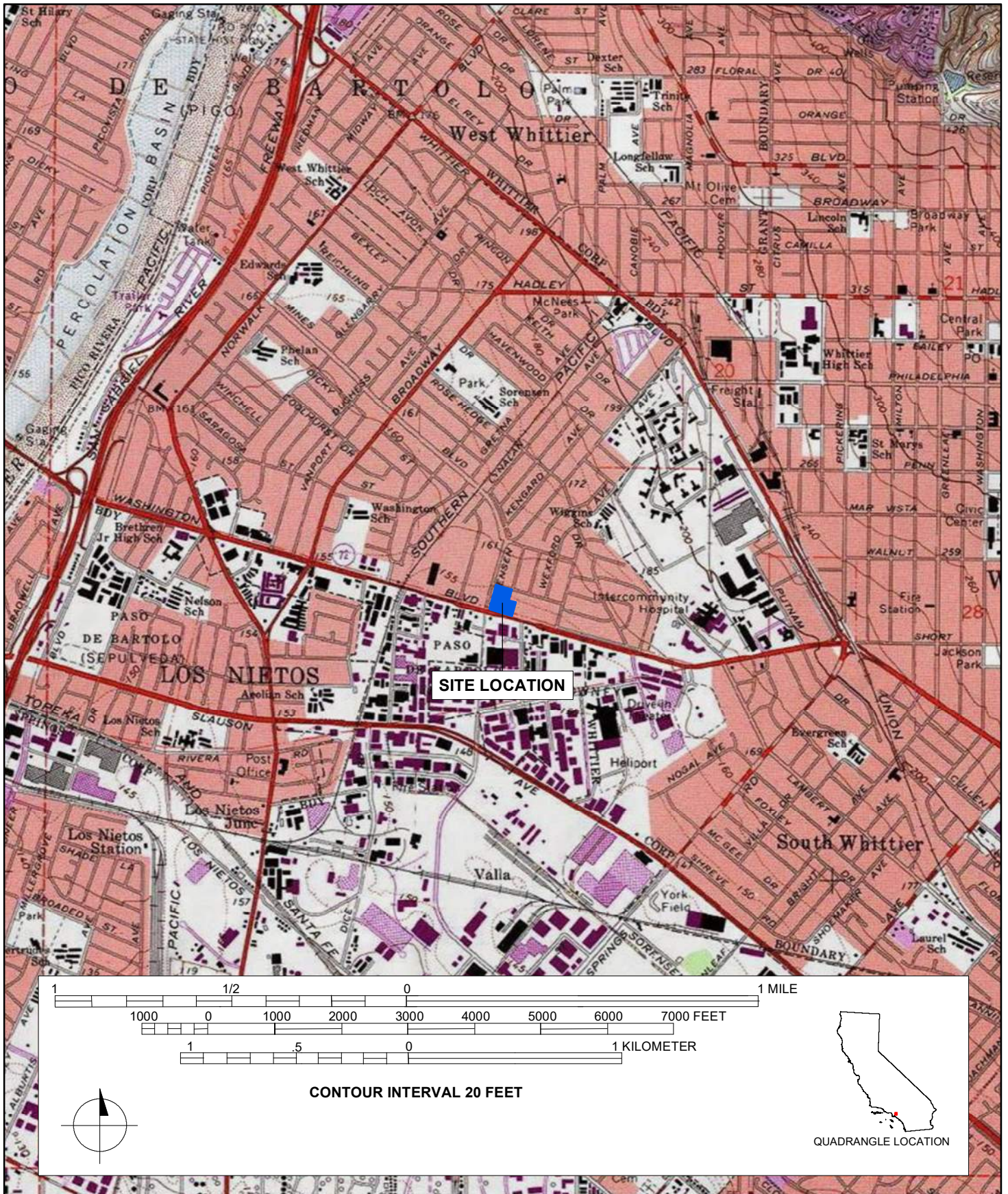
Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 5. Hacienda Mobile Home Park, view north, 12/17/2019, DSCN0146

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinominal \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 10506 Washington Boulevard

P1. Other Identifier: 10506 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 10506 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759825mE/400050mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8177-001-002

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing south, 12/17/2019, DSCN0210

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1948 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 10506 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1948 (Los Angeles County Assessor). Building permit data indicates a carport and patio cover were removed in 2015.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 10506 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 10506 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

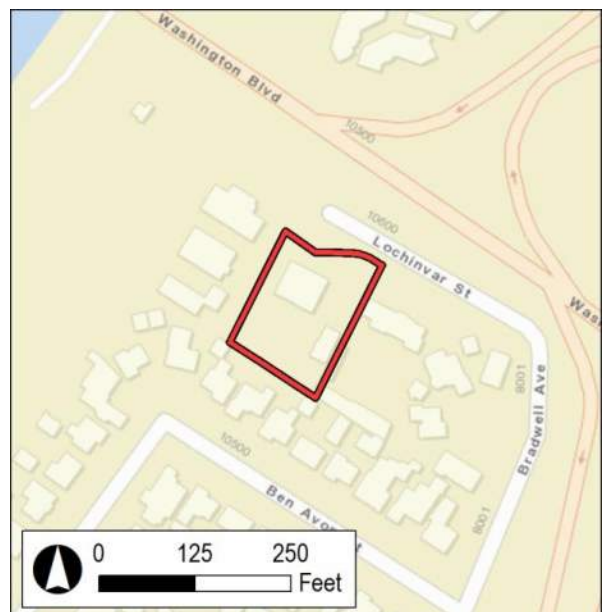
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 10506 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 10506 Washington Boulevard was constructed in 1948 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the center of the lot and has a southeast-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. The property is enclosed by a metal perimeter fence with concrete block piers. Building permit data indicates a carport and patio cover were removed in 2015.

The building has a cross-gable roof that is covered with composite shingles. There is an end-wall chimney along the southeast elevation that is clad with rough, uncut stone. The walls are clad with stucco. The building has metal-frame, multi-light horizontal slider windows. The main entry is not visible from the public right-of-way. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

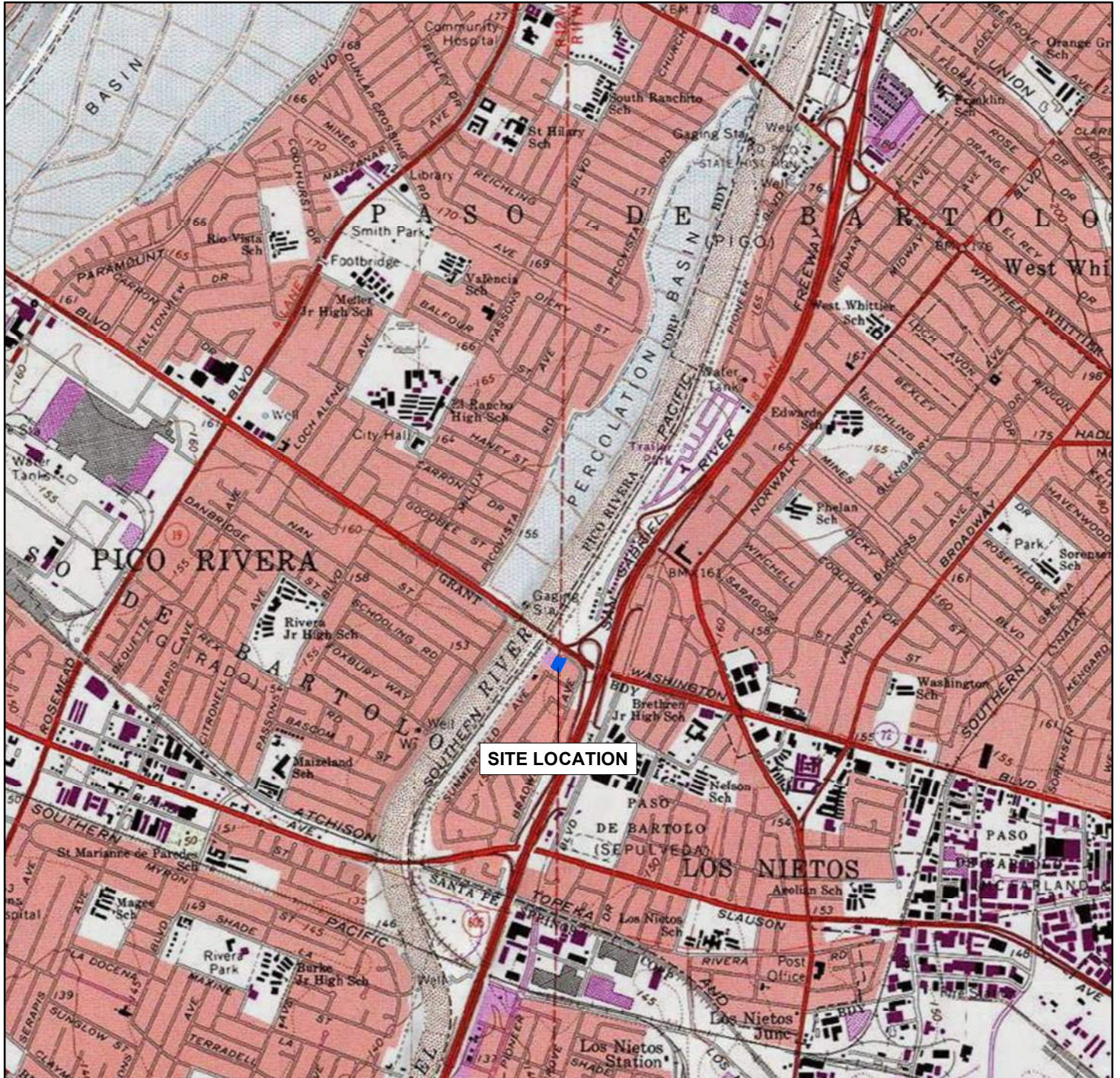
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

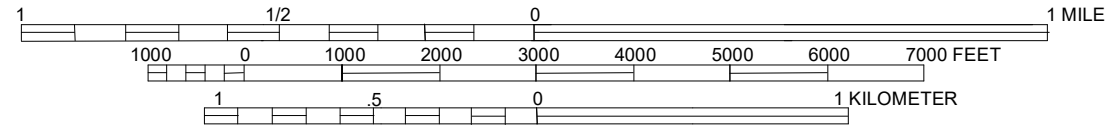
City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinominal \_\_\_\_\_



**SITE LOCATION**



CONTOUR INTERVAL 20 FEET



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12103 Washington Boulevard

P1. Other Identifier: 12103 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12103 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759153mE/402634mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-020-022

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/façade, camera facing north, 12/17/2019, IMG 9101

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1949 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12103 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property
- \*B5. Architectural Style: Minimal Traditional-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1949 (Los Angeles County Assessor). Alterations: replacement windows, doors, and garage door.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: C.H. Fawcett

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12103 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12103 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

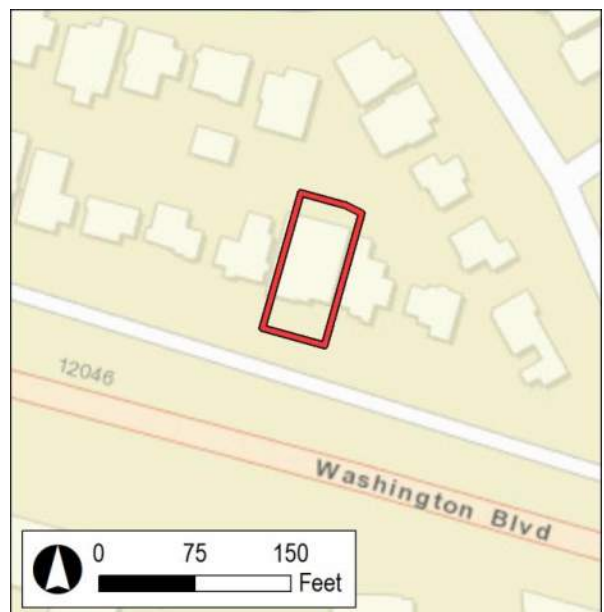
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12103 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12103 Washington Boulevard was constructed in 1949 and is a Minimal Traditional-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. The property is enclosed by a metal and concrete perimeter fence.

The building has a hip roof that is covered with composite shingles. The walls are clad with stucco. The building has metal-frame, multi-light horizontal slider windows. The main entry is a single-entry panel door. The building has an attached carport with a hip roof that leads to a single-car garage with a non-historic panel swing-up door. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Minimal Traditional Architecture:

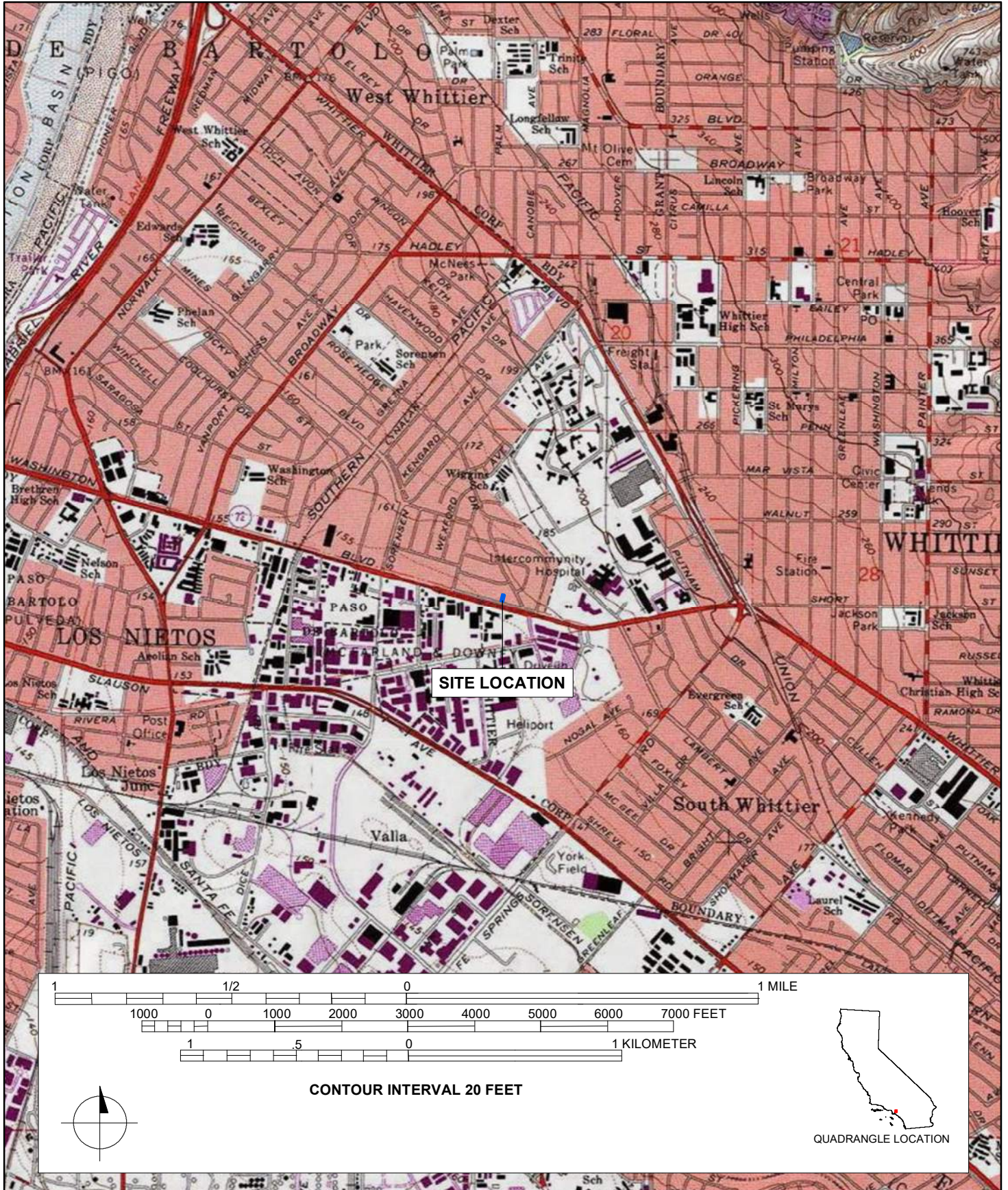
The Minimal Traditional style, popular between circa 1935 and 1950, reflected traditional architectural forms and eclectic styles but generally displayed simpler and less extensive decorative architectural detailing than revival styles that came previously. Minimal Traditional houses are usually modest in scale with one level, and common decorative features include small, simple porches and chimneys. The roofs are low pitched with shallow eaves. Pre-World War II examples usually have a detached garage whereas post-war examples may have a garage attached (Gottfried and Jennings 2009).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 10516 Washington Boulevard

P1. Other Identifier: 10516 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 10516 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759808mE/400082mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8177-001-001

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing south, 12/17/2019, DSCN0212

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1949 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 10516 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property

\*B5. Architectural Style: Ranch-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1949 (Los Angeles County Assessor); Removed carport and patio cover in 2015.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: Van Diest Brothers

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 10516 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 10516 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 10516 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 10516 Washington Boulevard was constructed in 1949 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the rear of the lot and has a northeast-facing orientation. It is a one-story, wood-framed, building with a rectangular plan.

The building has a side gable roof with covered with composite shingles and an interior brick chimney. The walls are clad with stucco. The building has fiberglass-sash, multi-light, horizontal slider windows. The porch is supported by square, brick columns and has a concrete stoop. The main entry is a metal security door. There is an attached two-car garage with a metal roll-up garage door with fanlights. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

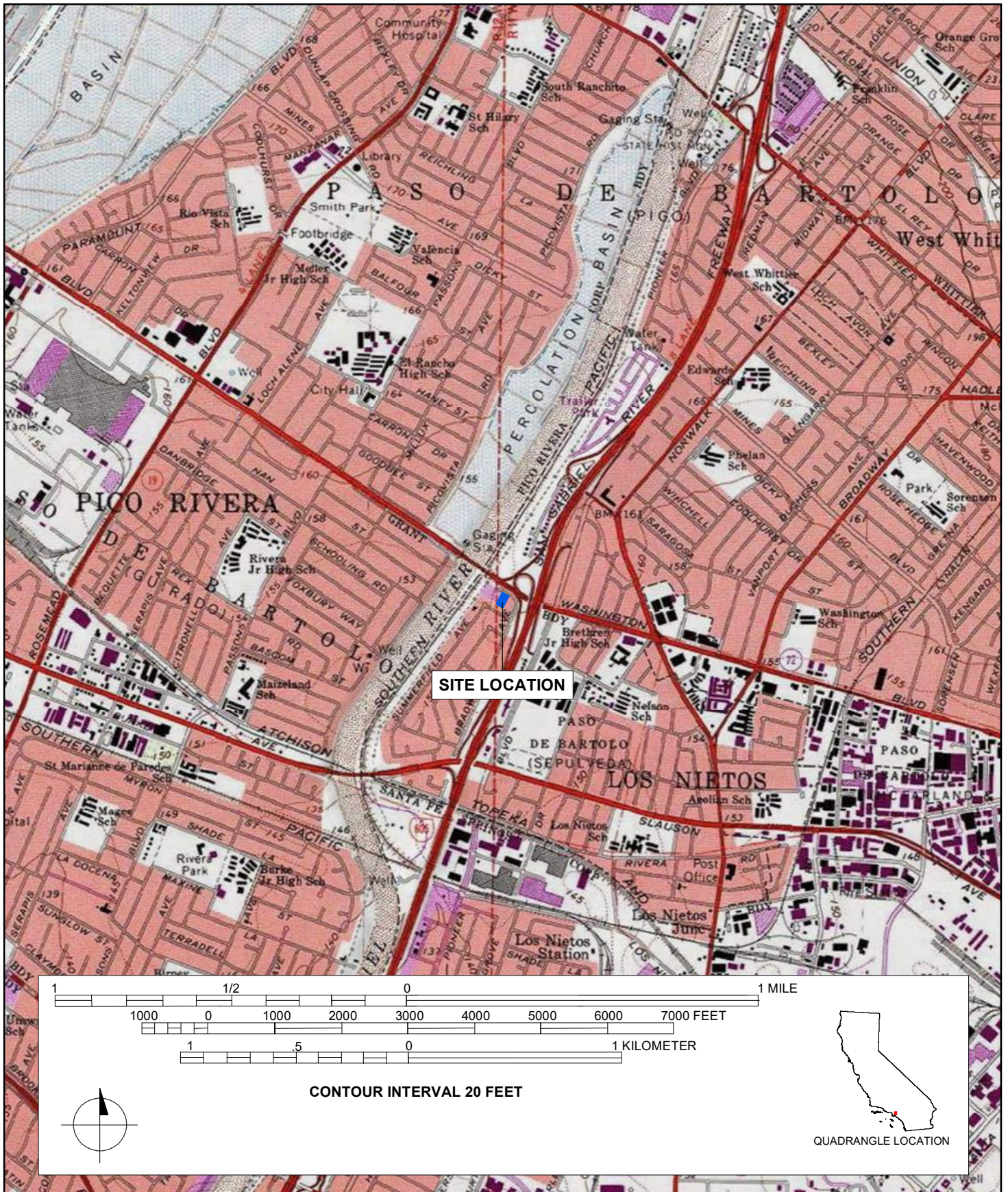
**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12115 Washington Boulevard

P1. Other Identifier: 12115 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12115 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759140mE/402665mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-020-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing northeast, 12/17/2019, IMG 9099

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1949 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12115 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property
- \*B5. Architectural Style: Minimal Traditional-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1949 (Los Angeles County); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: C.H. Fawcett

\*B10. Significance: Theme Residential development Area n/a  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12115 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the subdivision was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12115 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

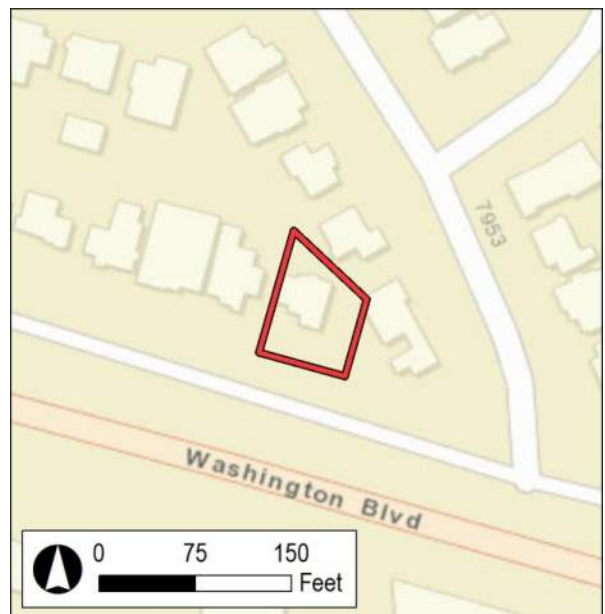
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12115 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12115 Washington Boulevard was constructed in 1949 and is a Minimal Traditional-style, single-family residence (**Photograph 1**). It occupies the center of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a side gable roof with covered with composite shingles, the roof over the porch has open rafters. The walls are clad with stucco. The building has metal-frame horizontal slider windows. The main entry is filled with a wood panel door with a screen. There is an attached single-car garage with a wood swing-up garage door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Minimal Traditional Architecture:

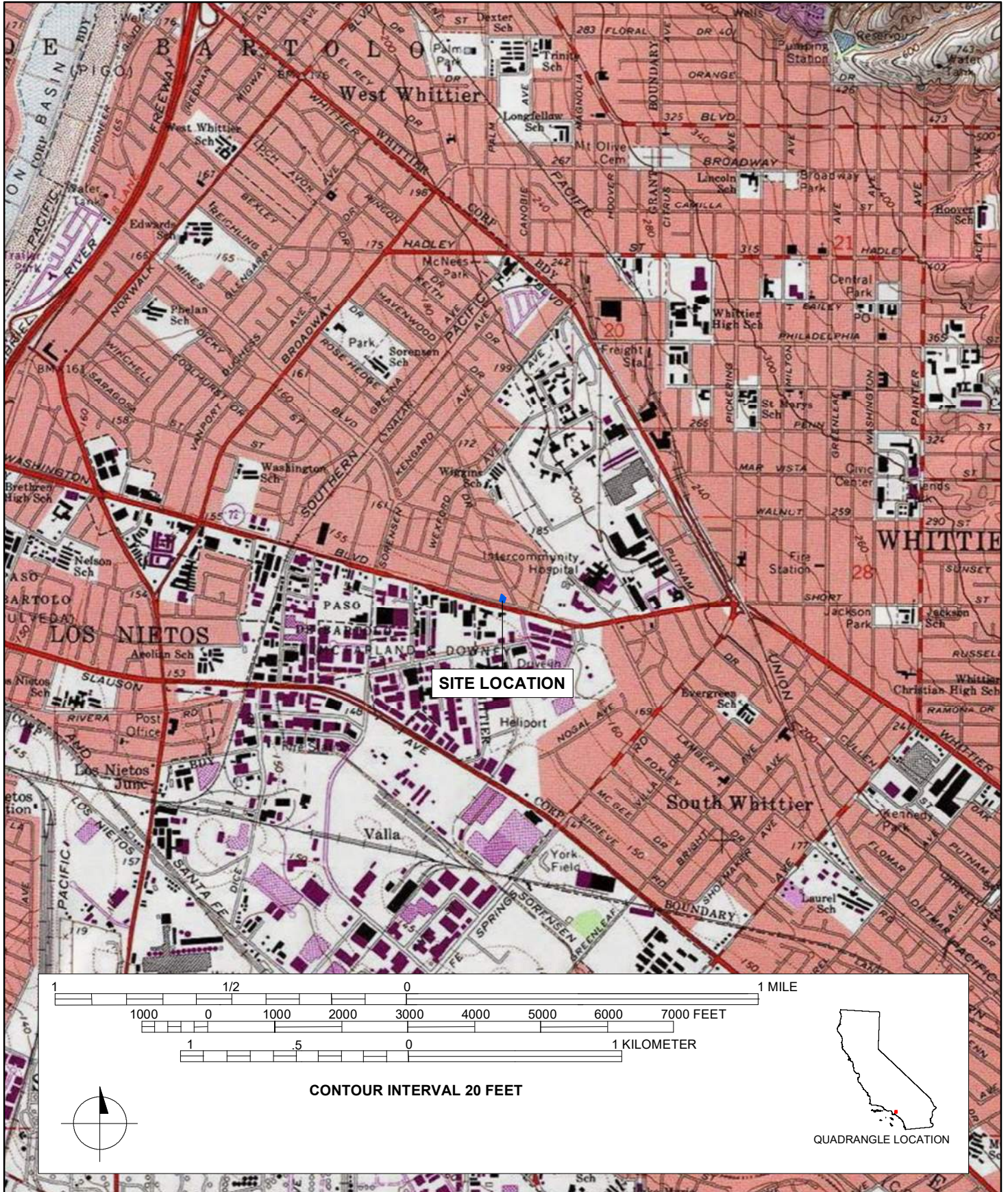
The Minimal Traditional style, popular between circa 1935 and 1950, reflected traditional architectural forms and eclectic styles but generally displayed simpler and less extensive decorative architectural detailing than revival styles that came previously. Minimal Traditional houses are usually modest in scale with one level, and common decorative features include small, simple porches, and chimneys. The roofs are low pitch with shallow eaves. Pre-WWII examples usually have a detached garage whereas post-WWII examples may have a garage attached (Gottfried and Jennings 2009).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12109 Washington Boulevard

P1. Other Identifier: 12109 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12109 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759148mE/402649mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-020-021

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing north, 12/17/2019, DSCN0138

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1949 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12109 Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Single-Family Property

B4. Present Use: Single-Family Property

\*B5. Architectural Style: Minimal Traditional-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1949 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: C.H. Fawcett

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1940s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12109 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the subdivision was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12109 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

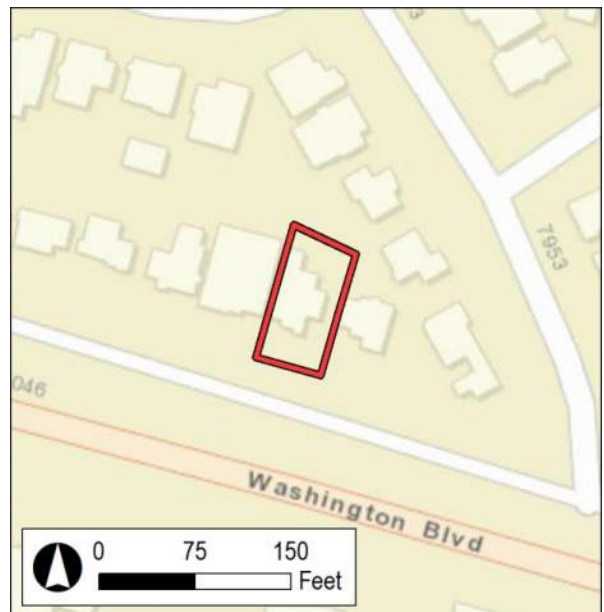
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12109 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12109 Washington Boulevard was constructed in 1949 and is a Minimal Traditional-style, single-family residence (**Photograph 1**). It occupies the center of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a side gable roof with covered with composite shingles. The walls are clad with stucco. The building has metal-frame, multi-light horizontal slider windows. The main entry is filled with a wood panel door with a screen. There is an attached single-car garage with a wood swing-up garage door. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

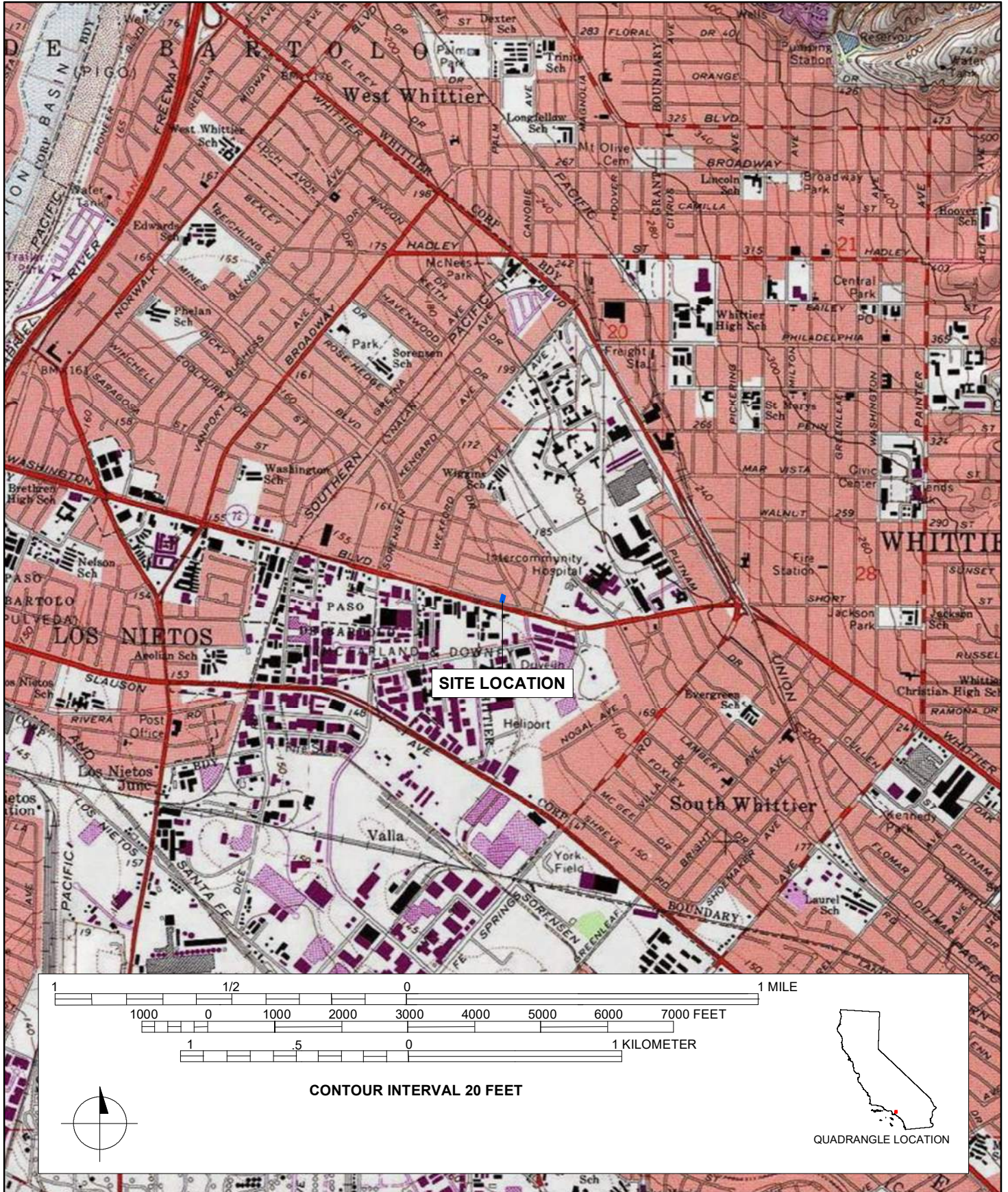
Minimal Traditional Architecture:

The Minimal Traditional style, popular between circa 1935 and 1950, reflected traditional architectural forms and eclectic styles but generally displayed simpler and less extensive decorative architectural detailing than revival styles that came previously. Minimal Traditional houses are usually modest in scale with one level, and common decorative features include small, simple porches and chimneys. The roofs are low pitched with shallow eaves. Pre-World War II examples usually have a detached garage whereas post-war examples may have a garage attached (Gottfried and Jennings 2009).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 9414 Washington Boulevard

P1. Other Identifier: 9414 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 9414 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3760349mE/399320mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6383-001-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/façade, camera facing south, 12/18/2019, IMG 9150

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1950 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 9414 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Big Saver Foods
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

**\*B5. Architectural Style:**

**\*B6. Construction History:** (Construction date, alterations, and date of alterations) 1950(Los Angeles County Assessor). Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

**\*B7. Moved?**  No  Yes  Unknown **Date:** \_\_\_\_\_ **Original Location:** \_\_\_\_\_

**\*B8. Related Features:** n/a

B9a. Architect: N/A b. Builder: N/A

**\*B10. Significance: Theme** n/a **Area** n/a  
**Period of Significance** n/a **Property Type** n/a **Applicable Criteria** n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 9414 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 9414 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

**\*B12. References:** SEE CONTINUATION SHEET

B13. Remarks:

**\*B14. Evaluator:** M. Wilson

**\*Date of Evaluation:** January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 9414 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 9414 Washington Boulevard, Big Saver Foods, was constructed in 1950 and is a heavily altered vernacular strip mall with Neo-Mission-style elements (**Photograph 1**). The architectural details of the building include arched building forms, and integrated, stylized signage. It is a one-story, wood-frame, commercial building with a rectangular plan and a north-facing orientation. Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

The building has a side gable roof covered with tile and shaped parapets. The exterior walls are clad with stucco. The building sits on a concrete slab foundation. The windows and doors are metal-frame storefronts. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

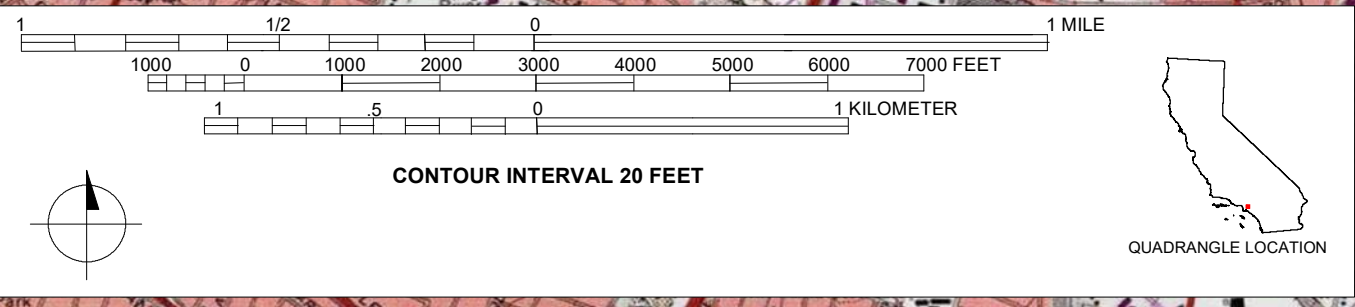
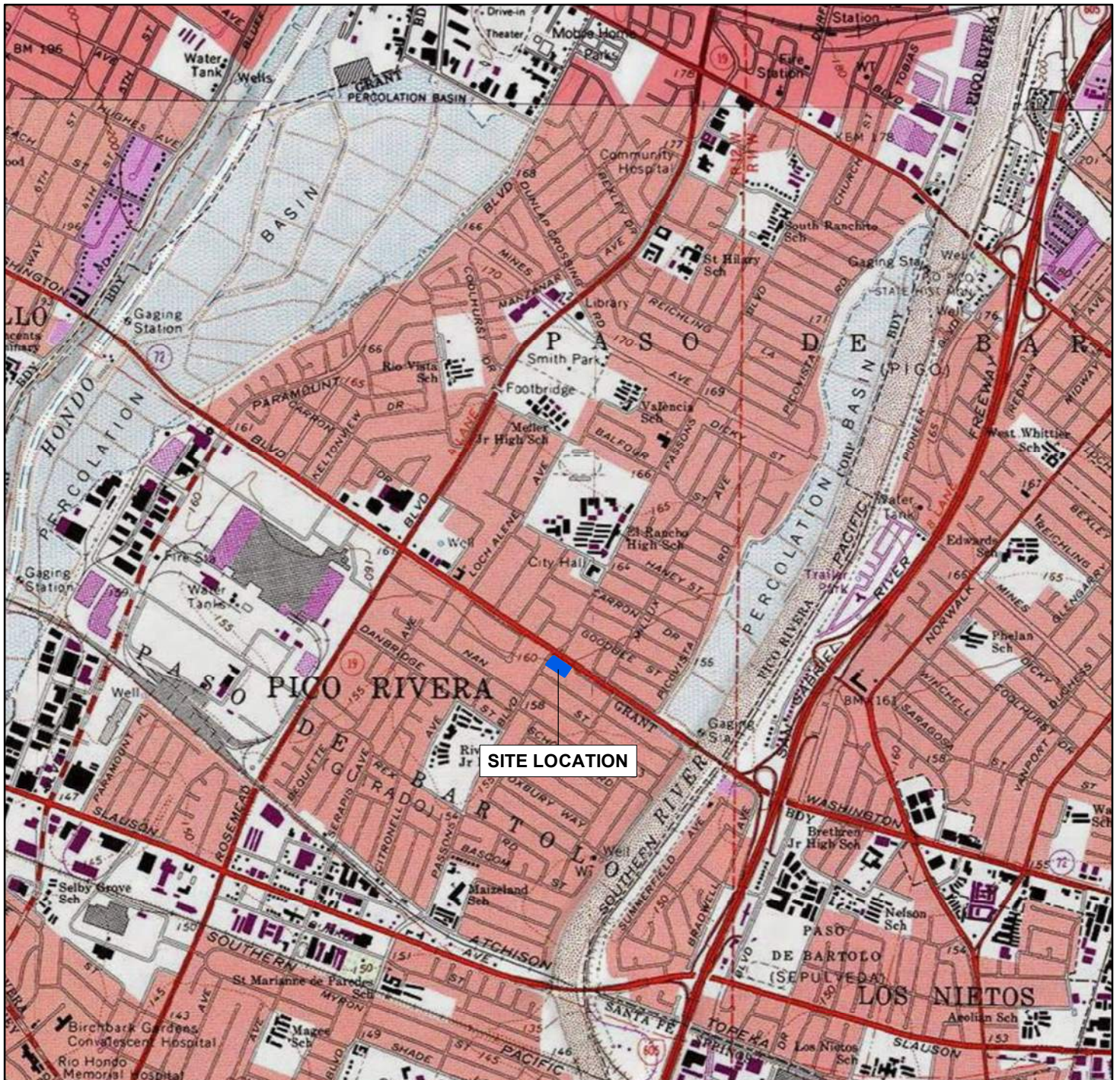
Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 1225 Washington Boulevard

P1. Other Identifier: 1225 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 1225 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762170mE/396322mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-017-012

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing south, 12/18/2019, DSCN0297

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1951 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1225 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1951 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1950s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 1225 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 1225 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

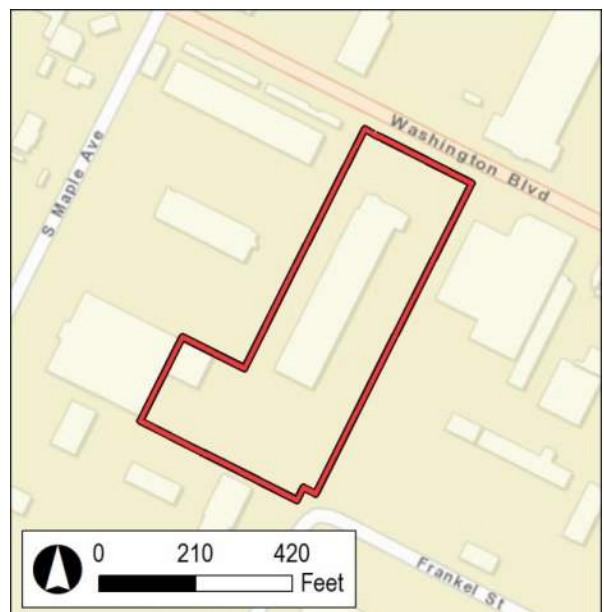
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1225 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 1225 Washington Boulevard was constructed in 1951 and is a vernacular industrial building (**Photograph 1**). It occupies the center of the lot, has a north-facing orientation and is surrounded by paved parking lots and delivery access. It is a one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has non-historic, anodized metal-frame storefront windows with a double-leaf glass door, and fixed windows along the façade. There are multiple loading docks along the east, west, and south elevations of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

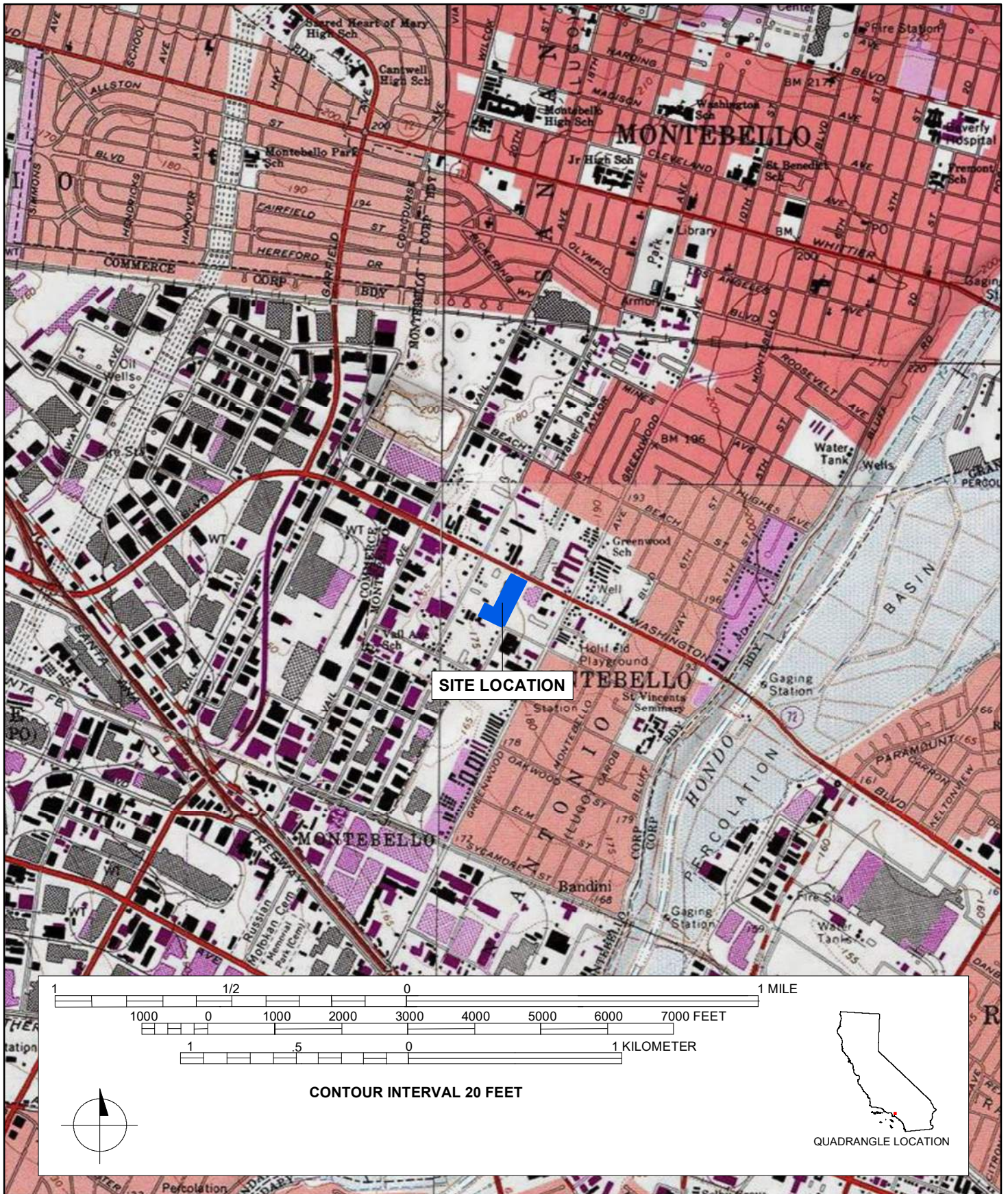
**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

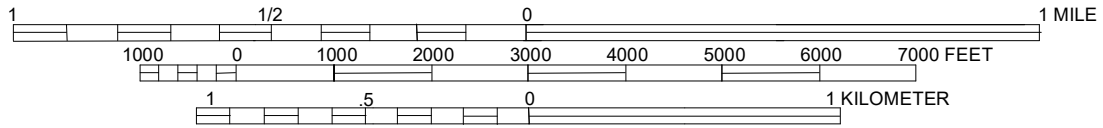
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

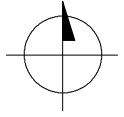
Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.



**SITE LOCATION**



CONTOUR INTERVAL 20 FEET



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11213, 11223, 11235 Washington Boulevard

P1. Other Identifier: 11213, 11223, 11235 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11213, 11223, 11235 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone ;mE/mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8176-017-019, 8176-017-018, 8176-017-017

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/facade, camera facing southeast, 12/17/2019, DSCN0154

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1951, 1952, 1960 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11213, 11223, 11235 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Santa Fe Springs Shopping Center
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular structure with Neo-Mission Revival elements

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1951 (Los Angeles County Assessor); Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Santa Fe Springs  
Period of Significance 1950s Property Type Shopping center Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11213-11235 Washington Boulevard, the Santa Fe Springs Shopping Center, does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the Santa Fe Springs Shopping Center is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

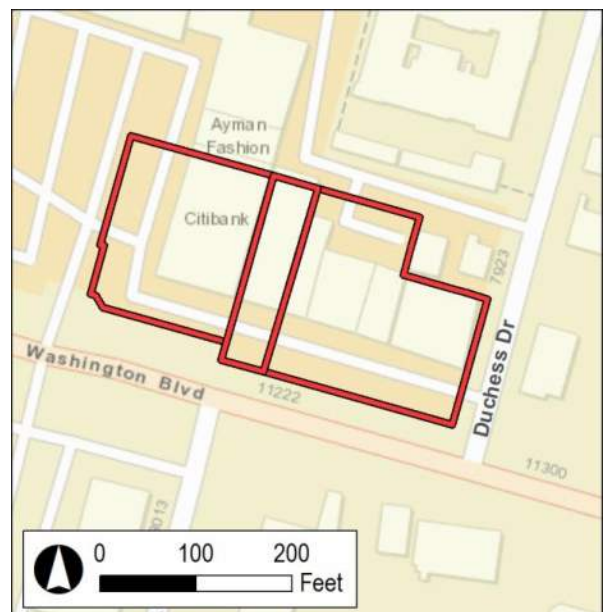
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 11213, 11223, 11235 Washington Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11213-11235 Washington Boulevard, the Santa Fe Springs Shopping Center, was constructed in 1960 and includes 3 parcels and is a vernacular strip mall with Neo-Mission-style elements (**Photograph 1**). The architectural details of the building include ribbon windows, triangular and arched building forms, and integrated, stylized signage. The complex spans the rear portion of the plaza and is fronted by surface parking lots. It is a one-story, wood-frame, commercial building with an irregular plan and a north-facing orientation. Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

The building has a side gable roof with hipped roof forms at the building end, covered with tile. The individual storefronts have shaped, arched porches with square posts. The exterior walls are clad with stucco. The building sits on a concrete slab foundation. The windows and doors are metal-frame storefronts. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

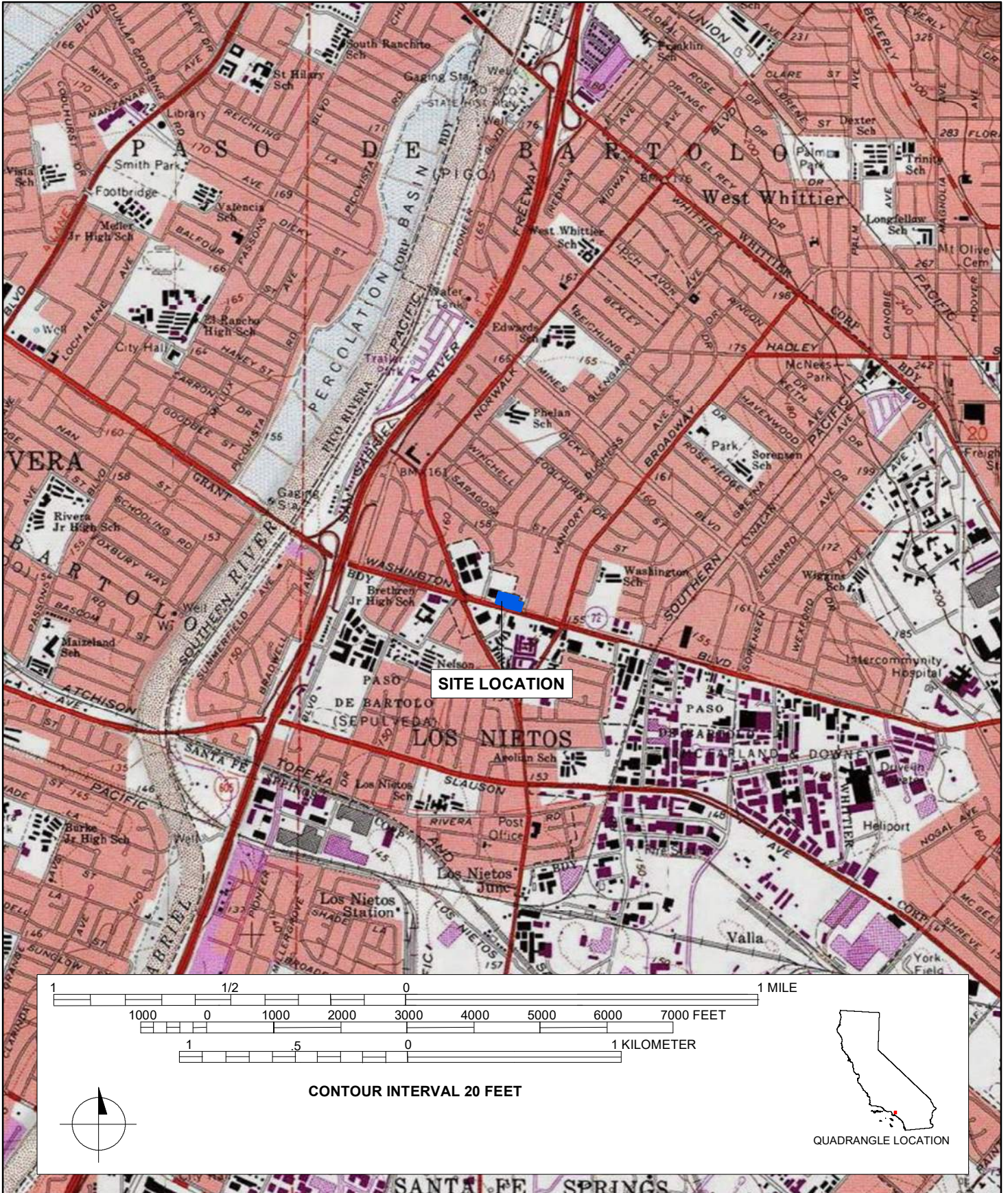
**\*B12. References (continued):**

Foster, Gerald. 2004. *American Houses: a Field Guide to the Architecture of the Home*. Boston and New York: Houghton Mifflin Company.

Gebhard, David and Robert Winter. 1985. *Architecture in Los Angeles, a Complete Guide*. Salt Lake City, UT: Gibbs M. Smith, Inc.

Massey, James C. and Shirley Maxwell. 1996. *House Styles in America: the Old House Journal Guide to the Architecture of American Homes*. New York: Penguin Group.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7–8. Santa Fe Springs: Santa Fe Springs Historical Committee.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 11734 Washington Boulevard

P1. Other Identifier: 11734 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11734 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759239mE/401930mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8169-004-004

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/facade, camera facing south, 12/17/2019, DSCN0148

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1952 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11734 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: OTW Tile for Less
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1952 (Los Angeles County Assessor). Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial/industrial development Area Santa Fe Springs  
Period of Significance 1950s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11734 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial/ industrial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11734 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

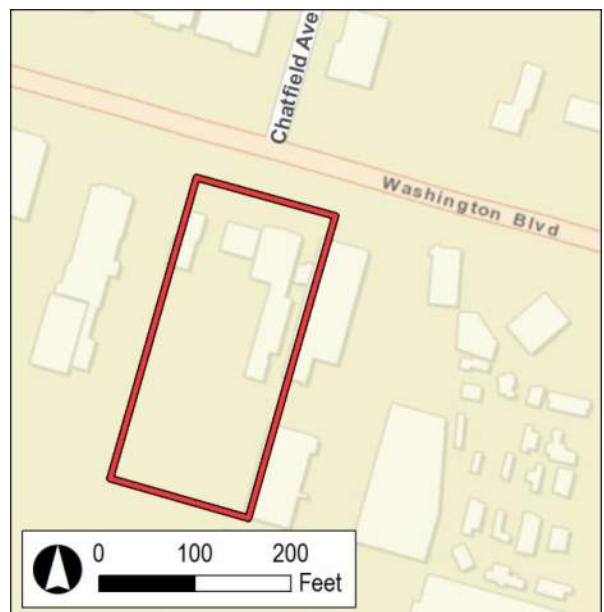
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11734 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11734 Washington Boulevard was constructed in 1952 and is a Modern-style commercial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, wood frame, building with an irregular plan.

The building has a front gable and flat roof covered with composite material and has exposed rafter ends. The walls are clad with stucco. The building has metal-frame storefront windows with a double-leaf glass door, and fiberglass-frame, horizontal slider windows along the façade. Above the entrance is an illuminated box sign attached to the roof. There is a paved parking lot in front of the building. Based on field observation of the property, it appears it has undergone extensive façade alterations throughout the past 30 years.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

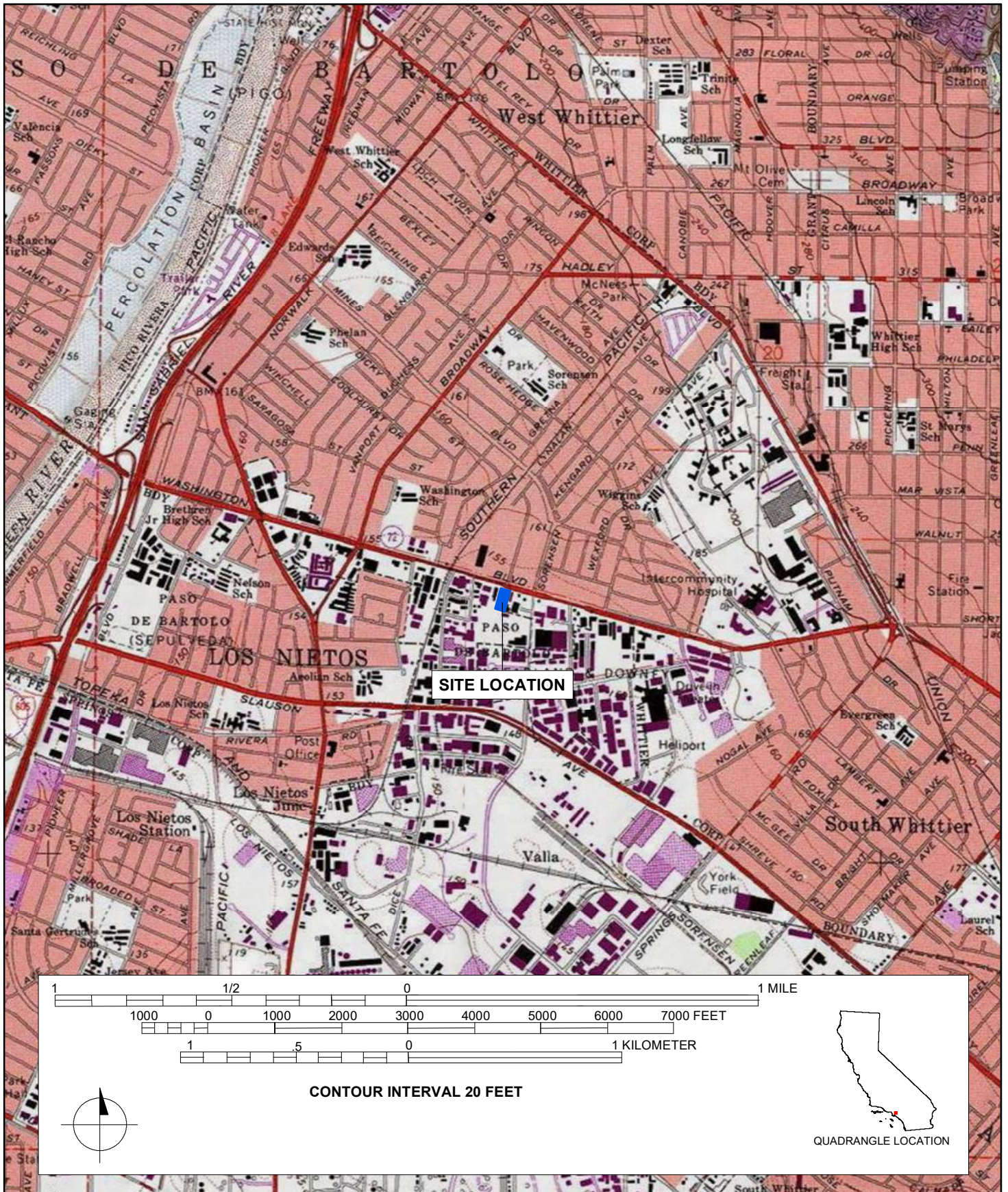
Modern Architecture:

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7-8. Santa Fe Springs: Santa Fe Springs Historical Committee.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 1125 Washington Boulevard

P1. Other Identifier: 1125 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 1125 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762162mE/396523mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-017-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing northwest, 12/17/2019, IMG 9140

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1125 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Mariscos Los Sitios restaurant
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1956 (Los Angeles County Assessor). Alterations: exterior cladding and design alterations.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Montebello  
Period of Significance 1950s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 1125 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 1125 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1125 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 1125 Washington Boulevard, Mariscos Los Sitios restaurant, was constructed in 1956 and is a vernacular commercial building (**Photographs 1-2**). It occupies the northern corner of the lot and has an east-facing orientation. It is a one-story, wood frame, building with a rectangular plan.

The building has a flat roof with a slight parapet. The building has a wide cornice covered with beadboard siding and illuminated box signage. The walls are clad with stucco, brick veneer, and tile. A brick water table wraps around the building. Brick and tile panels with wall-mounted light fixtures are evenly spaced along the exterior walls. The windows are metal-frame fixed windows covered with metal grills. The east elevation entrance is a fabricated metal, arched awning; the door is a metal-frame and glass, storefront, single-entry door. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

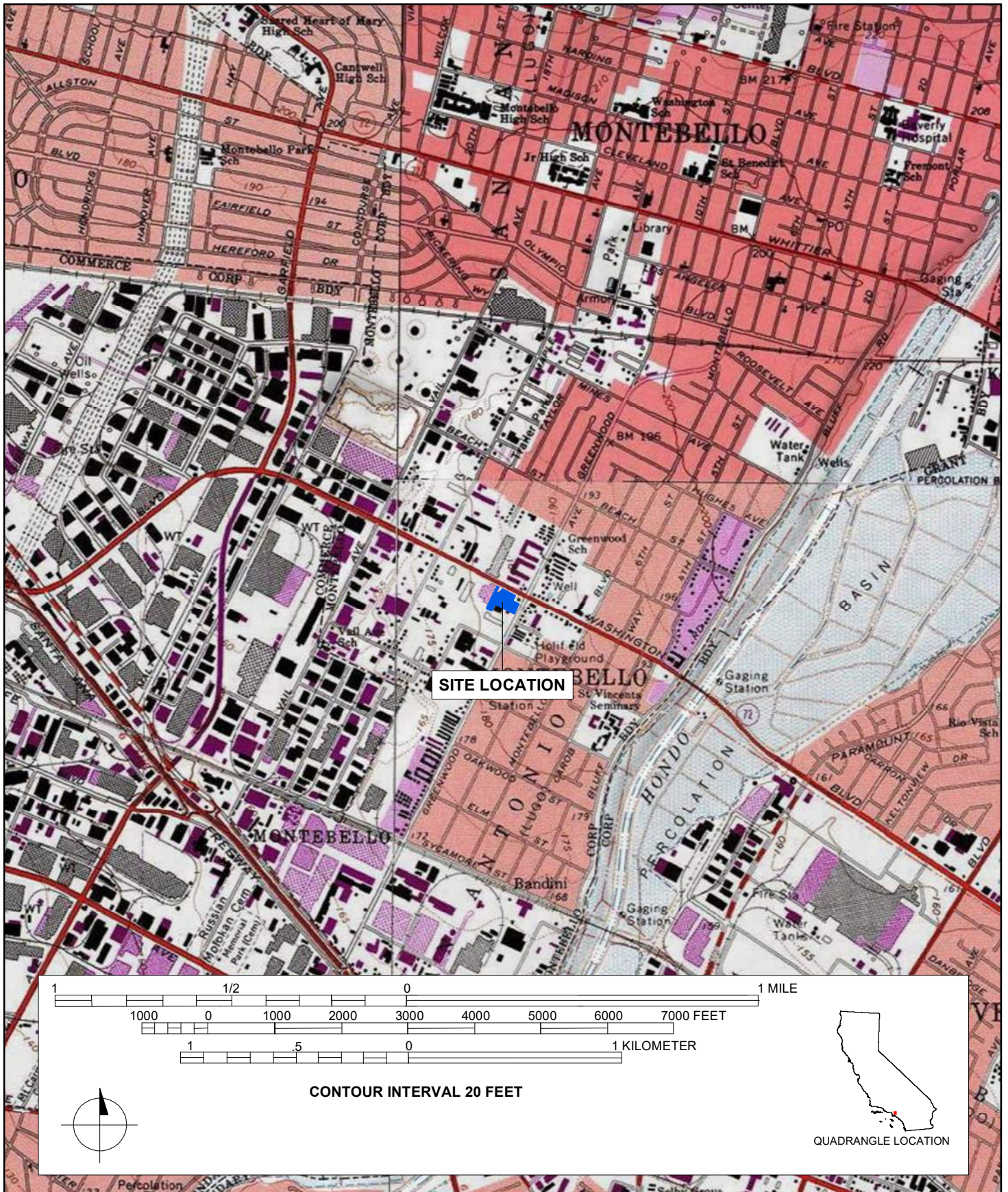
Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1125 Washington Boulevard  
 Continuation  Update



Photograph 2. View of N elevation, camera facing east, 12/17/2019, IMG\_9142



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11934 Washington Boulevard

P1. Other Identifier: 11934 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11934 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759126mE/402343mN

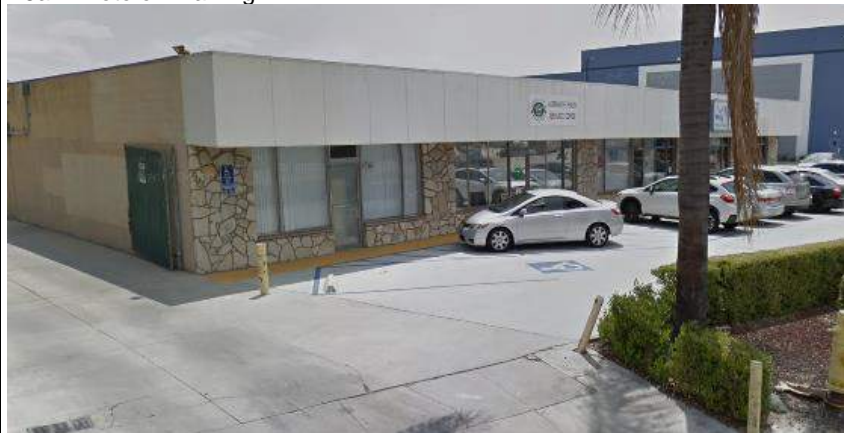
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8169-002-005

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/façade, camera facing south (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11934 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957(Los Angeles County Assessor) . Building permit data indicates illuminated wall signs were installed in 2014.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Santa Fe Springs  
Period of Significance 1950s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11934 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Santa Fe Springs. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11934 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11934 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11934 Washington Boulevard was constructed in 1957 and is a Modern-style commercial building (**Photograph 1**). It occupies the northern portion of the lot and has a north-facing orientation. It is a one-story, wood frame building with an L-shaped plan. Building permit data indicates illuminated wall signs were installed in 2014.

The building has a flat roof with parapet and a wide, overhanging, box cornice. The walls are covered with stucco and Chatsworth stone veneer. The building has three storefronts along the north elevation façade, all are aluminum-frame and glass windows and single-entry doors. The building has a concrete foundation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

Modern Architecture:

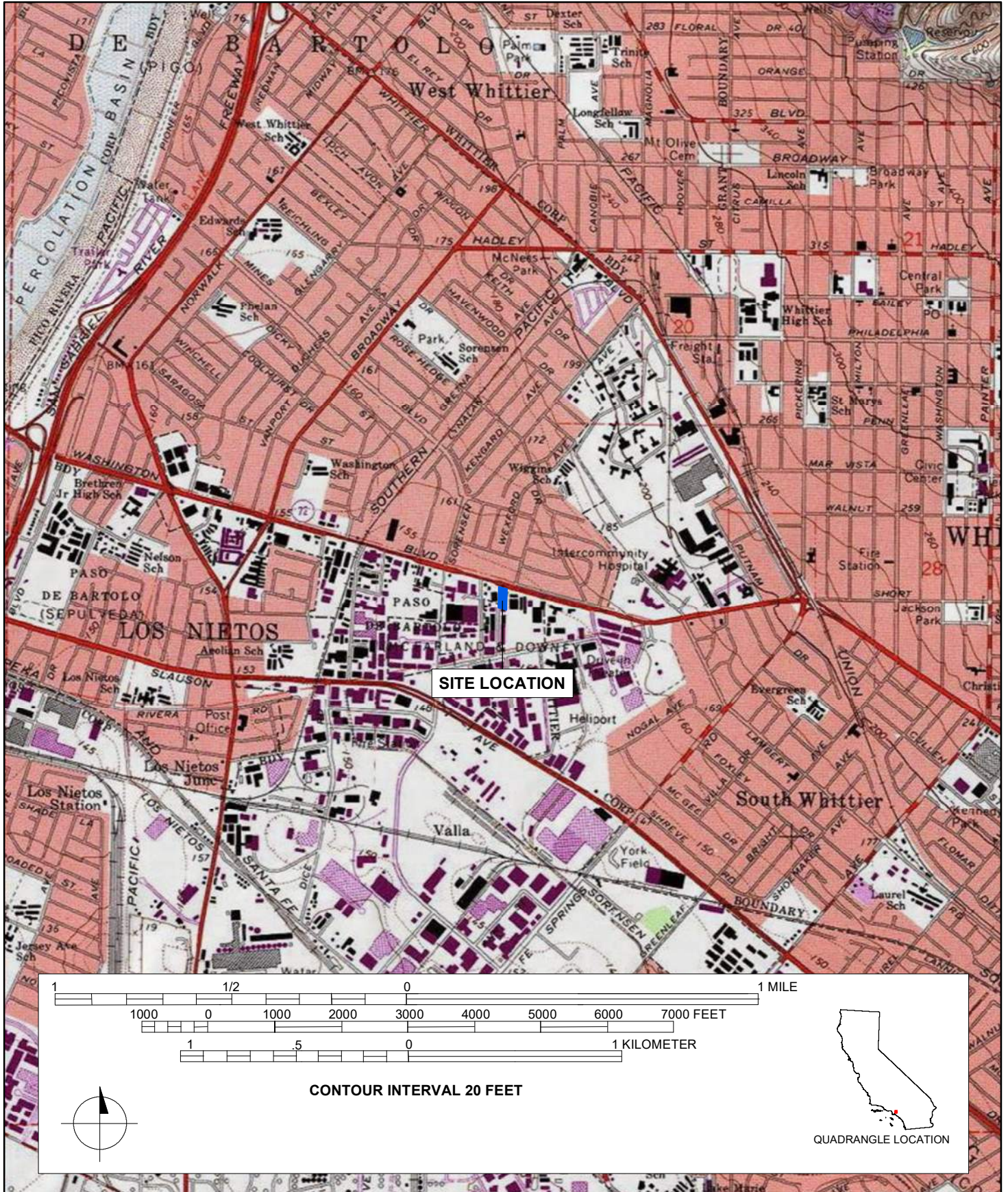
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7-8. Santa Fe Springs: Santa Fe Springs Historical Committee.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8825 Washington Boulevard

P1. Other Identifier: 8825 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8825 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761011mE/398531mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6370-027-018

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/17/2019, DSCN0182

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1957 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record \_\_\_\_\_  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record \_\_\_\_\_  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8825 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Contemporary

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1957 (Los Angeles County Assessor); The building's entire exterior arrangement, design, and form was remodeled in 2019 (based on field observation).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Rivera  
Period of Significance 1950s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8825 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8825 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8825 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8825 Washington Boulevard was constructed in 1957 and is a modified, Contemporary-style commercial building (**Photograph 1**). It occupies the center of the lot and has a south-facing orientation. It is a one-story, wood frame building with a rectangular plan. The building's entire exterior arrangement, design, and form was remodeled in 2019 (based on field observation).

The building has a flat roof with parapet. The walls are covered with stucco and fieldstone veneer. The building's windows and doors are anodized metal-frame and glass storefronts. Decorative, non-historic, pergolas and vinyl awnings are installed along the east and west elevations. The building has a concrete foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

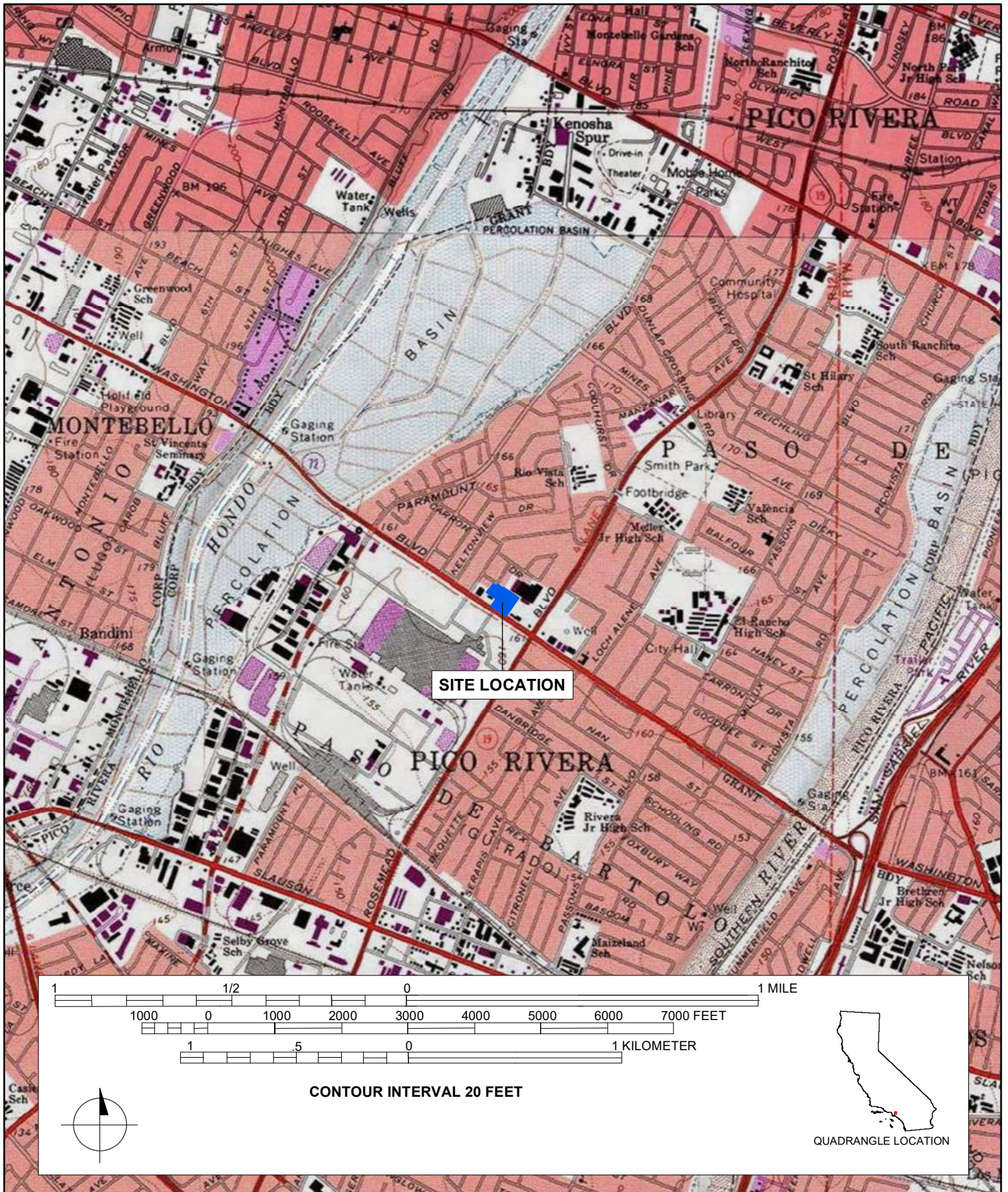
**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A, Knopf, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8701 Washington Boulevard

P1. Other Identifier: 8701 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8701 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761086mE/398354mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6370-024-033

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of E elevation/facade, camera facing northwest, 12/17/2019, DSCN0180

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1958 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8701 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1958 (Los Angeles County Assessor). Alterations: replacement windows and doors.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Riviera  
Period of Significance 1950s Property Type Shopping center Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8701 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Pico Riviera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8701 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8701 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8701 Washington Boulevard was constructed in 1958 and is a vernacular commercial building (**Photographs 1-2**). It occupies the western portion of the lot and has an east-facing orientation. It is a one-story, wood frame, building with a rectangular plan.

The building has a mansard roof covered with Spanish tile and wide overhanging eaves and a box cornice with non-historic signage. The walls are clad with stucco. The building has anodized metal-frame storefront windows with a double-leaf glass door, and fixed windows along the façade. The building has a concrete foundation. There is a paved parking lot in front of the building to the east. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

**\*B12. References (continued):**

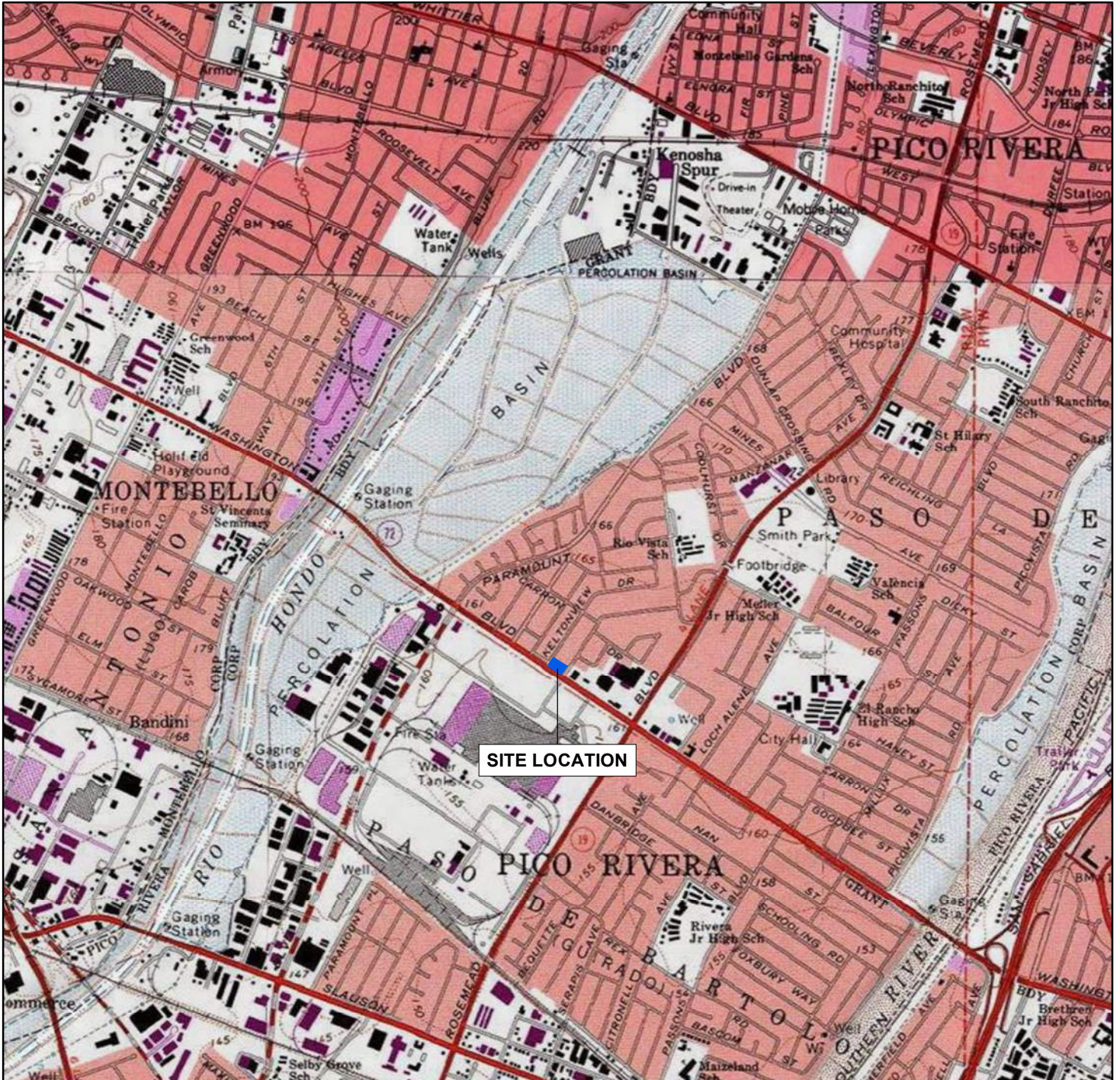
City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

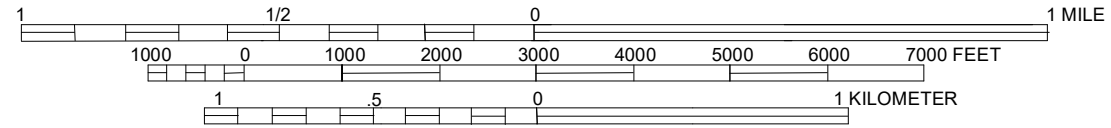


**Photograph 2.** View of W elevation, camera facing northeast, 12/17/2019, DSCN0178

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



**SITE LOCATION**



CONTOUR INTERVAL 20 FEET



QUADRANGLE LOCATION



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6865 Washington Boulevard

P1. Other Identifier: 6865 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6865 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762661mE/395744mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-003-060

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE and SW elevation/facade, camera facing north, 12/18/2019, DSCN0215

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1961 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6865 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Rucci Forged
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1961(Los Angeles County Assessor). Between 2014 and 2017, the awnings covering the windows and doors were replaced and the porch deck was replaced with concrete steps and ramps (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6865 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century industrial development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6865 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

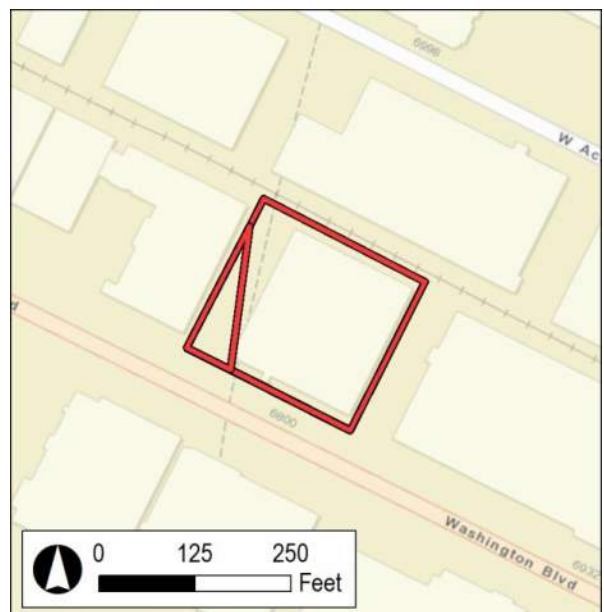
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6865 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6865 Washington Boulevard was constructed in 1961 and is a vernacular industrial building (**Photograph 1**). It occupies the entire lot and has a southwest-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan. Between 2014 and 2017, the awnings covering the windows and doors were replaced and the porch deck was replaced with concrete steps and ramps (Google Streetview 2019).

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has anodized metal-frame ribbon windows covered by metal awnings. The main entrance is an anodized metal-frame and glass double-leaf door. The building has a concrete foundation. There is a paved parking lot to the west of the building. The resource retains some aspects of its integrity; however, the replacement of the building's windows and doors with a modern storefront assembly has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

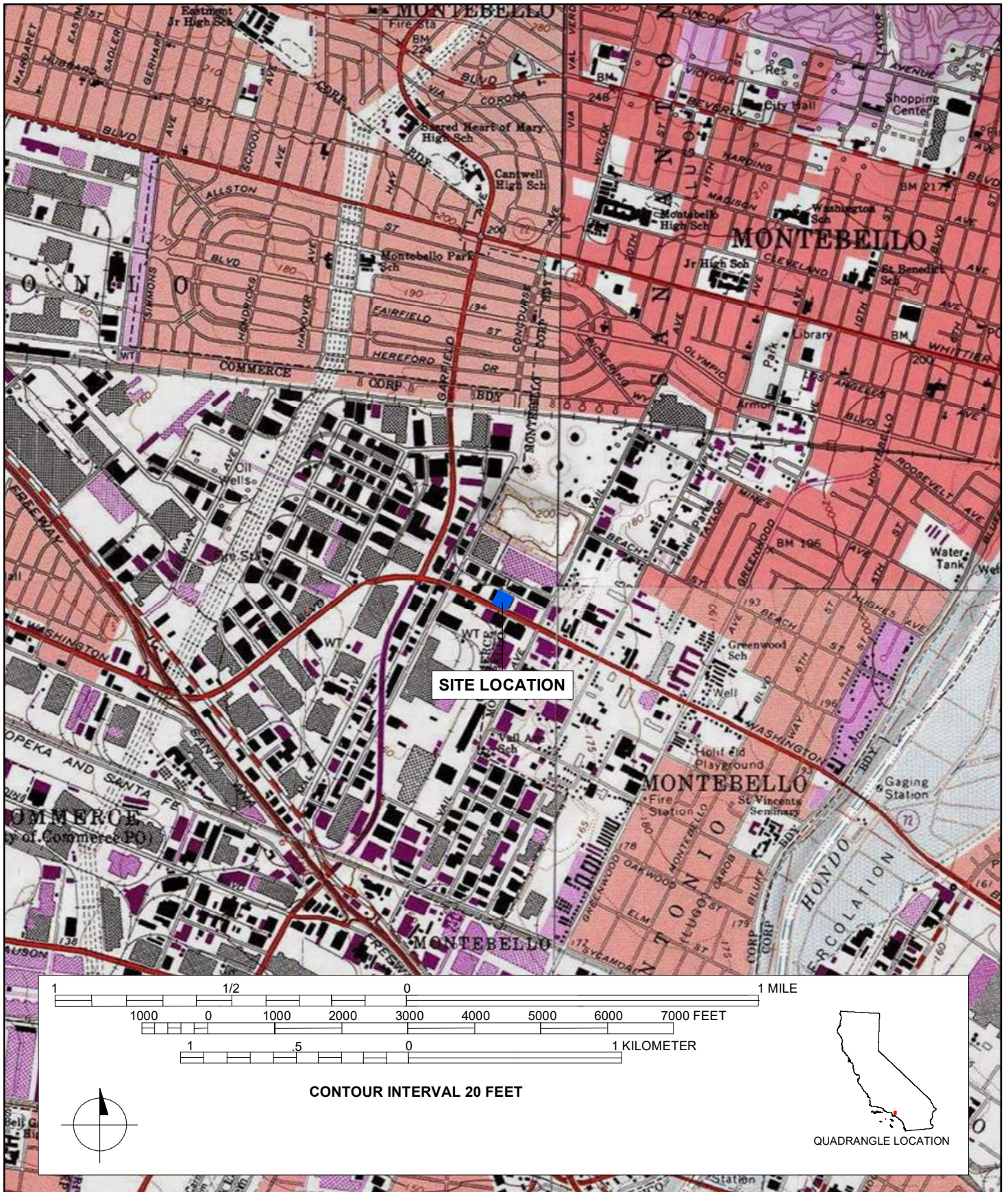
City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11242 Washington Boulevard

P1. Other Identifier: 11242 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11242 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759508mE/401044mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8178-001-059

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N and E elevation/facade, camera facing southwest, 12/17/2019, IMG 9110

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1968 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11242 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Double
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1968 (Los Angeles County Assessor). Alterations: façade, window, and door alterations.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Santa Fe Springs  
Period of Significance 1960s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11242 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11242 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11242 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11242 Washington Boulevard, Doublz restaurant, was constructed in 1968 and is a vernacular commercial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, wood frame, building with a rectangular plan.

The building has a flat roof with a parapet and a wide box cornice with non-historic signage. The walls are clad with stucco and tile. The windows are anodized metal-frame fixed windows covered with vinyl awnings. There are gooseneck light fixtures above each awning. The entrance is along the west elevation and is an anodized metal-frame and glass, storefront, single-entry door. The building has a concrete foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

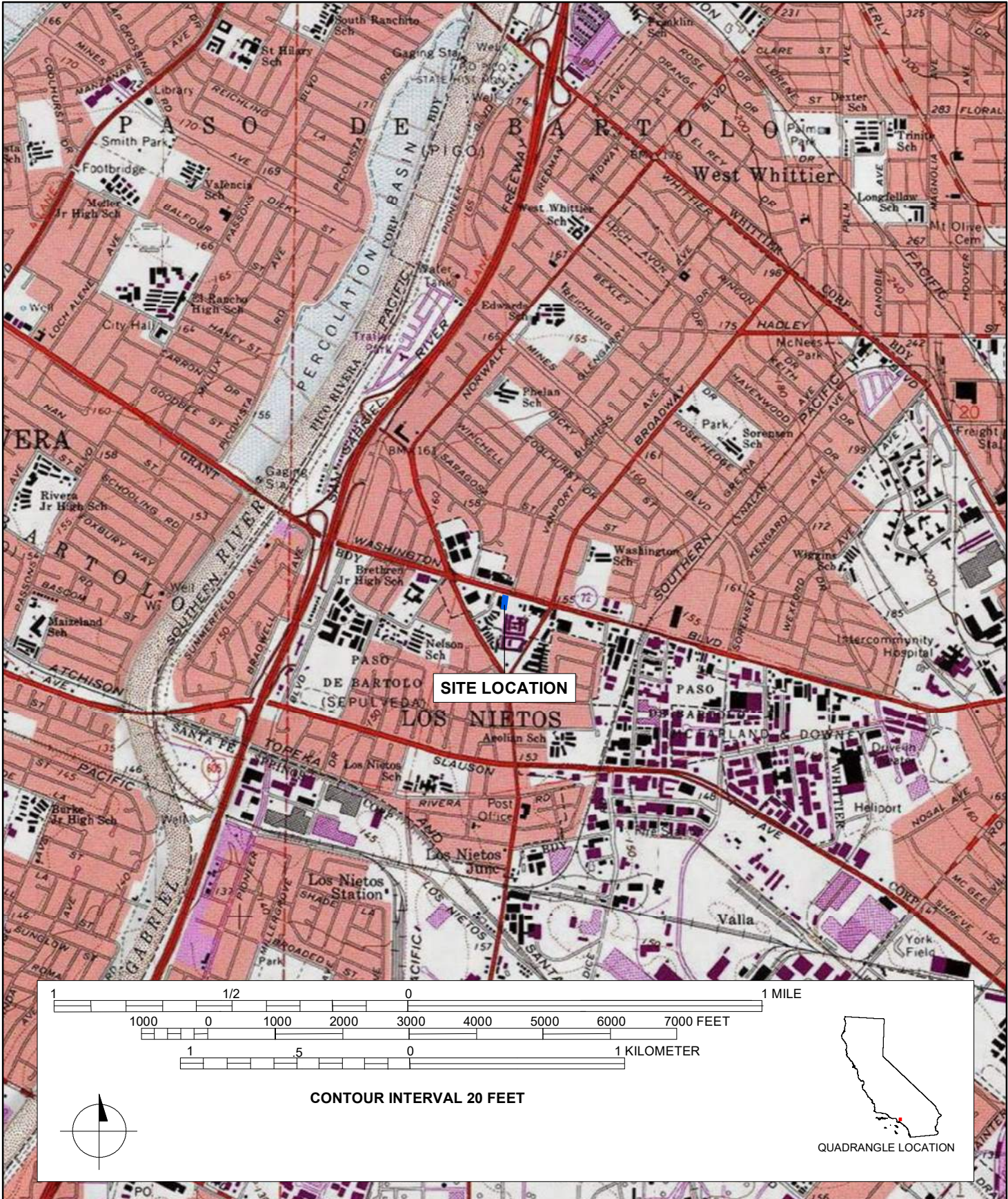
Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

**\*B12. References (continued):**

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7–8. Santa Fe Springs: Santa Fe Springs Historical Committee.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11300 Washington Boulevard

P1. Other Identifier: 11300 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11300 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759489mE/401066mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8178-001-060

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing southwest, 12/17/2019, DSCN0152

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1968 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11300 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Birrieria Restaurant
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Modern-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1968 (Los Angeles County Assessor). Alterations: replacement of the building's windows and doors with a modern storefront assembly.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Santa Fe Springs  
Period of Significance 1960s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11300 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11300 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11300 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11300 Washington Boulevard, Birrieria restaurant, was constructed in 1968 and is a Modern-style commercial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, wood frame, building with a rectangular plan.

The building has a mansard roof covered with tile. There is a stone clad building projection along the north elevation. The walls are clad with stucco and board and batten siding. The windows are metal-frame fixed windows. The building has a wraparound porch with wood post supports. The building has a concrete foundation. The resource retains some aspects of its integrity; however, the replacement of the building's windows and doors with a modern storefront assembly has diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

Modern Architecture:

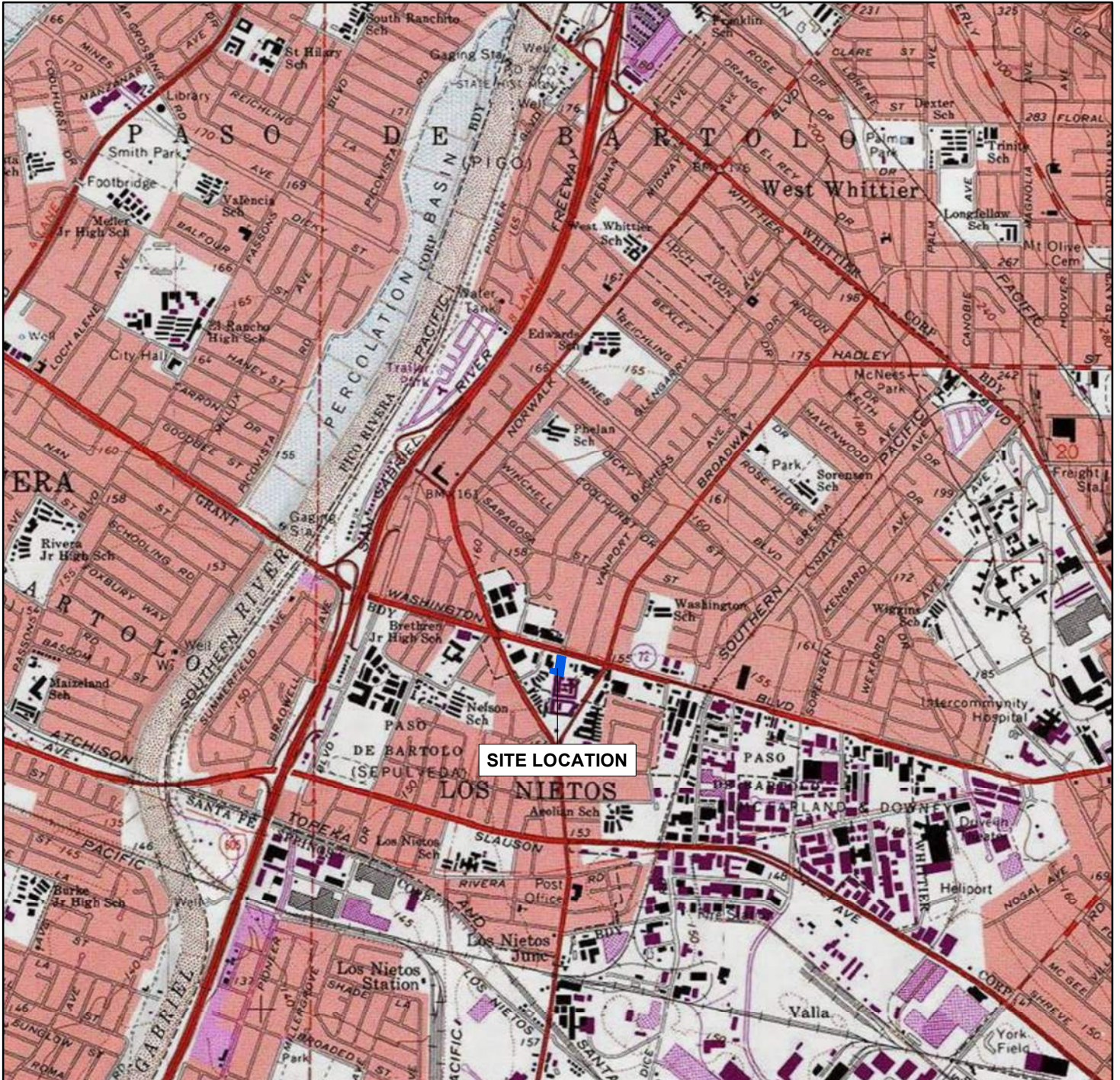
Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

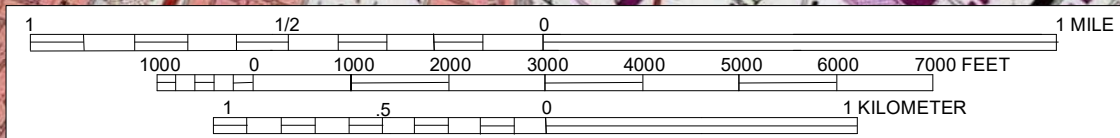
Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7-8. Santa Fe Springs: Santa Fe Springs Historical Committee.

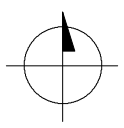
Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



**SITE LOCATION**



CONTOUR INTERVAL 20 FEET



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11302 Washington Boulevard

P1. Other Identifier: 11302 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11302 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759484mE/401103mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8178-001-061

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of N elevation, view south (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1971 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11302 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Alta Dena Express
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1971(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Santa Fe Springs  
Period of Significance 1970s Property Type Service station Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11302 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Santa Fe Springs. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11302 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

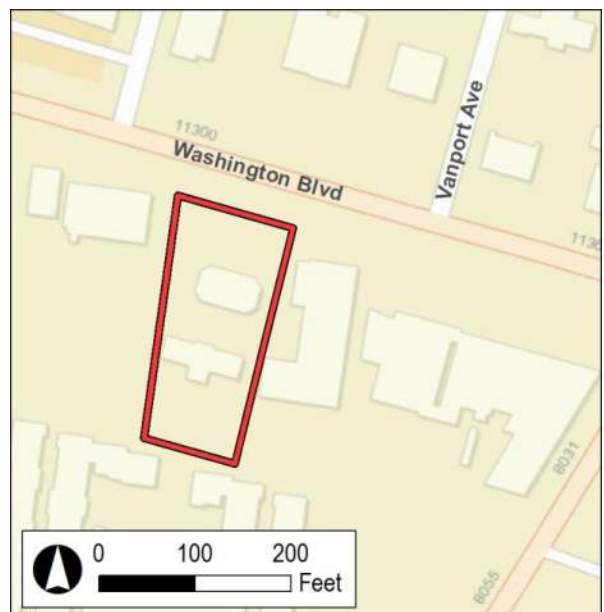
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11302 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11302 Washington Boulevard was constructed in 1971 and is a vernacular service station (**Photograph 1**). It occupies the center of the lot, has a north-facing orientation and includes a carwash facility at the rear of the lot. The service station is a one-story, wood frame and brick, building with a roughly rectangular plan. The carwash facility is a concrete block building with a T-shaped plan. Both buildings have flat roofs. The service station has aluminum-frame window and doors. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

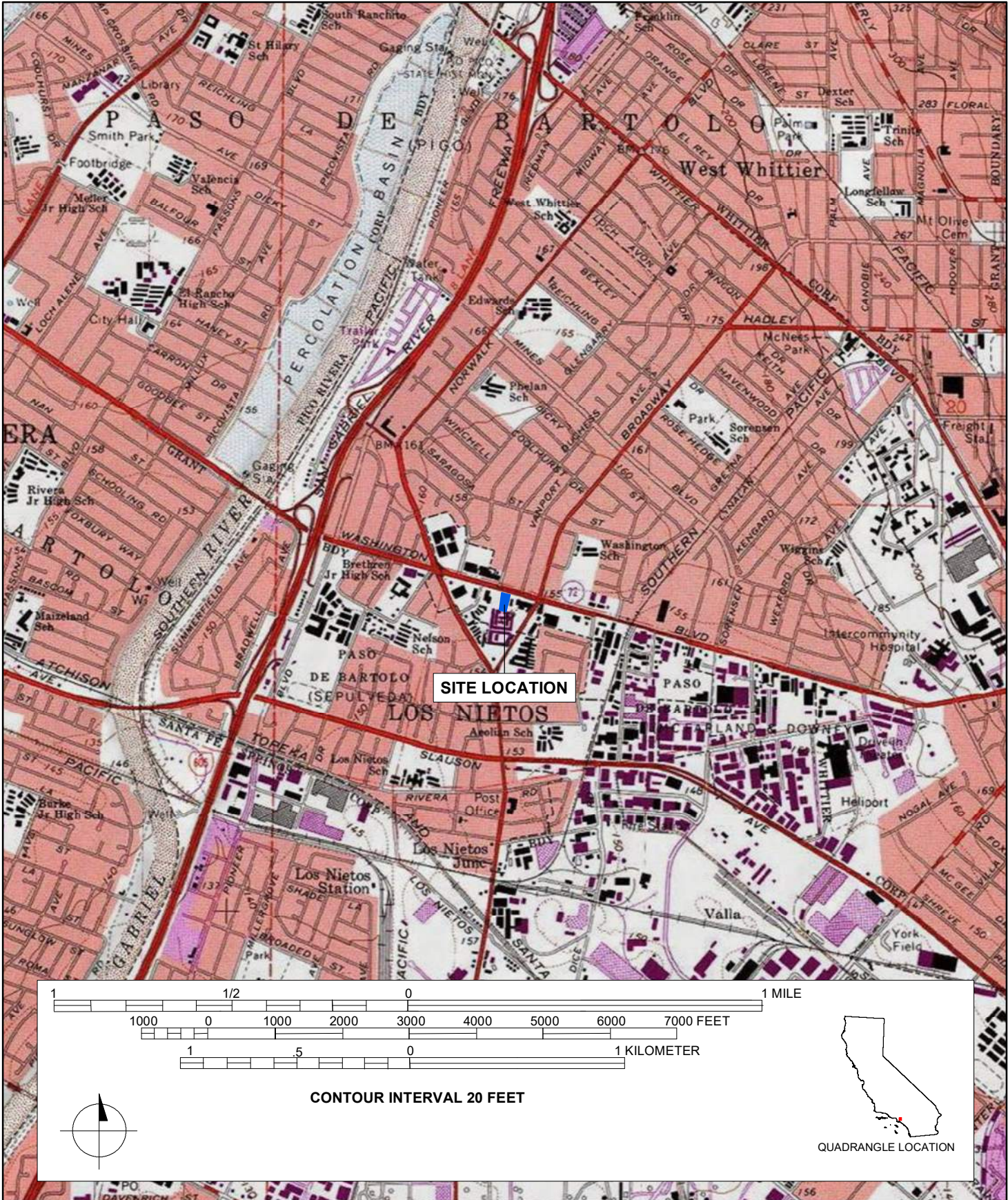
The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7-8. Santa Fe Springs: Santa Fe Springs Historical Committee.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 510 Washington Boulevard

P1. Other Identifier: 510 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 510 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761984mE/397126mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-029-011

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/façade, camera facing east, 12/17/2019, IMG 9128

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1971 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 510 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Southern California Safe Company
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Modern-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1971 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 510 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 510 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

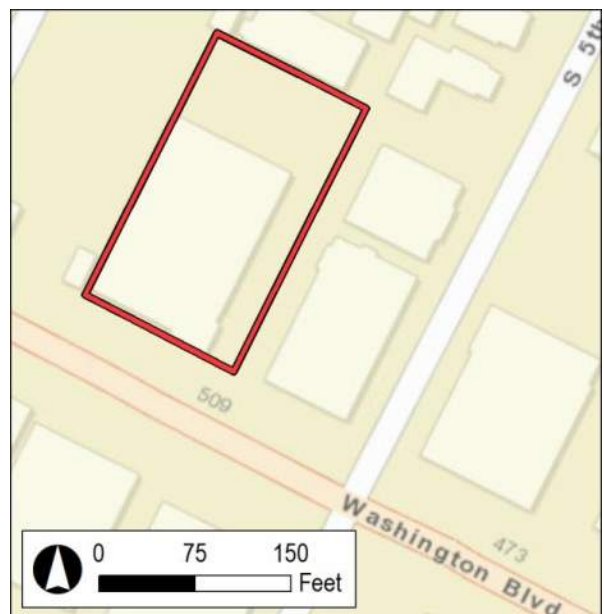
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 510 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 510 Washington Boulevard, the Southern California Safe Company, was constructed in 1971 and is a Modern-style commercial building (**Photographs 1-2**). It occupies the front of the lot and has a south-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The entrance is covered by a monumental porch with a mansard roof covered with tile. The porch has three square column supports. The walls are clad with concrete and textured stucco. The building has anodized metal-frame ribbon windows and a storefront with a double-leaf glass door. The building has a concrete foundation. There is a paved parking lot to the rear of the property, behind the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Modern Architecture:

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 4 of 5

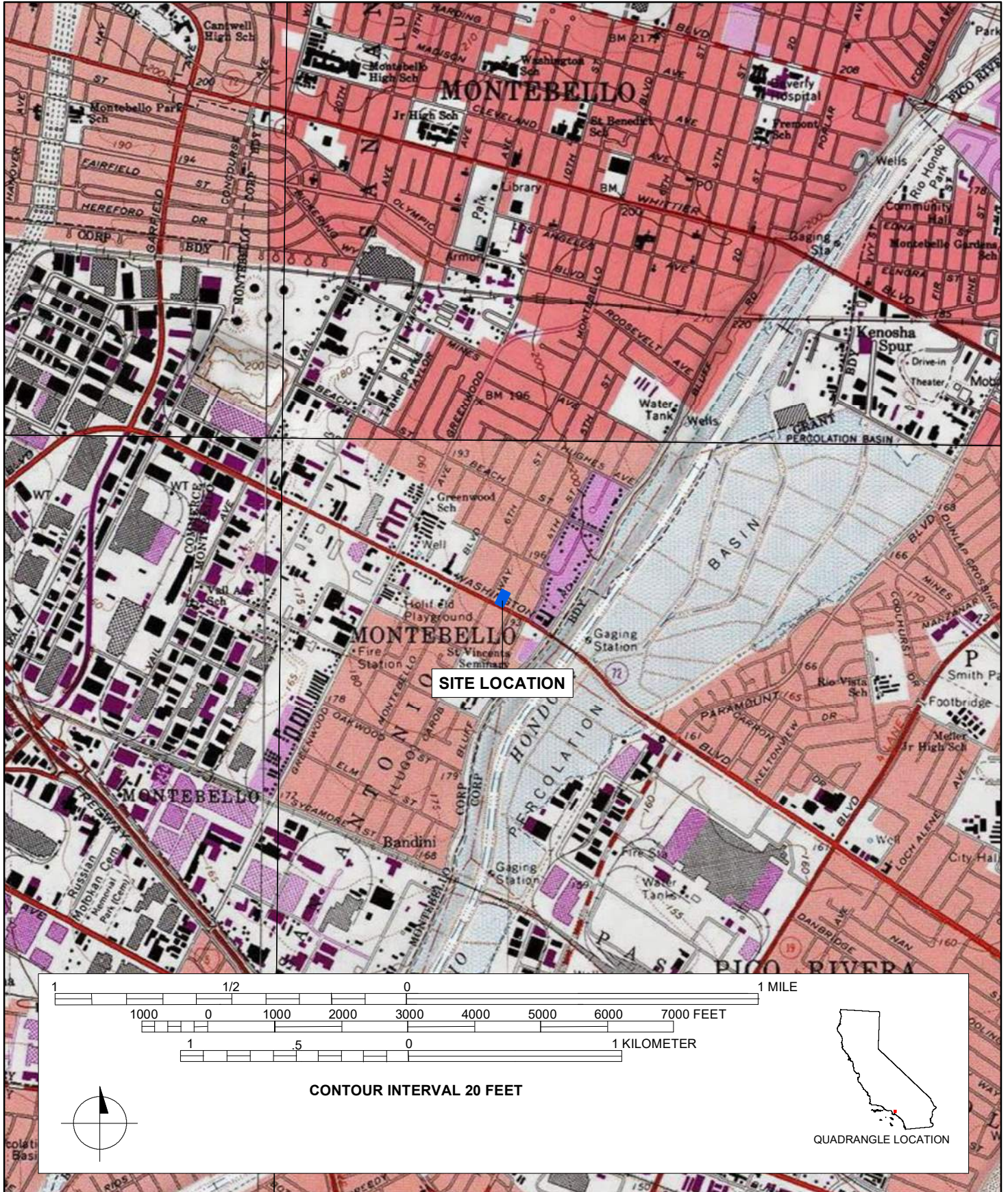
\*Resource Name or # (Assigned by recorder) 510 Washington Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 2. View of S elevation, camera facing east, 12/17/2019, IMG\_9129



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 12300 Washington Boulevard

P1. Other Identifier: 12300 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12300 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758973mE/402879mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-018-037

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing west, 12/17/2019, DSCN0129

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1972 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12300 Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular structure with contemporary-style elements

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1972 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12300 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12300 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12300 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12300 Washington Boulevard was constructed in 1972 is a vernacular strip mall with Contemporary-style elements (**Photographs 1-2**). The architectural details of the building include ribbon windows, monumental massing, and square columns. The complex spans the entire plaza and is fronted by surface parking lots. It is a monumental, one-story, tilt-up concrete, commercial building, with a central, two-story block. The building has a rectangular plan and a north-facing orientation.

The building has a flat roof with wide overhanging eaves with square column supports. The individual storefronts have aluminum-frame windows and single-entry doors. The exterior walls are clad with concrete and stucco. The building sits on a concrete slab foundation. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A, Knopf, Inc.



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

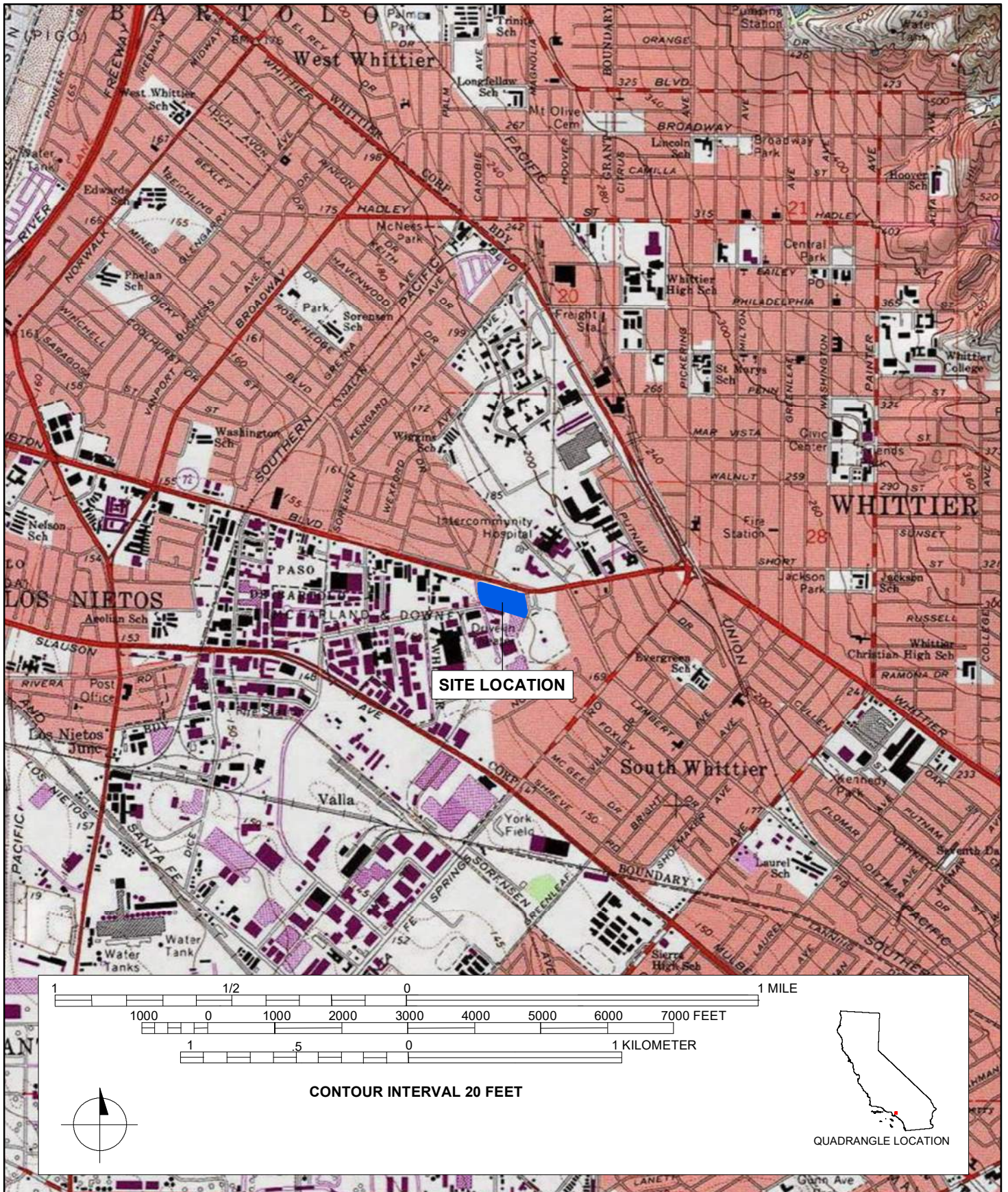
Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12300 Washington Boulevard  
 Continuation  Update



Photograph 2. View of N elevation, camera facing south, 12/17/2019, DSCN0130



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 511 Washington Boulevard

P1. Other Identifier: 511 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 511 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761894mE/397083mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-023-060

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing west, 12/17/2019, DSCN0188

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1972 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 511 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: New Day Montebello Weight Management
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Modern-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1972 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Montebello  
Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 511 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 511 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 511 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 511 Washington Boulevard was constructed in 1972 and is a Modern-style commercial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The entrance is within and inset, arcaded porch with pendant light fixtures. The walls are clad with concrete and brick veneer covers the arches along the facade. The building has aluminum-frame storefront windows and the main entrance is double-leaf glass door. The building has a concrete foundation. There is a paved parking lot to the rear of the property, behind the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Modern Architecture:

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

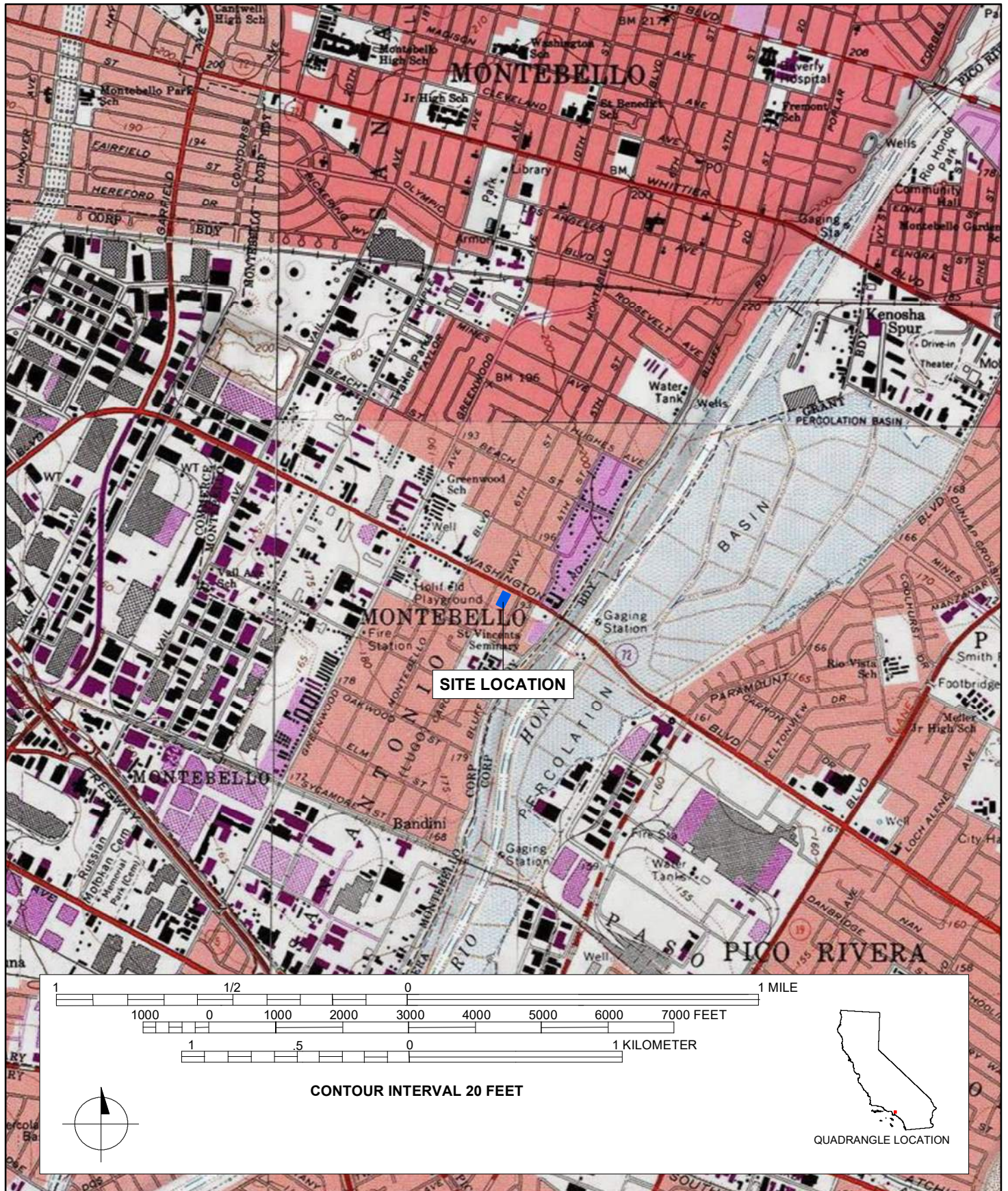
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 855 Washington Boulevard

P1. Other Identifier: 855 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 855 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762073mE/396676mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-007-046

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing west, 12/17/2019, IMG 9137

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1972 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 855 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Extraktor Depot
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1972 (Los Angeles County Assessor). Alterations: replacement doors and windows.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 855 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century industrial development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 855 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 855 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 855 Washington Boulevard was constructed in 1972 and is a vernacular industrial building (**Photograph 1**). It occupies the rear of the lot and has a northeast-facing orientation. It is a monumental, two-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete with horizontal banding patterns. The building has anodized metal-frame ribbon windows and double-leaf doors. The northeast elevation has several loading docks with metal roll-up garage doors. The building has a concrete foundation. The property is fronted by a surface parking lot and enclosed by metal gates. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

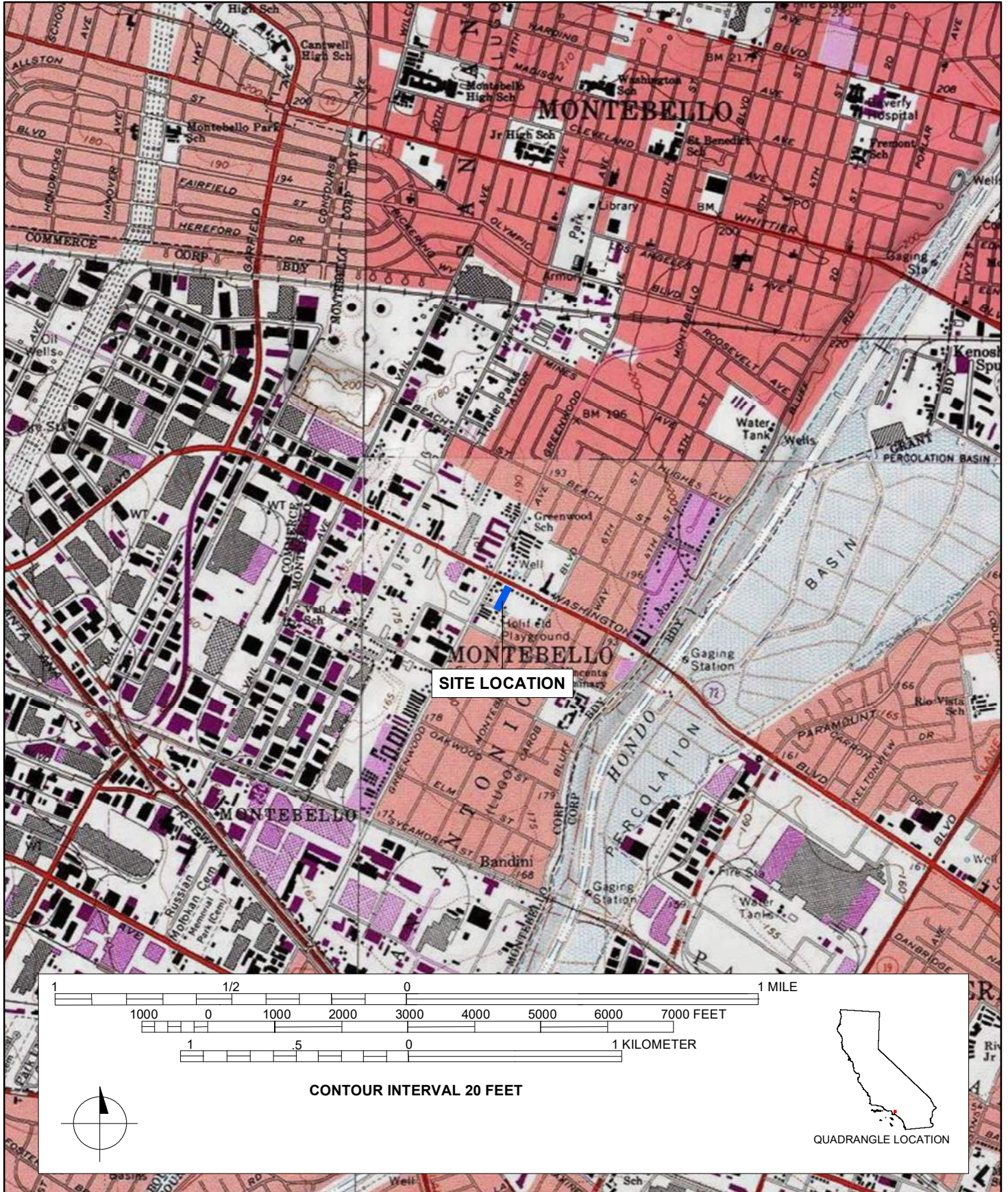
**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 733 Washington Boulevard

P1. Other Identifier: 733 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 733 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761991mE/396921mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-008-019

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/facade, camera facing south, 12/17/2019, DSCN0185

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1973 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 733 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1973 (Los Angeles County Assessor). Alterations: replacement windows.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area n/a

Period of Significance 1970s Property Type Shopping center Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 733 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 733 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 733 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 733 Washington Boulevard was constructed in 1973 and is a vernacular strip mall (**Photographs 1**). The complex spans the rear portion of the plaza and is fronted by surface parking lots. It is a one-story, wood-frame, commercial building with a L-shaped plan and a north-facing orientation.

The building pent roofs with wide box cornices and overhanging eaves covered with tile. There is non-historic illuminated box and blade signage along the cornice and roof. The exterior walls are clad with stucco and brick veneer. The storefronts have anodized metal-frame windows and single-entry glass doors. The building sits on a concrete slab foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

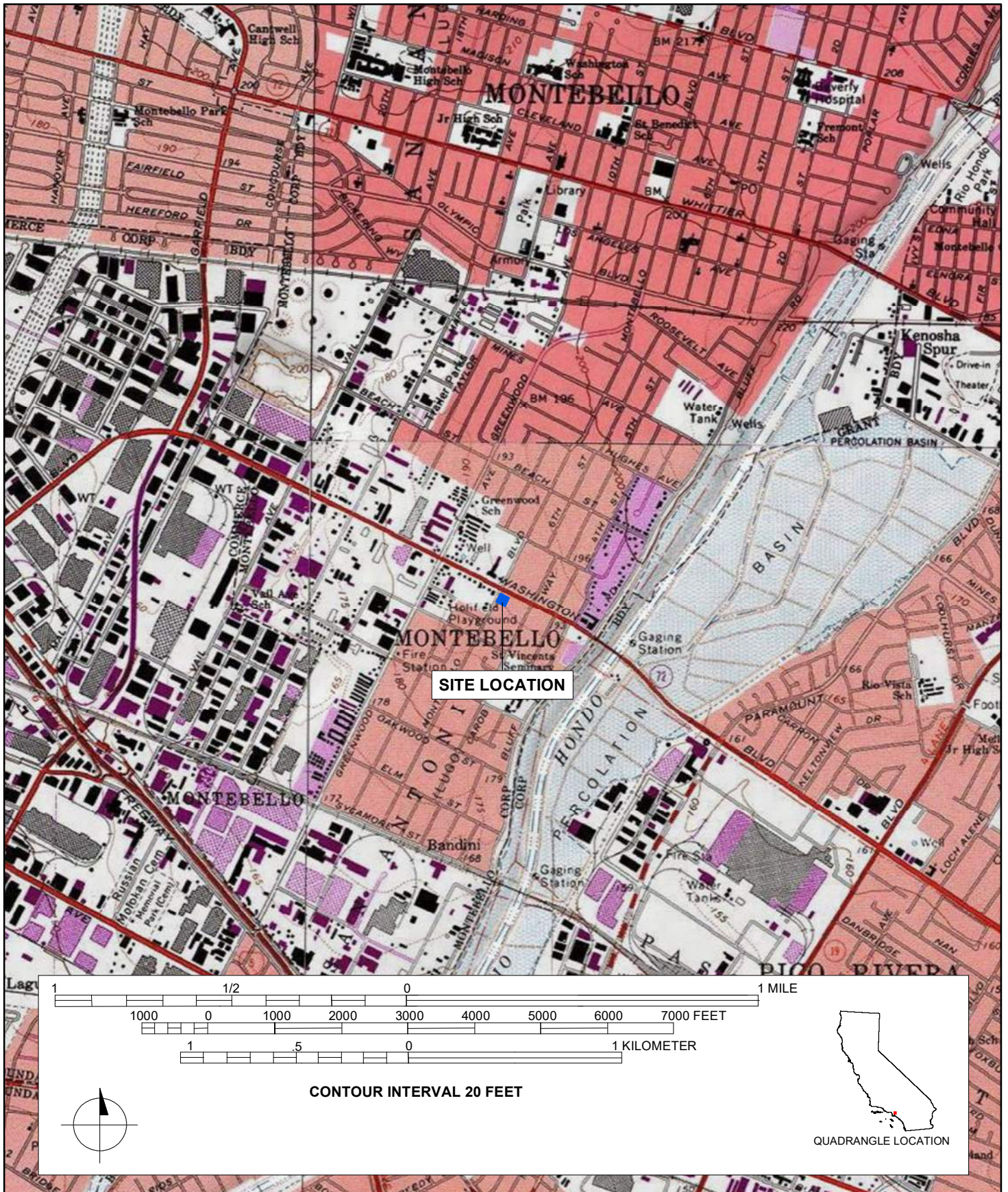
City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8605 Washington Boulevard

P1. Other Identifier: 8605 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8605 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761189mE/398223mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6370-022-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S and E elevations, camera facing north, 12/17/2019, DSCN0175

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1973 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8605 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: L&M Footwear
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1973 (Los Angeles County Assessor); Between 2012 and 2017, the pole-mounted, illuminated box sign was replaced (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Riviera  
Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8605 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Pico Rivera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8605 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

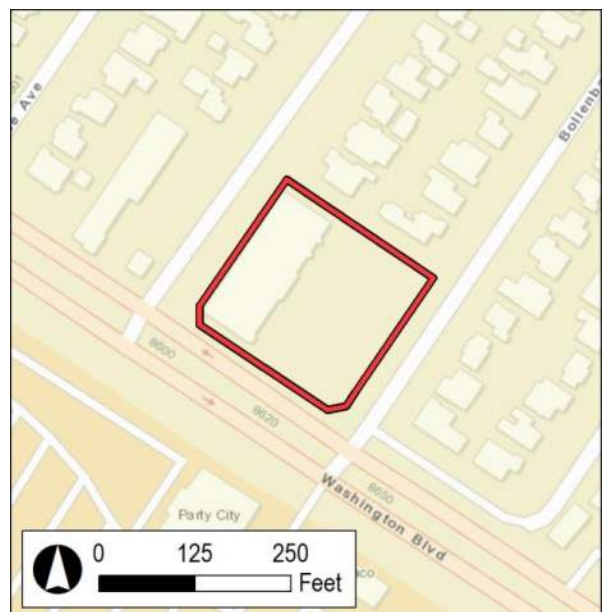
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8605 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8605 Washington Boulevard was constructed in 1973 and is a vernacular commercial building (**Photograph 1**). It occupies the northwestern side of the lot and has a southeast-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan. Between 2012 and 2017, the pole-mounted, illuminated box sign was replaced (Google Streetview 2019).

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete and stucco. The southeast elevation has three, box shaped hoods above the building's entrances. The entrances are anodized metal-frame double-leaf doors. The building has no windows. At the northern end of the façade is a loading dock with a metal roll-up garage door. The building has a concrete foundation. The property is fronted by a surface parking lot. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

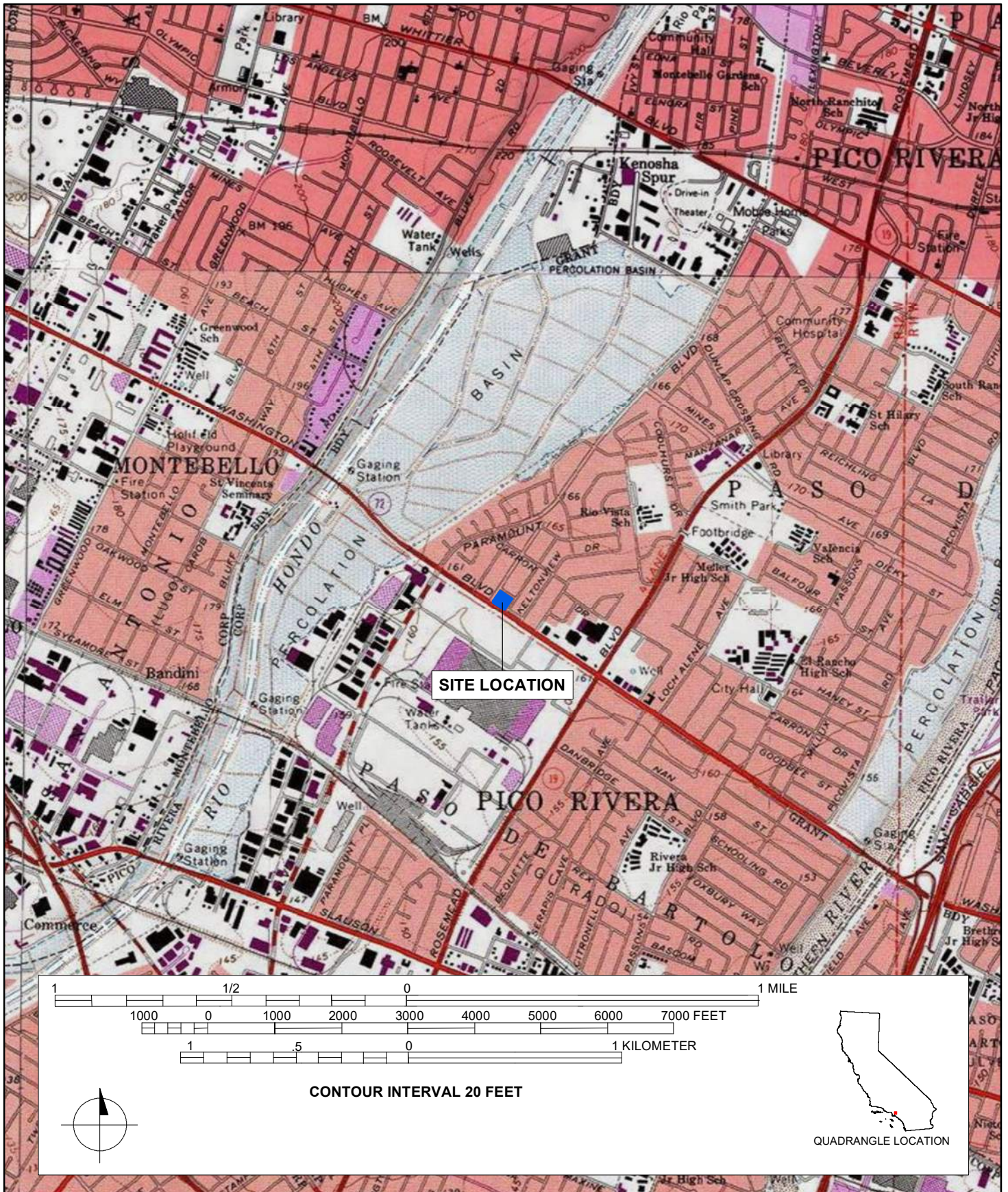
The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 11325 Washington Boulevard

P1. Other Identifier: 11325 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11325 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759557mE/401162mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8173-002-028

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/façade, camera facing north, 12/17/2019, IMG 9107

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1974 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11325 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Douglas Burgers
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Googie-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1974 (Los Angeles County Assessor). Alterations: replacement of the building's windows and doors with a modern storefront assembly, and roof replacement

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier  
Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11325 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11325 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

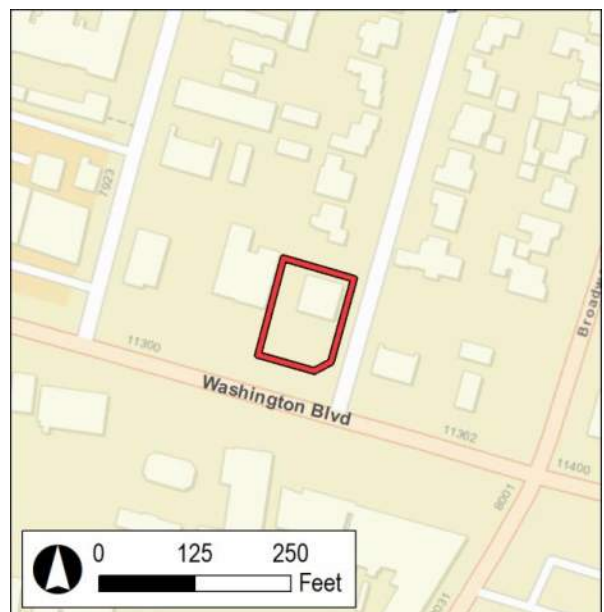
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11325 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11325 Washington Boulevard, Douglas Burgers restaurant, was constructed in 1974 and is a Googie-style commercial building (**Photographs 1-2**). The architectural details of the building, including its exaggerated mansard roof with wide overhanging eaves and matching pylon sign. It occupies the northern portion of the lot and has a south-facing orientation. It is a one-story, wood framed, commercial building with a rectangular plan. Building permit data indicated the roof was replaced with composite shingles in 2000.

The building has a trapezoidal roof with and exaggerated mansard roof along the front building section. The roof is covered with tile, and a sign that reads "Burgers" is attached to the roof. The exterior walls are clad with stucco; and the building sits on a concrete slab foundation. The south, east, and west elevations have wrap around, anodized metal-frame ribbon windows. The primary entrance is a double-leaf, aluminum-frame and glass door. The resource retains some aspects of its integrity; however, the replacement of the building's windows and doors with a modern storefront assembly, and roof replacement, have diminished its aspects of materials, design, and workmanship.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Googie Architecture:

Googie (Futurist/Populuxe), popular from after World War II to the late 1960s, is characterized by abstract, angular or curved shapes; expressive roof forms (flat, gabled, upswept, butterfly, parabolic, boomerang, or folded); large plate glass window walls (aluminum framed), prominent signage (neon or lighted) commonly integrated into the roofline; variety of exterior finishes including stucco, concrete block, brick, stone, plastic, and wood siding; bright colors; screen block and shadow block accents; use of the building as a billboard; porte cocheres and other automobile-friendly features; and asymmetrical façades (City of Los Angeles 2003:34).

**\*B12. References (continued):**

City of Los Angeles. 2003. Preservation Plan Workbook. <http://www.preservation.lacity.org/hpoz/plan>. Accessed June 25, 2012.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

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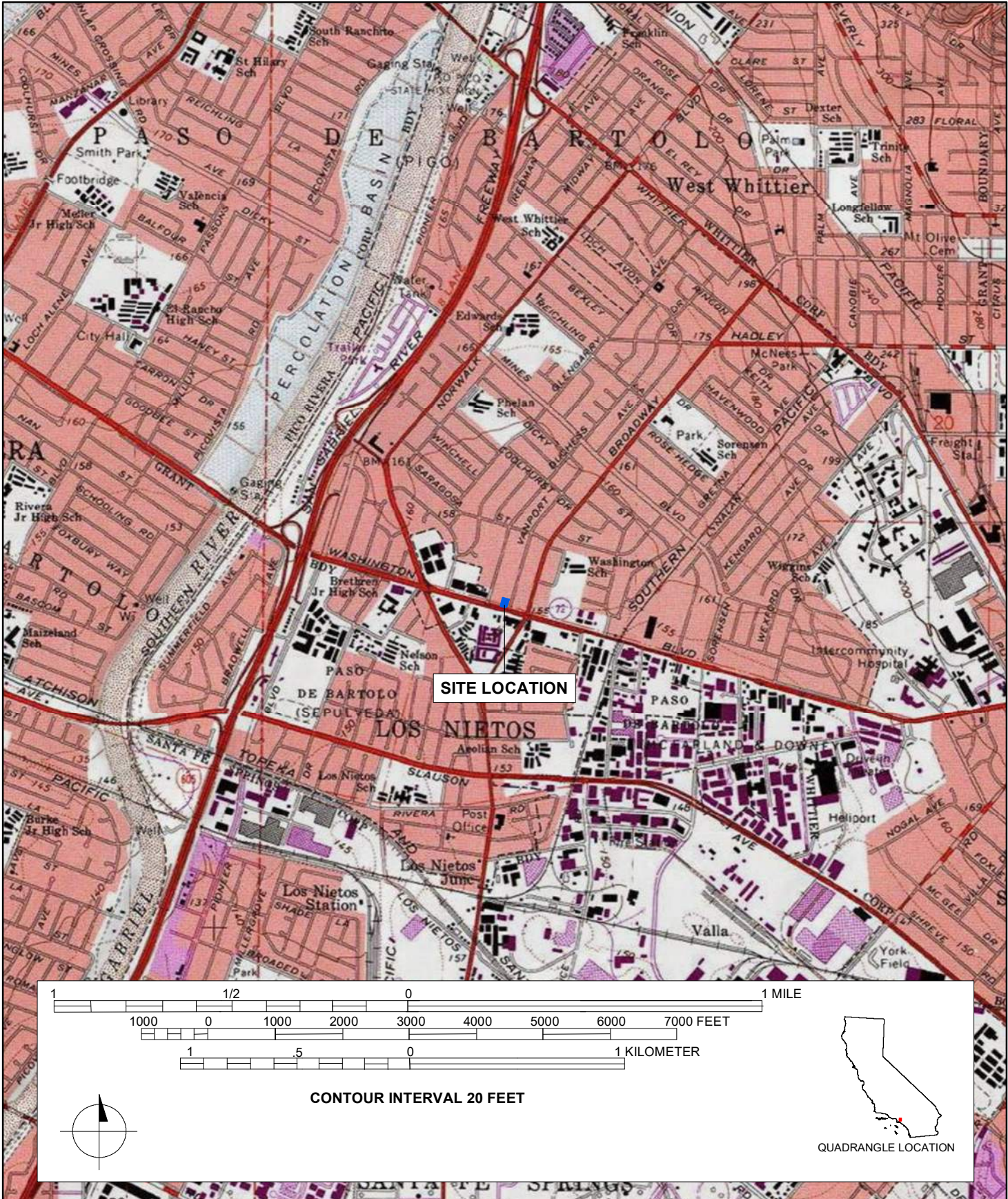
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11325 Washington Boulevard

Continuation  Update



Photograph 2. View of S and W elevations, camera facing northeast, 12/17/2019, IMG\_9105



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 9411 Washington Boulevard

P1. Other Identifier: 9411 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 9411 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3760418mE/399375mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6379-034-027

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S and W elevations, camera facing east, 12/17/2019, DSCN0208

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1975 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 9411 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Shell Gas Station
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1975 (Los Angeles County Assessor). Alterations: exterior cladding and design alterations, door replacement.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Rivera  
Period of Significance 1970s Property Type Gas station Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 9411 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Pico Rivera, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 9411 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 9411 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 9411 Washington Boulevard, Shell Gas Station, was constructed in 1975 and is a vernacular service station (**Photograph 1**). The office storefront occupies the eastern portion of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. The fuel pump canopy is located in the center of the lot.

The building has a flat roof covered with composite material with box cornice. The walls are clad with stucco. The windows are metal-frame fixed storefront windows. The fuel pump canopy has brick column supports and a flat, fiberglass, roof with a box cornice. The service station office and fuel pump canopy have been extensively remodeled and resemble new construction. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

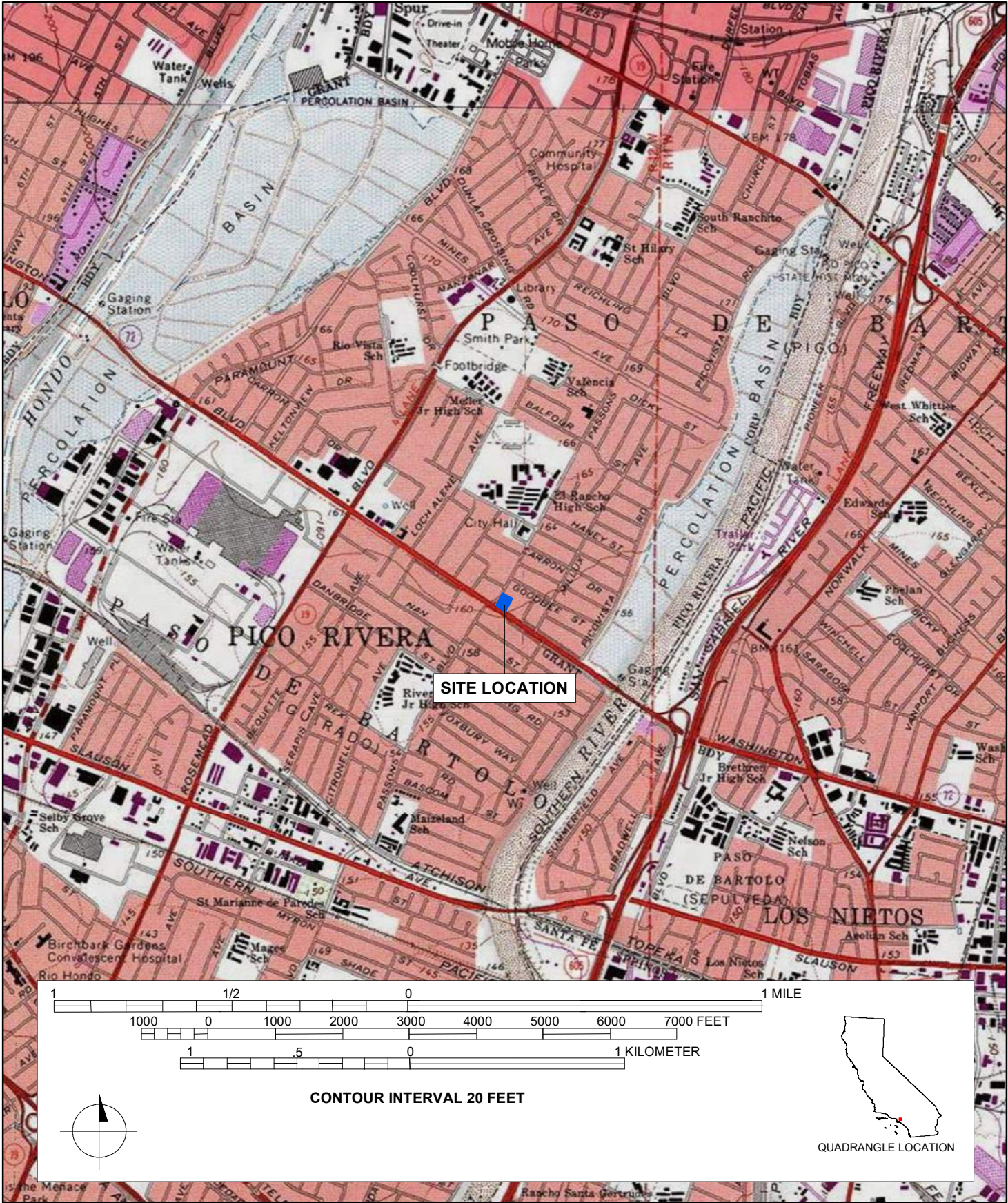
Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 1633 Washington Boulevard

P1. Other Identifier: 1633 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 1633 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762482mE/395945mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-015-023

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/façade, camera facing west, 12/18/2019, IMG 9151

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1976 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1633 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1976 (Los Angeles County Assessor). Between 2011 and 2012, additional ribbon windows were added to the façade above the storefront (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 1633 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century industrial development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 1633 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

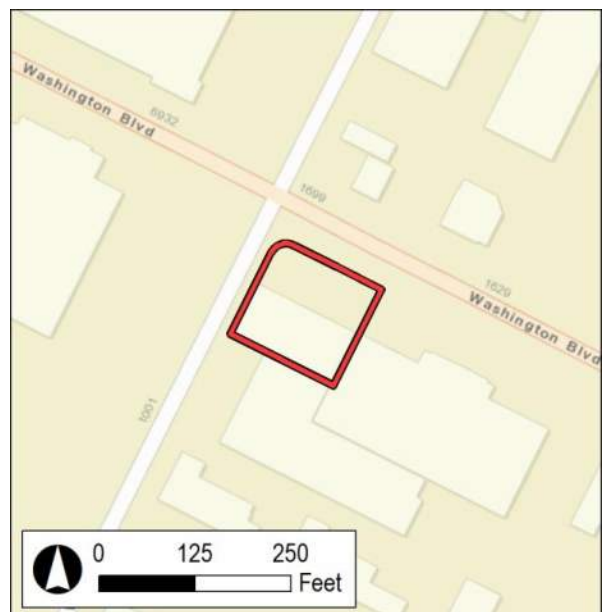
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1633 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 1633 Washington Boulevard was constructed in 1976 and is a vernacular industrial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan. Between 2011 and 2012, additional ribbon windows were added to the façade above the storefront (Google Streetview 2019).

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete. The building has anodized metal-frame ribbon and storefront windows and double-leaf doors. The northeast elevation has two loading docks with metal roll-up garage doors. The building has a concrete foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

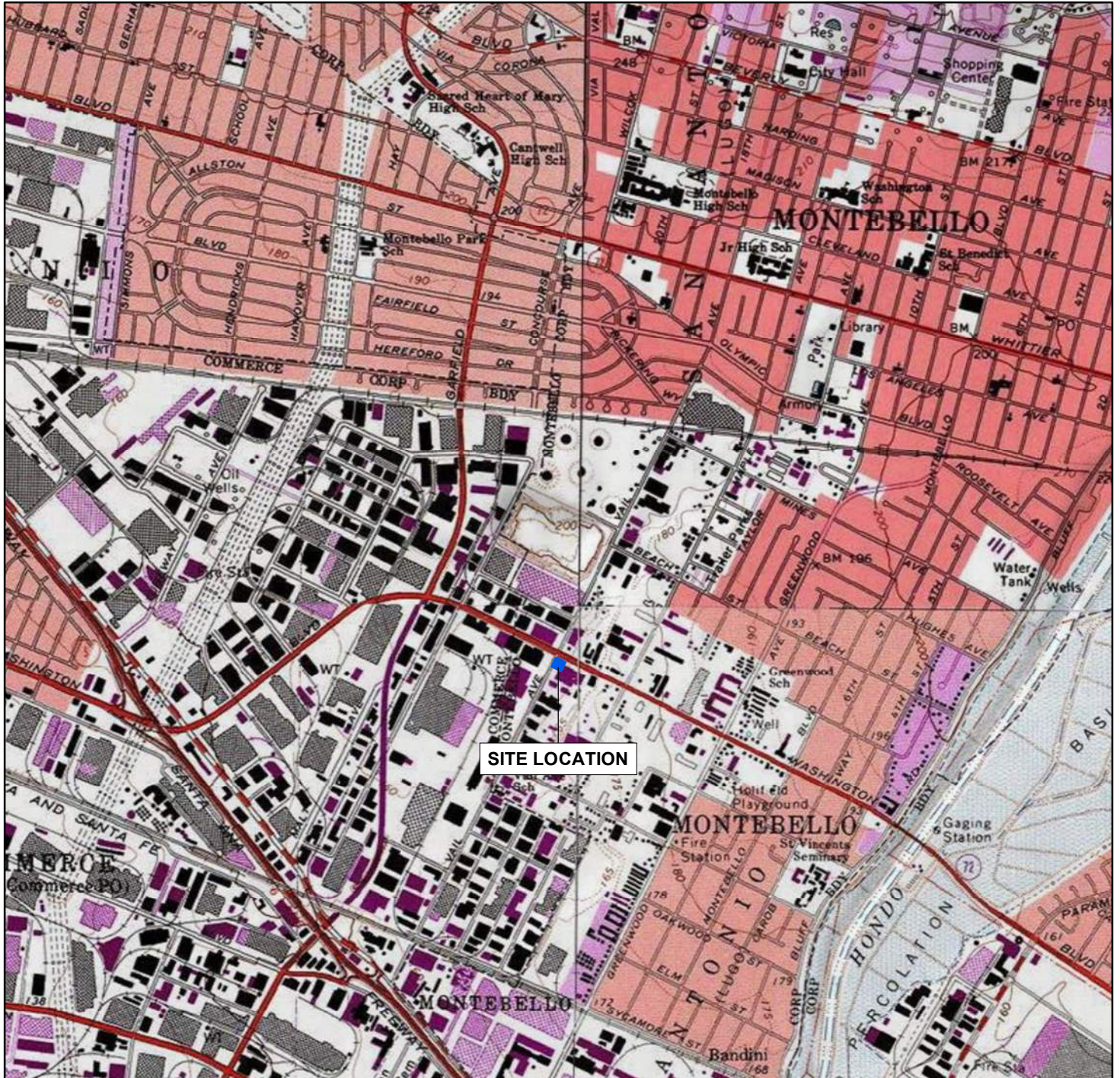
City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

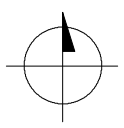
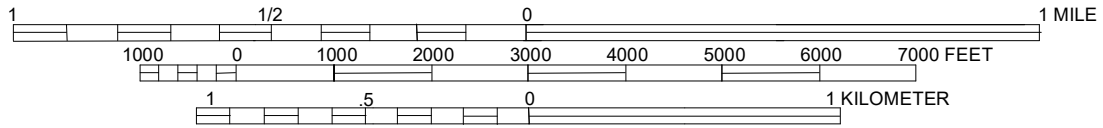
Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.



**SITE LOCATION**



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 12140 Washington Boulevard

P1. Other Identifier: 12140 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12140 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759004mE/402709mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8169-001-007

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/façade, camera facing southwest (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1976 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12140 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1976 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12140 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12140 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

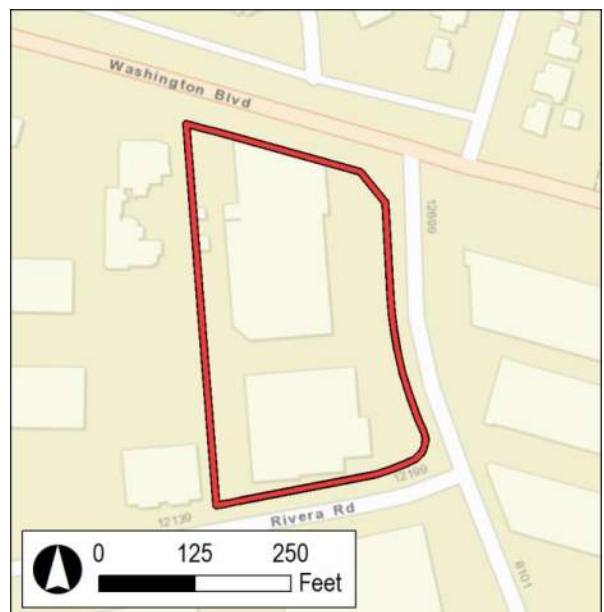
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12140 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12140 Washington Boulevard was constructed in 1976 and is a vernacular industrial building (**Photograph 1**). It occupies the front of the lot and has a north-facing orientation. It is a one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has anodized metal-frame ribbon and storefront windows. There is an inset porch with horizontal board cladding at the northwest wall junction. The entrance is a single-entry metal-frame and glass door. The east and west elevation has several loading docks with metal roll-up garage doors. The building has a concrete foundation. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

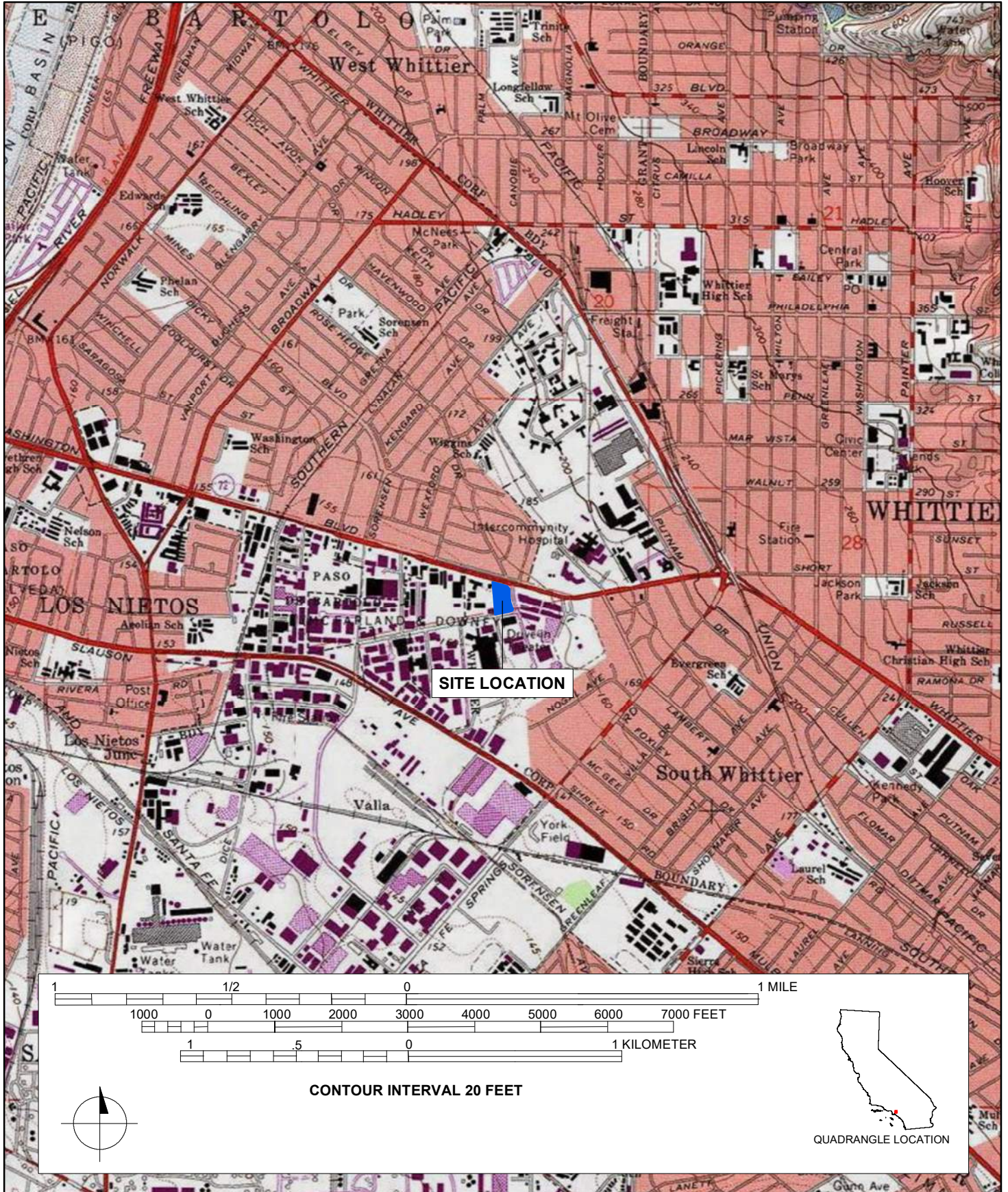
The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 1215 Washington Boulevard

P1. Other Identifier: 1215 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 1215 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762197mE/396434mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6353-017-005

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing west, 12/17/2019, DSCN0201

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1977 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 1215 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1977 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 1215 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 1215 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

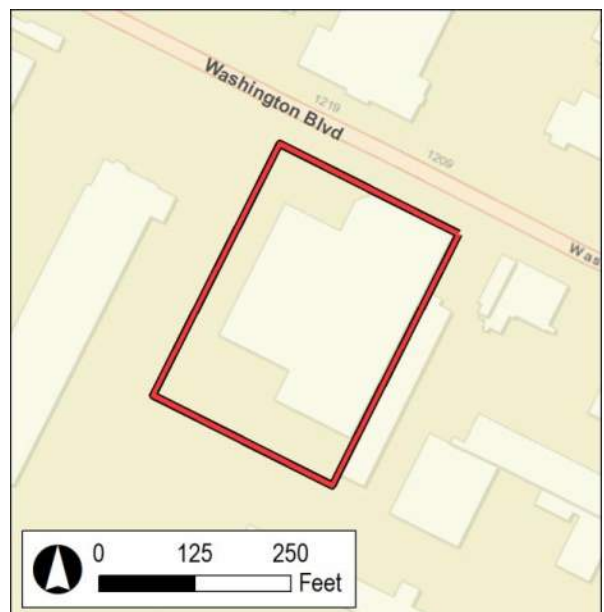
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 1215 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 1215 Washington Boulevard was constructed in 1977 and is a vernacular industrial building (**Photograph 1**). It occupies the front of the lot and has a west-facing orientation. It is a monumental, one-story, tilt-up concrete, building with a T-shaped plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete with horizontal banding. The building has anodized metal-frame storefront windows and double-leaf glass doors. The building has a concrete foundation. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

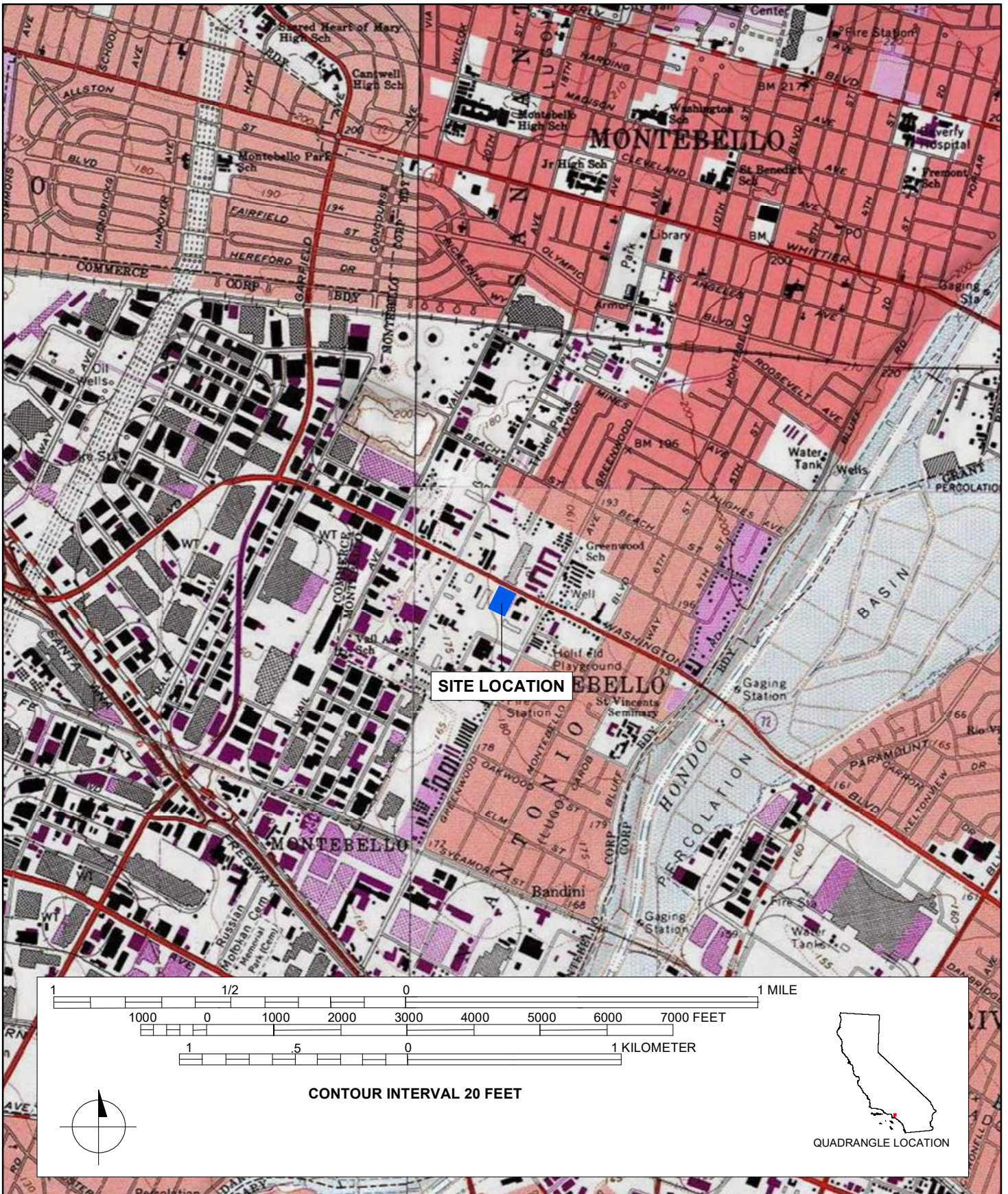
**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 12402 Washington Boulevard

P1. Other Identifier: 12402 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 12402 Washington Boulevard City Whittier Zip 90602

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759003mE/403270mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-034-011

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW elevation/façade, camera facing east, 12/17/2019, IMG 9095

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1978 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 12402 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Marie Callender's Restaurant
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Neo-Craftsman

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1978 (Los Angeles County Assessor). Between 2011 and 2016, the brick pavers and original entryway configuration were removed and replaced with landscaping (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier  
Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 12402 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Whittier, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 12402 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 12402 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 12402 Washington Boulevard, Marie Callender's Restaurant, was constructed in 1978 and is a Neo-Craftsman-style commercial building (**Photographs 1-2**). The architectural details of the building include: wide overhanging eaves with exposed rafter ends and half-timbering details. It occupies the northern portion of lot with surface parking lots to the east and south of the building. It is a one-story, wood frame, commercial building with an irregular plan and a north-facing orientation. Between 2011 and 2016, the brick pavers and original entryway configuration were removed and replaced with landscaping (Google Streetview 2019).

The building has cross-gable roof with overhanging eaves and exposed rafter ends and covered with composite shingles. The exterior walls are clad with stucco, brick veneer, and board siding. The building sits on a concrete slab foundation. The north, east, and west elevations have aluminum-frame ribbon windows with vinyl awnings. The primary entrance is a single-entry glazed door with transom and sidelights. The resource retains its location, setting, association, and feeling, but its materials, workmanship, and design are compromised due to modern replacement materials and alterations to the façade and reconfiguration of the entrance.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Los Angeles. 2003. Preservation Plan Workbook. <http://www.preservation.lacity.org/hpoz/plan>. Accessed June 25, 2012.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A. Knopf, Inc.

Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

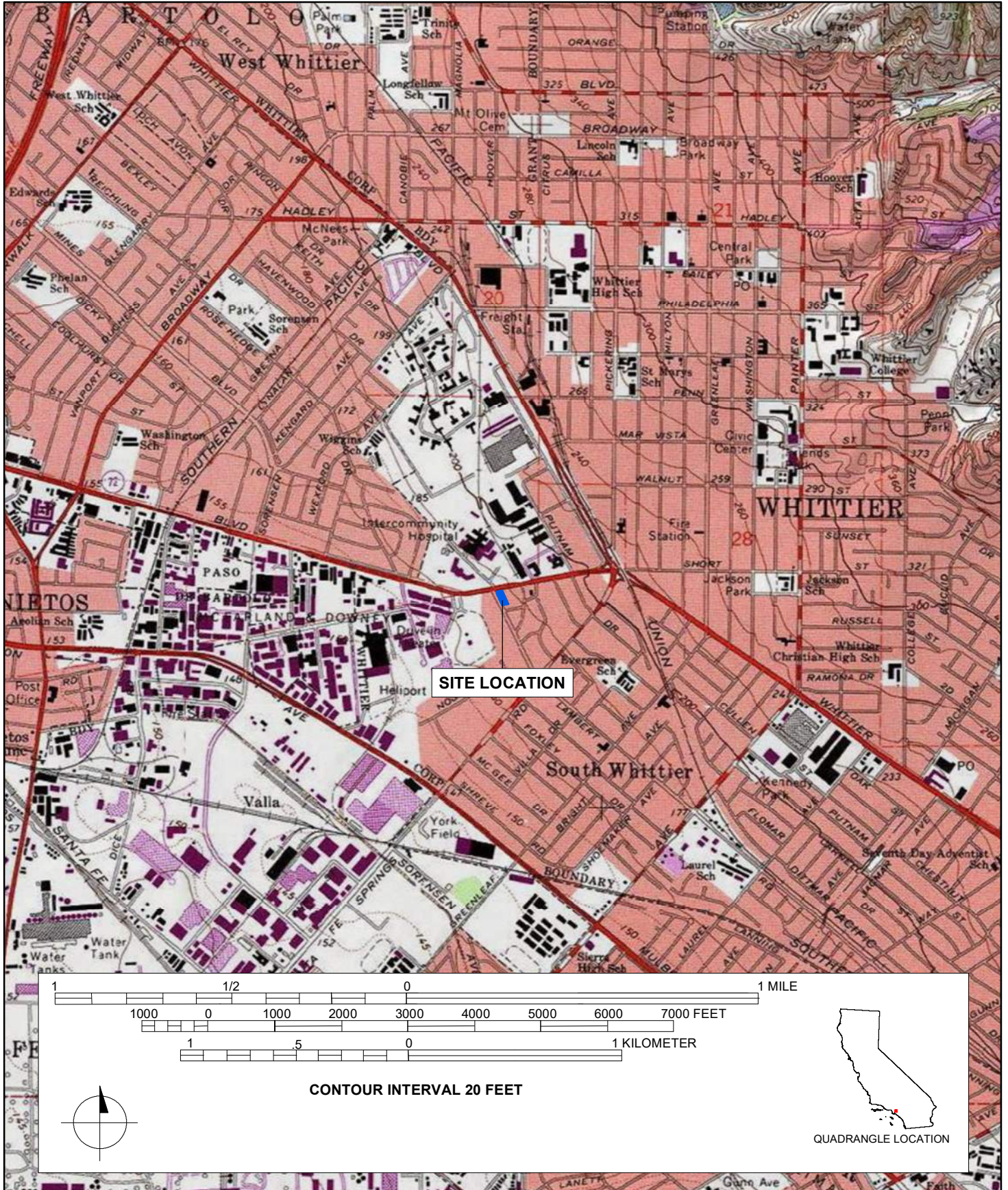
\*Resource Name or # (Assigned by recorder) 12402 Washington Boulevard

Continuation  Update



Photograph 2. View of N elevation, camera facing south, 12/17/2019, IMG\_9096

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 870 Washington Boulevard

P1. Other Identifier: 870 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 870 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762193mE/396674mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-027-016

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and SW elevation/facade, camera facing east, 12/17/2019, DSCN0205

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1978 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 870 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: California Burgers
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Googie-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1978 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Montebello  
Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 870 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 870 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

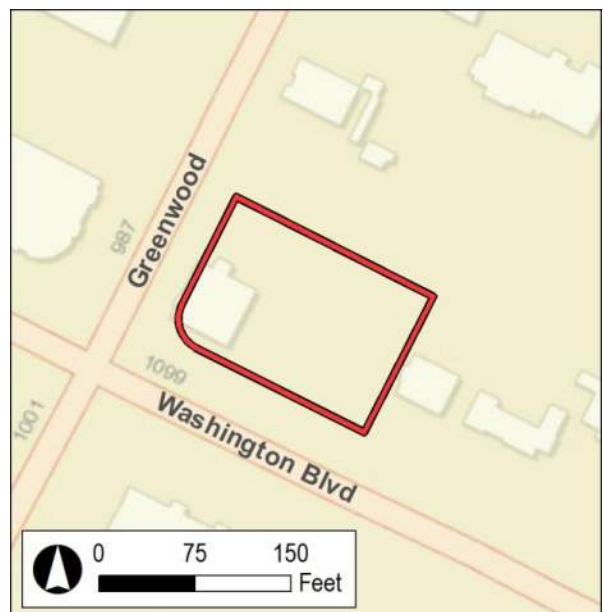
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 870 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 870 Washington Boulevard, California Burgers restaurant, was constructed in 1978 and is a Googie-style commercial building (**Photograph 1**). The architectural details of the building, including its exaggerated mansard roof with wide overhanging eaves and pole-mounted, illuminated box sign. It occupies the southwestern corner of the lot and has a west-facing orientation. It is a one-story, wood framed, commercial building with a rectangular plan.

The building has a trapezoidal roof with a box cornice and wide overhanging eaves and covered with tile. There is illuminated box signage attached to the cornice. The exterior walls are clad with stucco; and the building sits on a concrete slab foundation. The south, east, and west elevations have wrap around, metal-frame ribbon windows with wide surrounds. The primary entrance is a double-leaf, aluminum-frame and glass door. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Googie Architecture:

Googie (Futurist/Populuxe), popular from after World War II to the late 1960s, is characterized by abstract, angular or curved shapes; expressive roof forms (flat, gabled, upswept, butterfly, parabolic, boomerang, or folded); large plate glass window walls (aluminum framed), prominent signage (neon or lighted) commonly integrated into the roofline; variety of exterior finishes including stucco, concrete block, brick, stone, plastic, and wood siding; bright colors; screen block and shadow block accents; use of the building as a billboard; porte cocheres and other automobile-friendly features; and asymmetrical façades (City of Los Angeles 2003:34).

**\*B12. References (continued):**

City of Los Angeles. 2003. Preservation Plan Workbook. <http://www.preservation.lacity.org/hpoz/plan>. Accessed June 25, 2012.

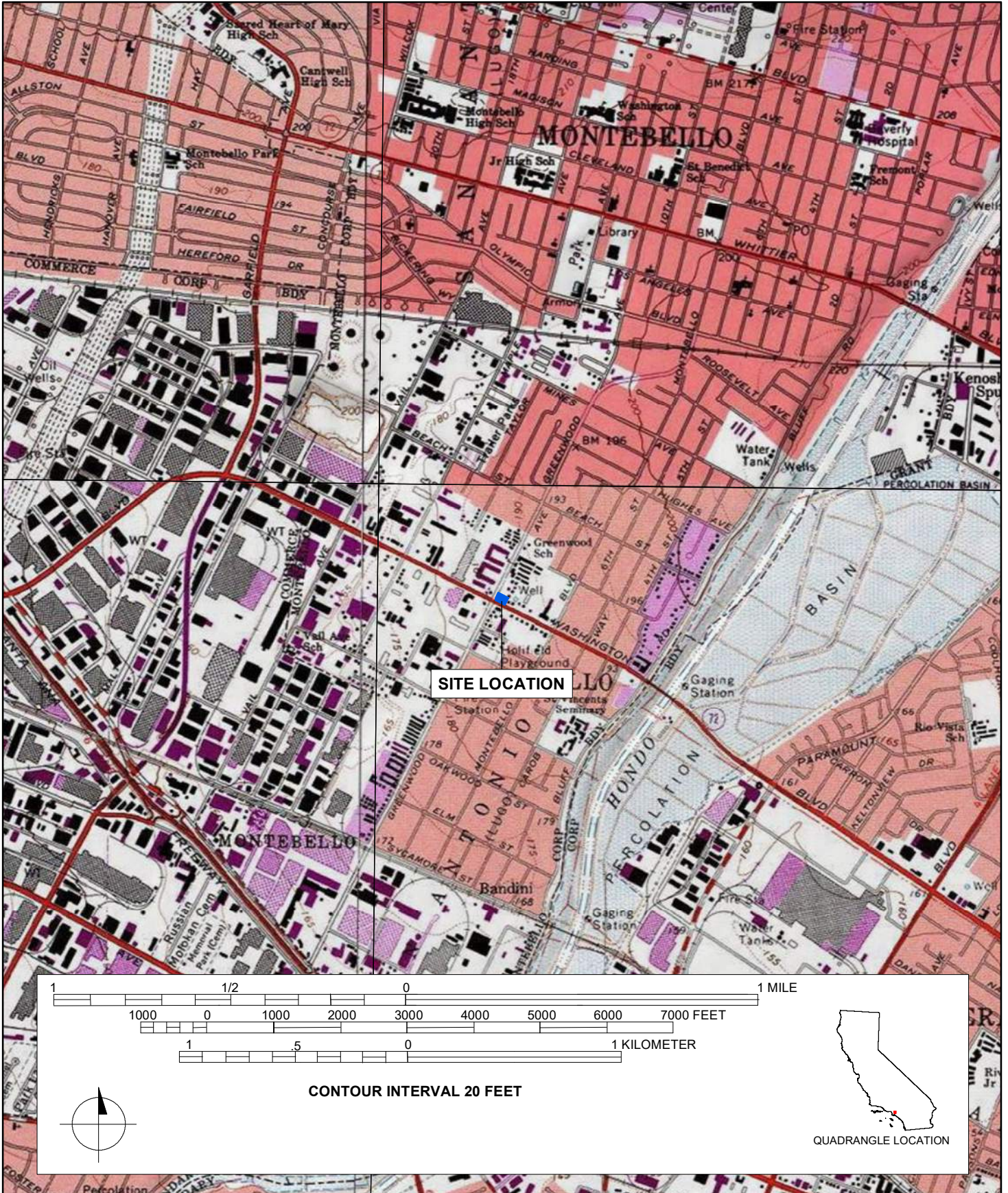
City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11304 Washington Boulevard

P1. Other Identifier: 11304 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11304 Washington Boulevard City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759472mE/401134mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8178-001-062

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP13. Community center/social hall

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of N elevation/façade, camera facing south, 12/17/2019, IMG 9109

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11304 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Santa Fe Kid Company
- B3. Original Use: Daycare Center Building
- B4. Present Use: Daycare Center Building
- \*B5. Architectural Style: Western-style commercial building

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor). Between 2017 and 2019, all of the false windows and doors along the façade were removed (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Santa Fe Springs  
Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11304 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Santa Fe Springs, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11304 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11304 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11304 Washington Boulevard, the Santa Fe Kid Company, was constructed in 1979 and is a Western-style commercial building (**Photograph 1**). It occupies the center of the lot and has a north-facing orientation. It is a one-story, wood frame, building with a U-shaped plan. Between 2017 and 2019, all of the false windows and doors along the façade were removed (Google Streetview 2019).

The building has flat roofs with shaped parapets, pent roofs covered with Spanish tile and composite shingles, and flat roofs with balustrades. The walls are clad stucco and clapboard siding. There is a full-length porch along the north elevation with wood post supports and a wood deck. The north elevation entrance is a single-entry metal door. The windows along the north elevation are multi-light fixed windows with louvered shutters. The building has a concrete foundation. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials, removal of design elements and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

An early settler to the area now known as Santa Fe Springs was J. E. Fulton, who purchased several parcels of land from the recently formed Santa Gertrudes Land Company. "Dr." Fulton discovered sulphur waters on his land in 1874 while digging a well. By 1878, he had constructed a two-story hotel so that tourists could experience the mineral waters. The resort, which treated 400 patients annually, was reached via the California Central Railroad (which later became the AT&SF) and the Los Angeles and Anaheim Railroad (which later became the Southern Pacific Railroad). To promote the hotel, Fulton sold a portion of his land to a Mr. Hawkins, who built a high-end residence with citrus groves, a pattern later repeated by other settlers (Santa Fe Springs Historical Committee 1979). In 1886, AT&SF purchased land from Fulton and promoted the town of Santa Fe Springs. The railroad renovated the hotel and cottages and, until the late 1800s, encouraged settlers to make it their home. However, it was not until the oil boom that the town began to grow appreciably.

Alphonso Bell drilled the first big well in 1921, which produced 2,600 barrels per day. The oil discovery caused people to flock to town seeking work. By 1923, the local field was producing 323,000 barrels a day, and by 1929, new oil discoveries made the town the largest producer of oil in the state. During the boom, vineyards and orchards were bulldozed for oil production. After oil extraction ceased, the land returned to agricultural use (Santa Fe Springs Historical Committee 1979).

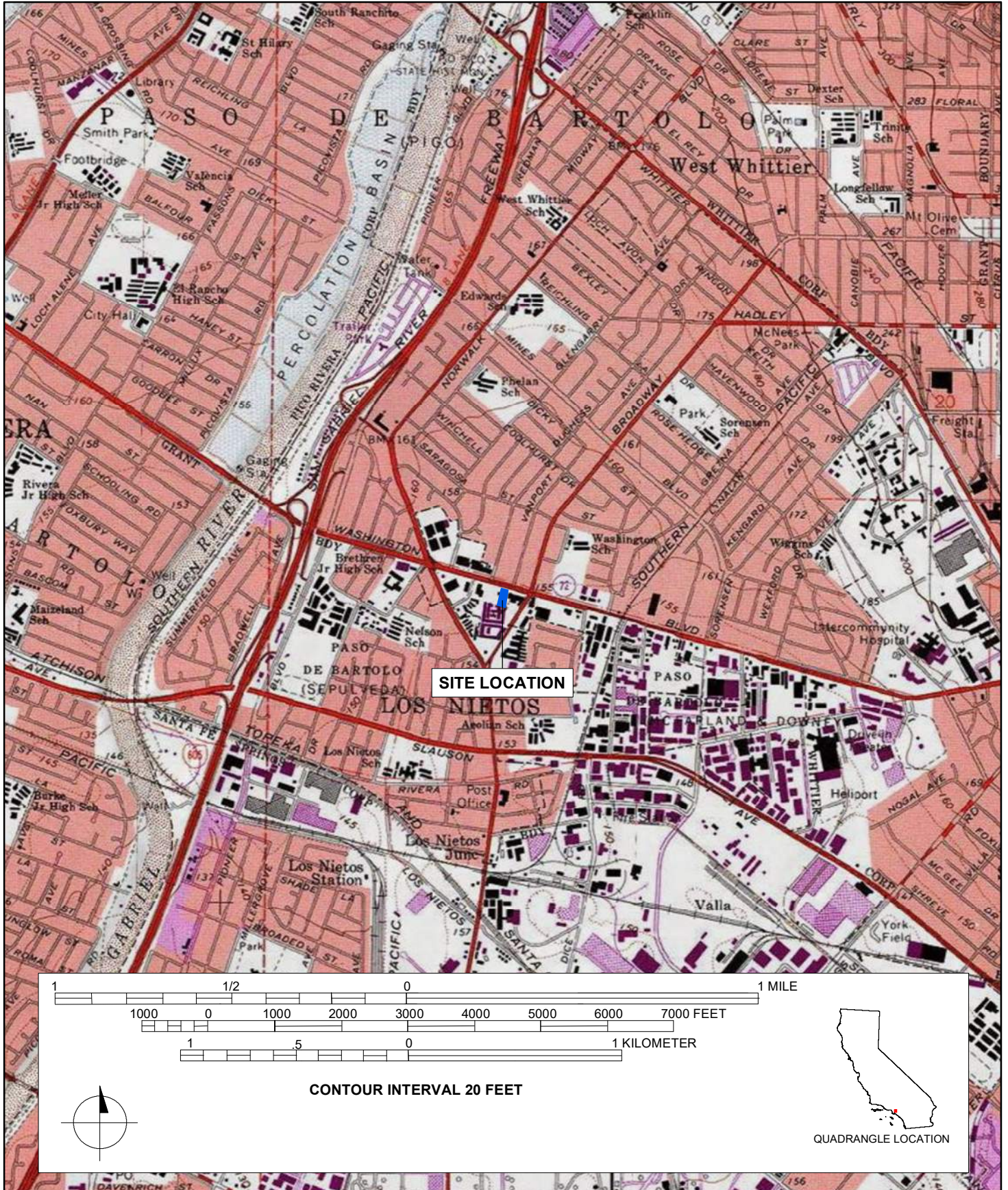
The town experienced a post-war population explosion in 1949 when land was developed for low-cost tract subdivisions. By 1952, a homeowners association, coordinating council, and junior chamber of commerce were formed. Problems with traffic, school facilities, and zoning led to incorporation on May 15, 1957, with Santa Fe Springs becoming the 53rd city within Los Angeles County. Growth within the city increased with construction of I-5 and I-605, making Santa Fe Springs an ideal location for industrial uses such as manufacturing and warehousing as well as trucking and shipping operations (Santa Fe Springs Historical Committee 1979).

**\*B12. References (continued):**

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Santa Fe Springs Historical Committee. 1979. "The History of Santa Fe Springs," pp. 7-8. Santa Fe Springs: Santa Fe Springs Historical Committee.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11401 Washington Boulevard

P1. Other Identifier: 11401 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11401 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759524mE/401294mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8173-023-018

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW and SE elevation/facade, camera facing north, 12/17/2019, IMG 9103

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11401 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Rubi's
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Googie-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor); Roof replaced in 1996.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier  
Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11401 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11401 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11401 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11401 Washington Boulevard, Rubi's restaurant, was constructed in 1979 and is a Googie-style commercial building (**Photograph 1**). The architectural details of the building, including its exaggerated mansard roof with wide overhanging eaves and pole-mounted, illuminated box sign. It occupies the southwestern corner of the lot and has a west-facing orientation. It is a one-story, wood framed, commercial building with a rectangular plan. Building permit data indicates the roof was replaced in 1996.

The building has a trapezoidal roof with a box cornice and wide overhanging eaves and covered with tile. There is illuminated box signage attached to the cornice. The exterior walls are clad with stucco; and the building sits on a concrete slab foundation. The south, east, and west elevations have anodized metal-frame ribbon windows with wide surrounds and vinyl awnings. The primary entrance is a double-leaf, anodized metal-frame and glass door covered by an arched vinyl awning. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Googie Architecture:

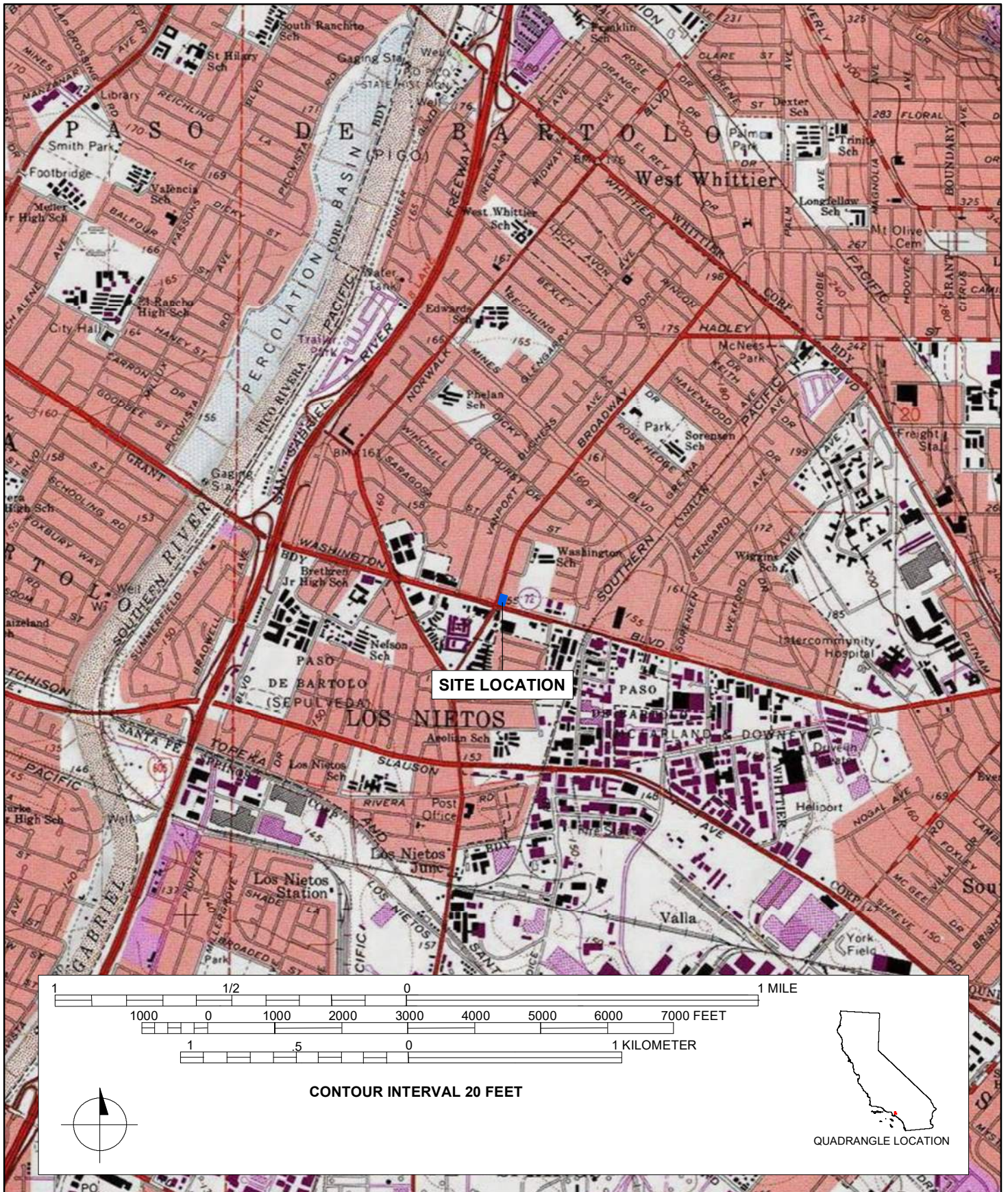
Googie (Futurist/Populuxe), popular from after World War II to the late 1960s, is characterized by abstract, angular or curved shapes; expressive roof forms (flat, gabled, upswept, butterfly, parabolic, boomerang, or folded); large plate glass window walls (aluminum framed), prominent signage (neon or lighted) commonly integrated into the roofline; variety of exterior finishes including stucco, concrete block, brick, stone, plastic, and wood siding; bright colors; screen block and shadow block accents; use of the building as a billboard; porte cocheres and other automobile-friendly features; and asymmetrical façades (City of Los Angeles 2003:34).

**\*B12. References (continued):**

City of Los Angeles. 2003. Preservation Plan Workbook. <http://www.preservation.lacity.org/hpoz/plan>. Accessed June 25, 2012.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 11339 Washington Boulevard

P1. Other Identifier: 11339 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11339 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759546mE/401202mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8173-004-019

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of S elevation/facade, camera facing northeast, 12/17/2019, DSCN0150

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11339 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: New Baja Express
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Googie-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor). Building permit data indicates wall-mounted and pole mounted signage was installed in 1990.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Whittier

Period of Significance 1970s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11339 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11339 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11339 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11339 Washington Boulevard, New Baja Express restaurant, was constructed in 1979 and is a Googie-style commercial building (**Photographs 1-2**). The architectural details of the building, including its exaggerated mansard roof with wide overhanging eaves and brick veneer. It occupies the southwestern corner of the lot and has a west-facing orientation. It is a one-story, wood framed, commercial building with a rectangular plan. Building permit data indicates wall-mounted and pole mounted signage was installed in 1990.

The building has a trapezoidal roof with a box cornice and wide overhanging eaves and covered with tile. There is illuminated box signage attached to the cornice. The exterior walls are clad with brick veneer; and the building sits on a concrete slab foundation. The south, east, and west elevations have anodized metal-frame ribbon windows with vinyl awnings. The primary entrance is a single-entry, anodized metal-frame and glass door covered by an arched vinyl awning. There is a pole-mounted illuminated box sign to the south of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Googie Architecture:

Googie (Futurist/Populuxe), popular from after World War II to the late 1960s, is characterized by abstract, angular or curved shapes; expressive roof forms (flat, gabled, upswept, butterfly, parabolic, boomerang, or folded); large plate glass window walls (aluminum framed), prominent signage (neon or lighted) commonly integrated into the roofline; variety of exterior finishes including stucco, concrete block, brick, stone, plastic, and wood siding; bright colors; screen block and shadow block accents; use of the building as a billboard; porte cocheres and other automobile-friendly features; and asymmetrical façades (City of Los Angeles 2003:34).

**\*B12. References (continued):**

City of Los Angeles. 2003. Preservation Plan Workbook. <http://www.preservation.lacity.org/hpoz/plan>. Accessed June 25, 2012.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

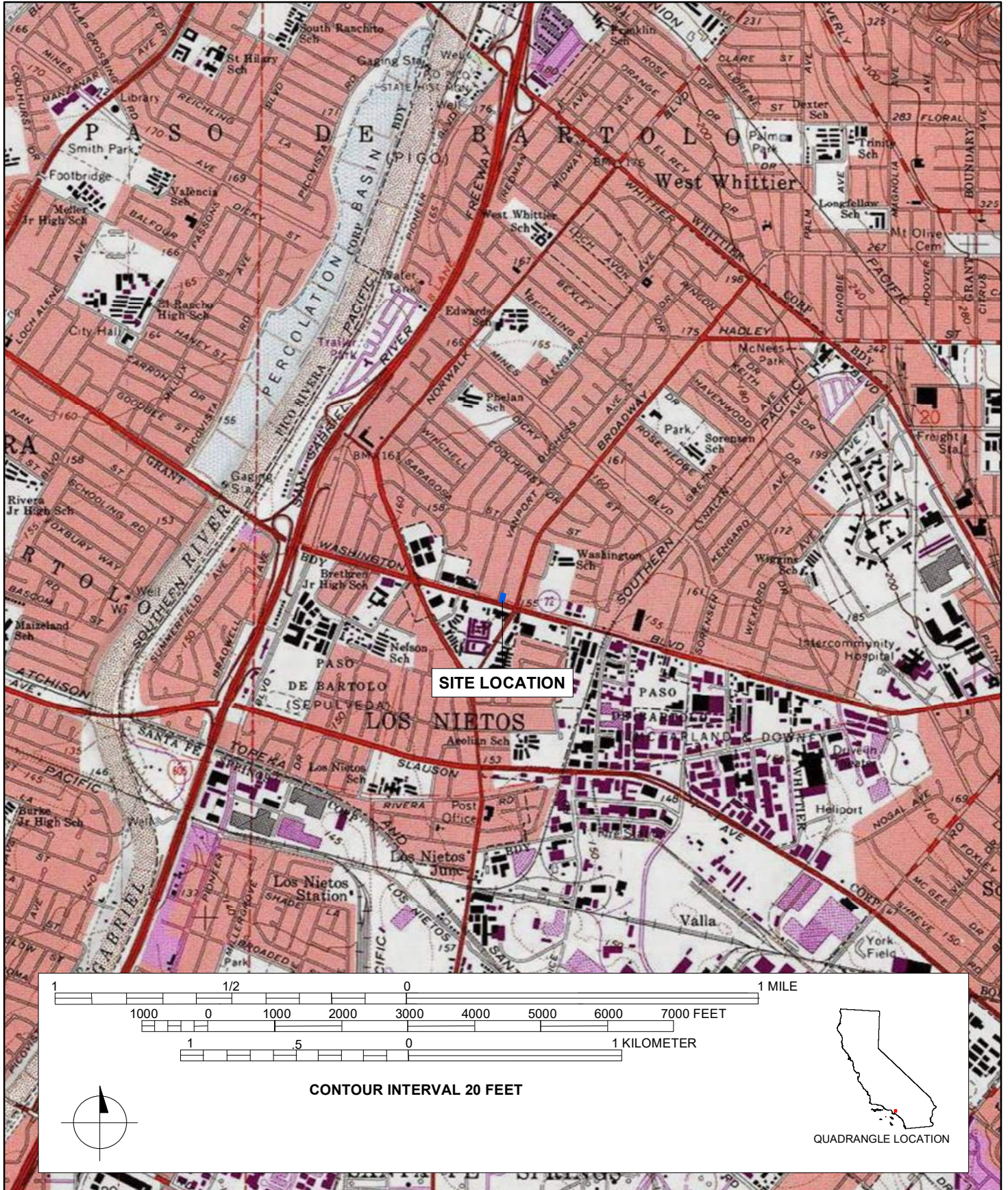
Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11339 Washington Boulevard  
 Continuation  Update



Photograph 2. View of South and east elevations, camera facing west, 12/17/2019, DSCN0151



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6815 East Washington Boulevard

P1. Other Identifier: 6815 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; 1/4 of 1/4 of Sec ; M.D.B.M.

c. Address 6815 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762754mE/395594mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-003-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing northeast, 12/18/2019, DSCN0218

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6815 East Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Commerce  
Period of Significance 1970s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6815 E Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6815 E Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

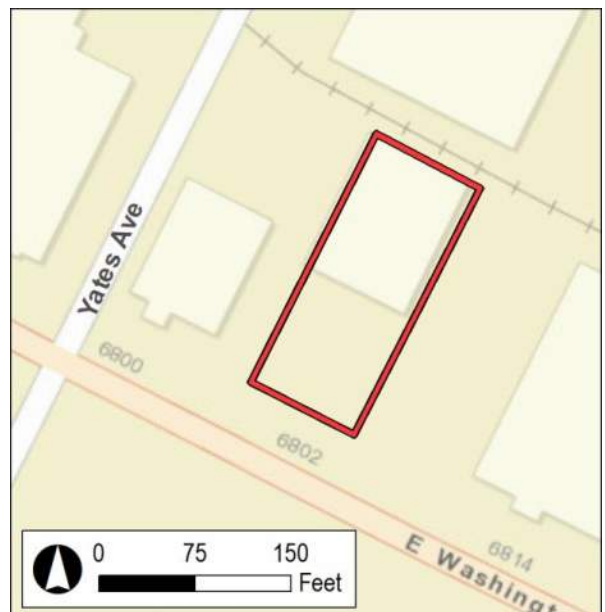
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6815 East Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6815 E Washington Boulevard was constructed in 1979 and is a vernacular industrial building (**Photograph 1**). It occupies the rear of the lot and has a southwest-facing orientation. It is a monumental, one-story, tilt-up concrete, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has anodized metal-frame storefront windows and a single-entry door. There is a loading dock with a metal roll-up garage door along the southwest elevation. The building has a concrete foundation. The building faces a surface parking lot. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

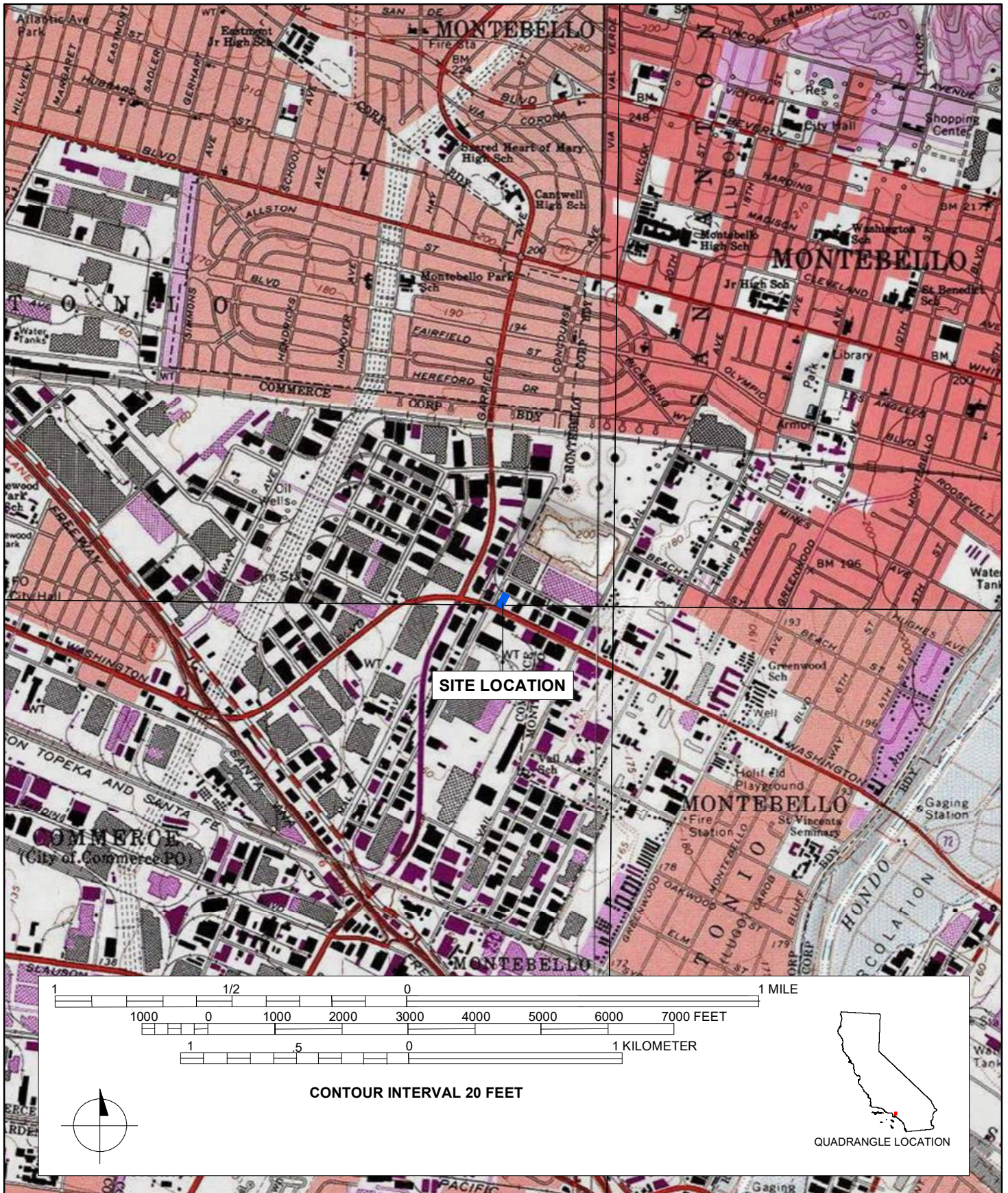
Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6550 East Washington Boulevard

P1. Other Identifier: 6550 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate T T3S; R R12W; 1/4 of 1/4 of Sec; M.D.B.M.

c. Address 6550 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762572mE/395009mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-009-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation, camera facing NE, 12/18/2019, DSCN0286

\*P6. Date Constructed/Age and Source:

Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address:

N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6550 East Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Commerce  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6550 E Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6550 E Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

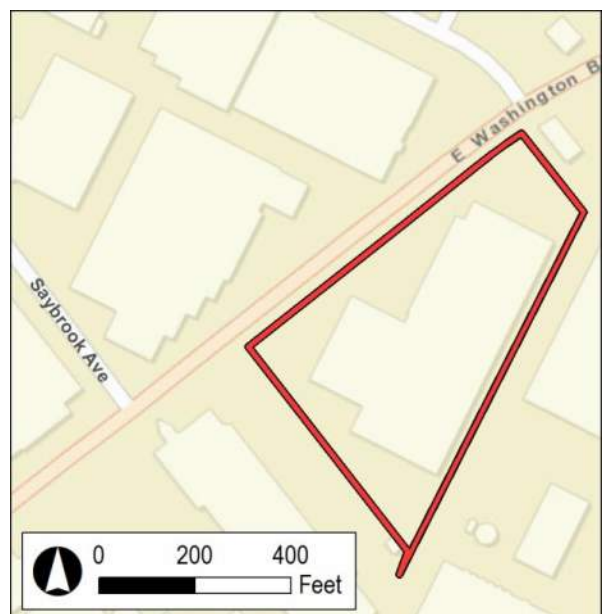
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6550 East Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6550 E Washington Boulevard was constructed in 1979 and is a vernacular industrial building (**Photographs 1-2**). It occupies the entire lot and has a northwest-facing orientation. It is a monumental, one-story industrial building with an L-shaped plan. To the south and northwest of the building are surface parking lots and with warehouse and delivery access.

The building has a flat roof with parapet, that is covered with composite material. The walls are tilt-up concrete construction. The building sits on a concrete slab foundation. The northwest elevation façade has an inset porch with concrete steps and partially enclosed by a concrete block wall. The windows are anodized metal-frame, fixed windows arranged in pairs. The main entry is an anodized metal-frame and glass, storefront, double-leaf door with transom and sidelights. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

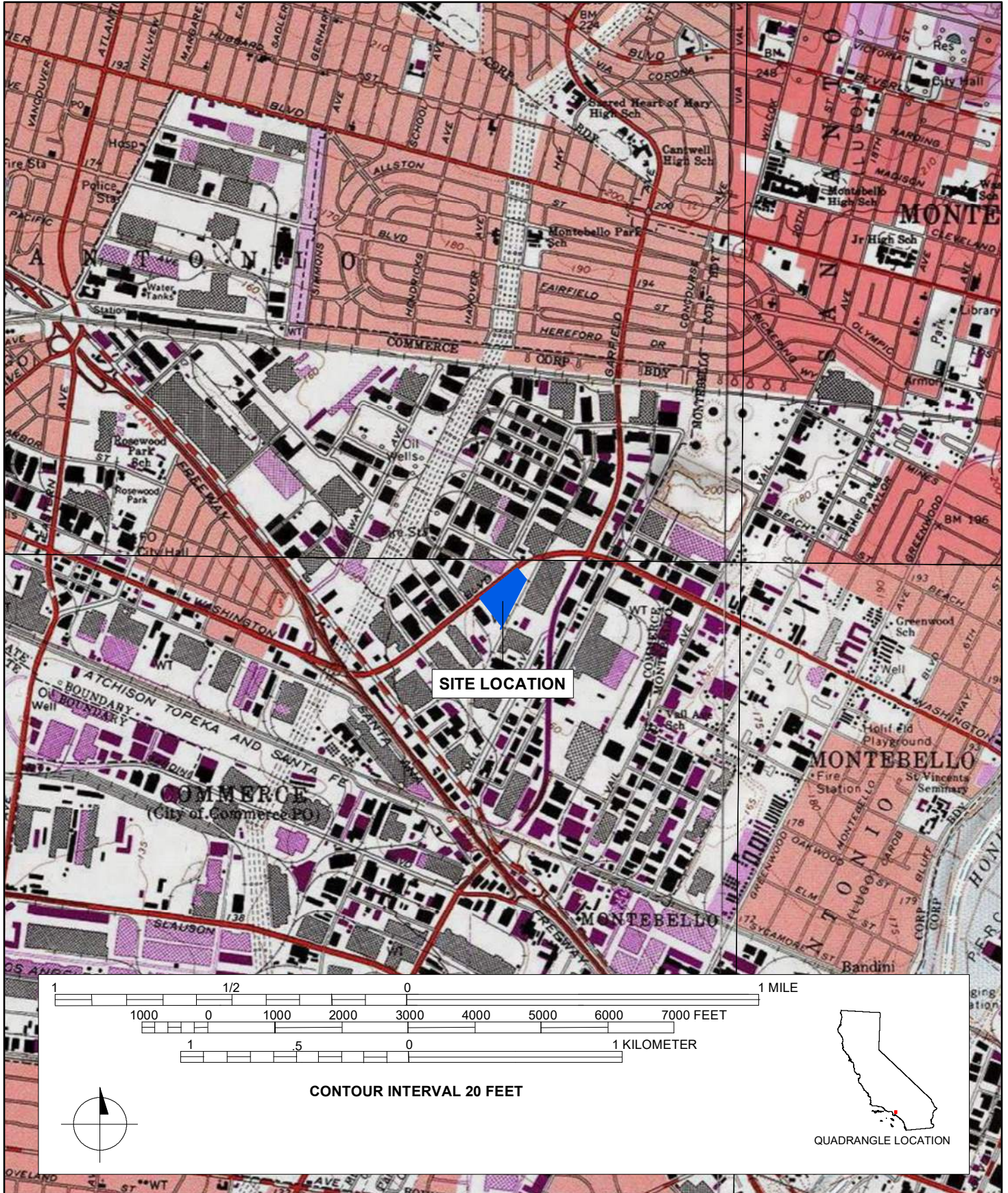
\*Resource Name or # (Assigned by recorder) «Address2»

Continuation  Update



Photograph 2. View of N elevation, camera facing south, 12/18/2019, DSCN0287

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 800 Washington Boulevard

P1. Other Identifier: 800 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 800 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762104mE/396913mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-027-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW and SE elevation/façade, camera facing north, 12/17/2019, IMG 9131

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 800 Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: Avalon Tire and Wheel

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Montebello

Period of Significance 1970s Property Type Auto-shop Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 800 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Montebello. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 800 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

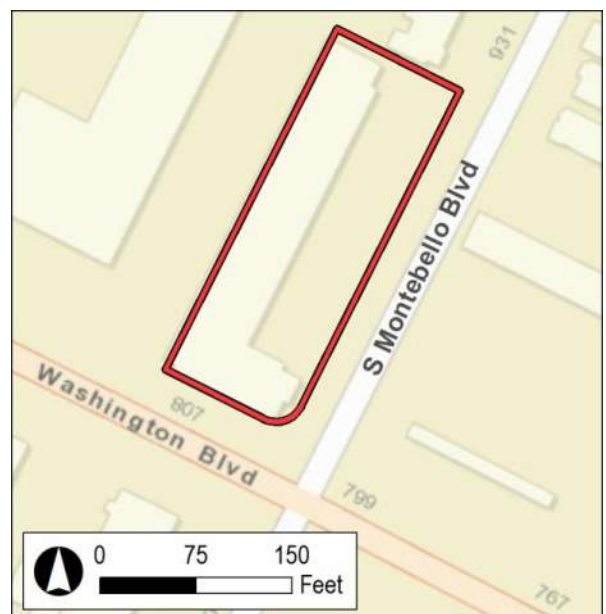
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 800 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 800 Washington Boulevard, Avalon Tire and Wheel, was constructed in 1979 and is a Contemporary-style automotive garage (**Photograph 1**). The architectural details of the building include: curtain wall windows and boxed building forms. It occupies the entire lot and has an east-facing orientation. It is a one-story, wood-framed, building with an L-shaped plan.

The building has a flat roof covered with composite material with a wide box cornice and overhanging eave. The walls are clad with stucco and concrete. There is a curtain wall window along the south elevation. The east elevation includes five garage bays. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

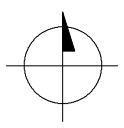
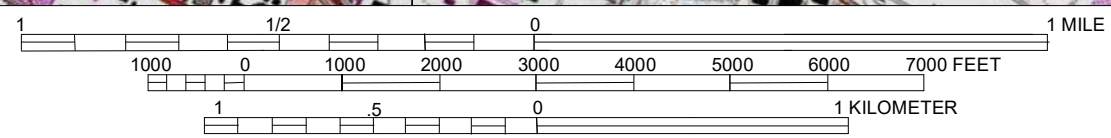
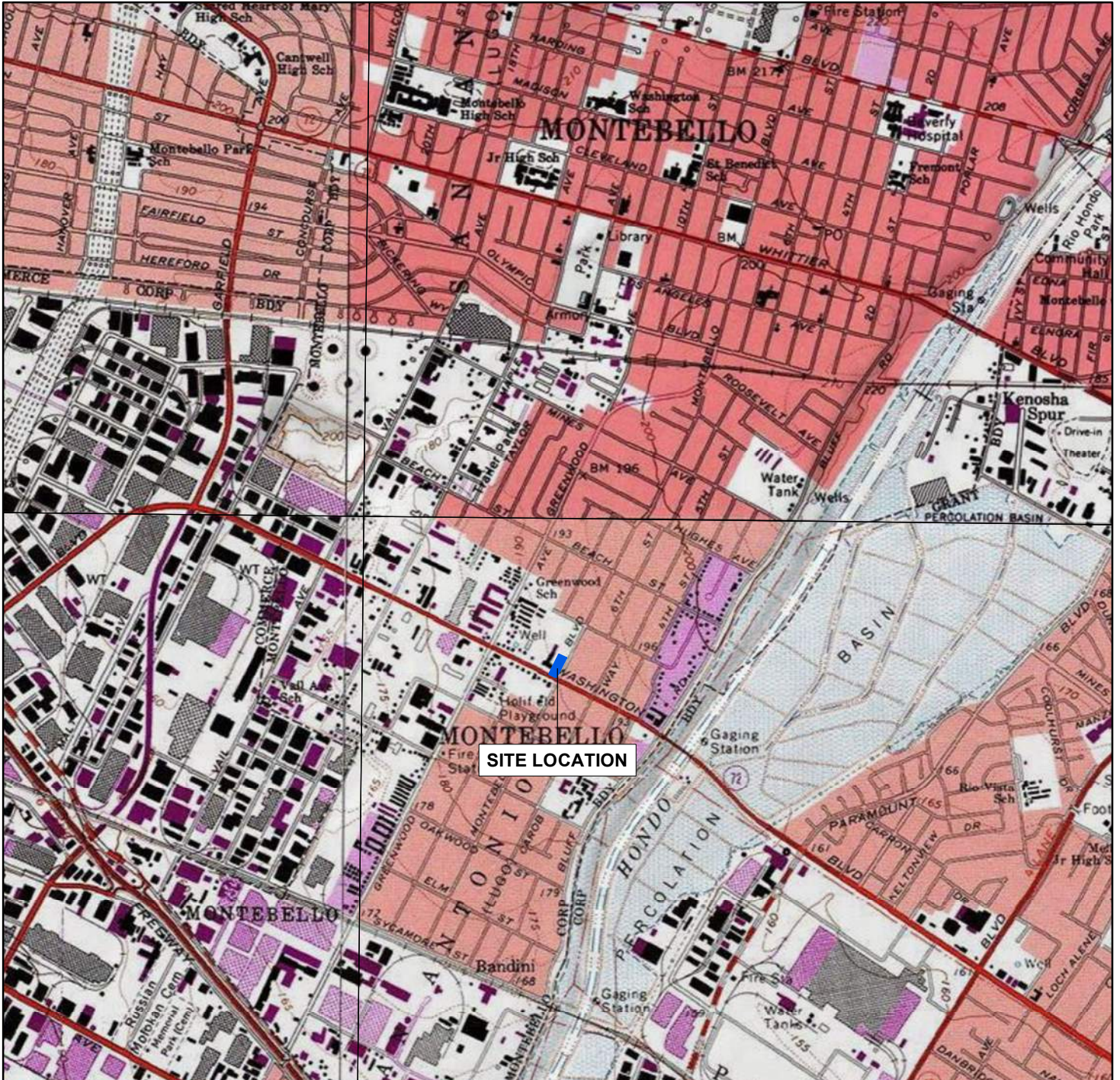
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A. Knopf, Inc.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



CONTOUR INTERVAL 20 FEET



QUADRANGLE LOCATION

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 11917 Washington Boulevard

P1. Other Identifier: 11917 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 11917 Washington Boulevard City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3759246mE/402319mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8170-001-011

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing northeast, 12/17/2019, DSCN0140

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1979 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 11917 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1979 (Los Angeles County Assessor). Building permit data indicates wall-mounted signage was installed in 1985 and the roof was replaced in 1990.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 11917 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 11917 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

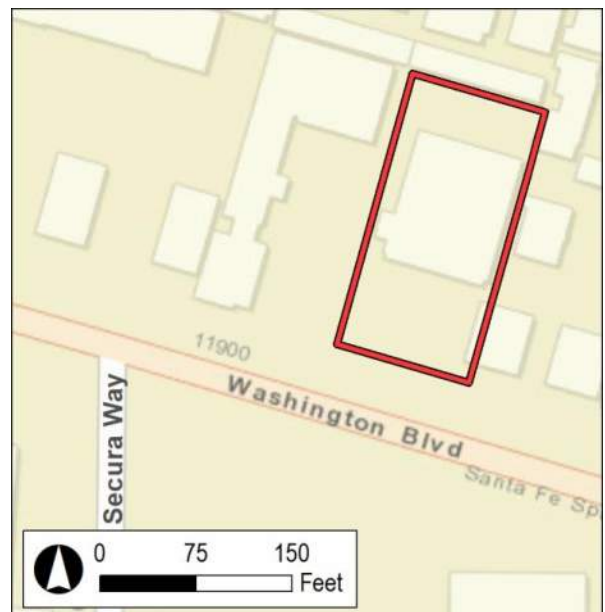
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 11917 Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 11917 Washington Boulevard was constructed in 1979 and is a vernacular commercial building (**Photograph 1**). It occupies the rear of the lot and has a south-facing orientation. It is a one-story, frame and concrete block, building with a rectangular plan. Building permit data indicates wall-mounted signage was installed in 1985 and the roof was replaced in 1990.

The building has a flat roof covered with composite material with a slight parapet. Along the façade is a wide box cornice with signage and clad with wood siding. The walls are clad with textured, concrete block. The building has anodized metal-frame storefront windows and single-entry doors. The building has a concrete foundation. The building faces a surface parking lot. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

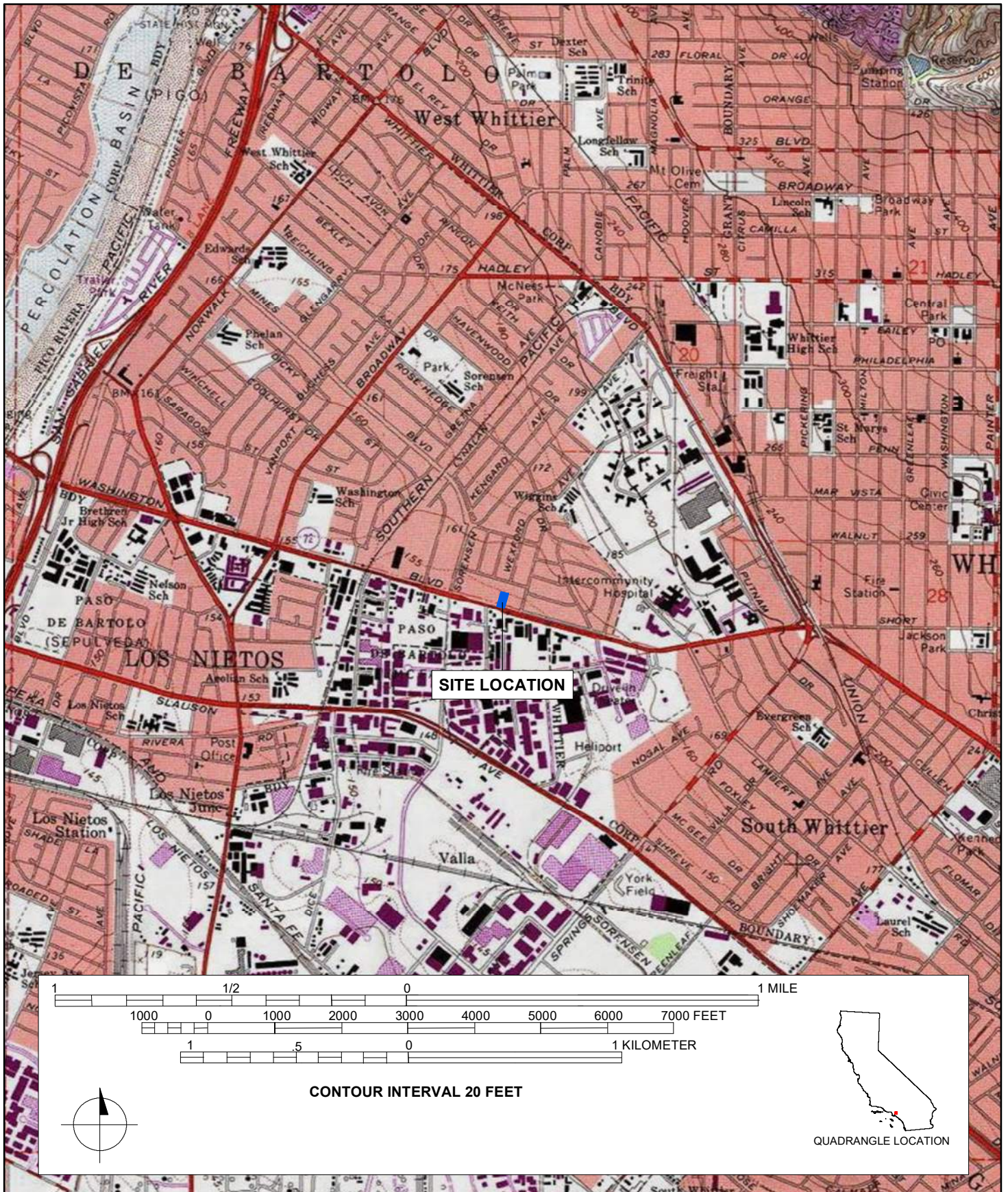
Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 8407 Washington Boulevard

P1. Other Identifier: 8407 Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8407 Washington Boulevard City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3761340mE/397977mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6370-030-016

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of South (rear) and East elevation/façade, camera facing west, 12/17/2019, IMG 9125

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1980 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8407 Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: La Barca Restaurant
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Contemporary-style

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1980 (Los Angeles County Assessor). Between 2007 and 2012, the pylon-mounted sign was resurfaced with brick veneer (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Pico Rivera  
Period of Significance 1980s Property Type Restaurant Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8407 Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Pico Rivera. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8407 Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

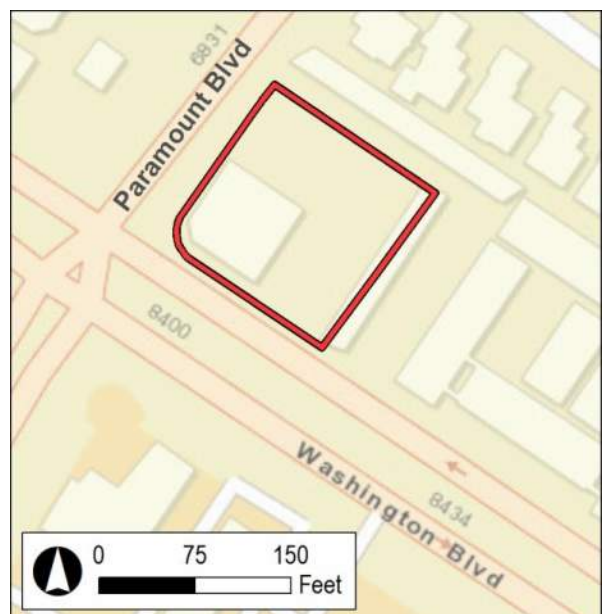
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)





**\*P3a. Description (continued):**

The property located at 8407 Washington Boulevard, La Barca restaurant, was constructed in 1979 and is a Contemporary-style commercial building (**Photographs 1-2**). The architectural details of the building, including its mansard roof with wide overhanging eaves and brick veneer. It occupies the southwestern corner of the lot and has a south-facing orientation. It is a one-story, wood framed, commercial building with a rectangular plan. Between 2007 and 2012, the pylon-mounted sign was resurfaced with brick veneer (Google Streetview 2019).

The building has a mansard roof with wide overhanging eaves and covered with Spanish tile. The exterior walls are clad with brick veneer; and the building sits on a concrete slab foundation. The south, east, and west elevations have metal-frame ribbon windows with wide wood surrounds. The primary entrance is a double-leaf, glazed door with transom and sidelights. There is a pylon-mounted illuminated box sign to the southwest of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

The communities of Pico and Rivera were established in the 1870s as the AT&SF and Union Pacific completed their rail lines through the area. Located on fertile land between Rio Hondo and the San Gabriel River, the area became known for its citrus, avocado, and walnut groves.

Pico and Rivera remained small agricultural towns until after World War II when the demand for housing attracted developers to the peaceful, undeveloped area. In the 1950s, large parcels of land were developed with tract homes, and schools, churches, and commercial enterprises were established to meet the needs of the new residents. The growing subdivisions drew the older communities of Pico and Rivera closer together. By the mid-1950s, leaders from both communities began to voice strong support for incorporation, which voters approved in 1958.

The name Pico Rivera was chosen for the newly incorporated community. For many years, Ford Motor Company operated an auto assembly plant in Pico Rivera. The plant was later used by Northrop Corporation for its aircraft group (New York Times 1982). Today, the city's population is 65,650 (City of Pico Rivera 2019). As of the 2000 census, Latinos and Hispanics constitute more than 88 percent of the population.

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

City of Pico Rivera. 2019. "Our History." City Website. Available at: <http://www.pico-rivera.org/about/history.asp>, accessed December 30, 2019.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A, Knopf, Inc.

New York Times. 1982. "Northrop to Buy Vacant Ford Plant." February 5.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

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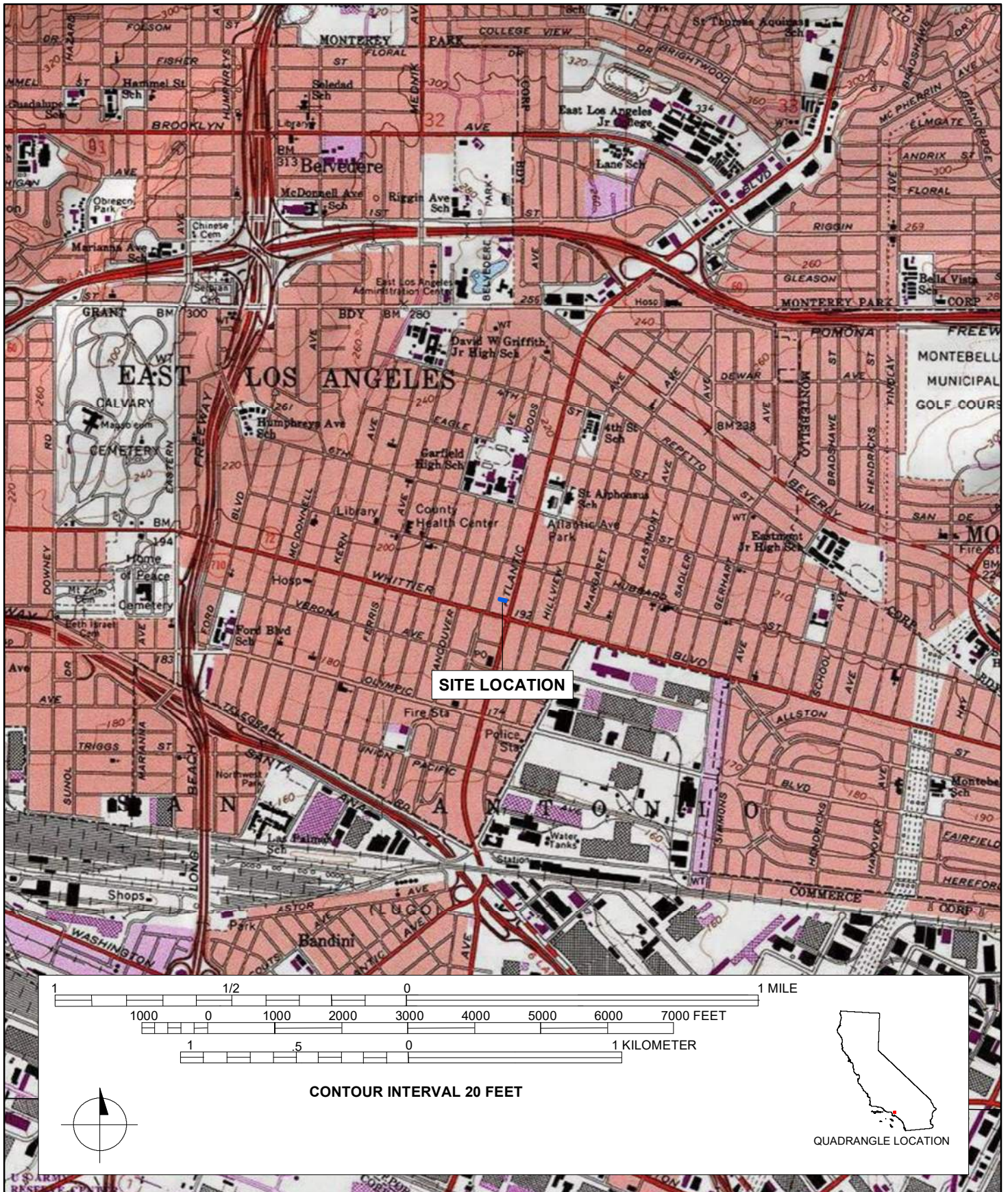
\*Resource Name or # (Assigned by recorder) 8407 Washington Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update



Photograph 2. View of entrance, camera facing east, 12/17/2019, IMG\_9126



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 6827 East Washington Boulevard

P1. Other Identifier: 6827 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad South Gate/Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6827 East Washington Boulevard City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762710mE/395680mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-003-054

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation, camera facing north, 12/18/2019, IMG\_9154

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1980 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 6827 East Washington Boulevard

B1. Historic Name: N/A

B2. Common Name: N/A

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1980 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial building Area Commerce  
Period of Significance 1980s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6827 E Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6827 E Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6827 East Washington Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 6827 E Washington Boulevard was constructed in 1980 and is a vernacular industrial building (**Photograph 1**). It occupies the rear of the lot and has a southwest-facing orientation. It is a one-story, concrete tilt-up, building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete panels. The building has no windows. There is a single-entry steel door along the southwest elevation flanked by two, metal roll-up garage doors. The building has a concrete foundation. The building faces a surface parking lot. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

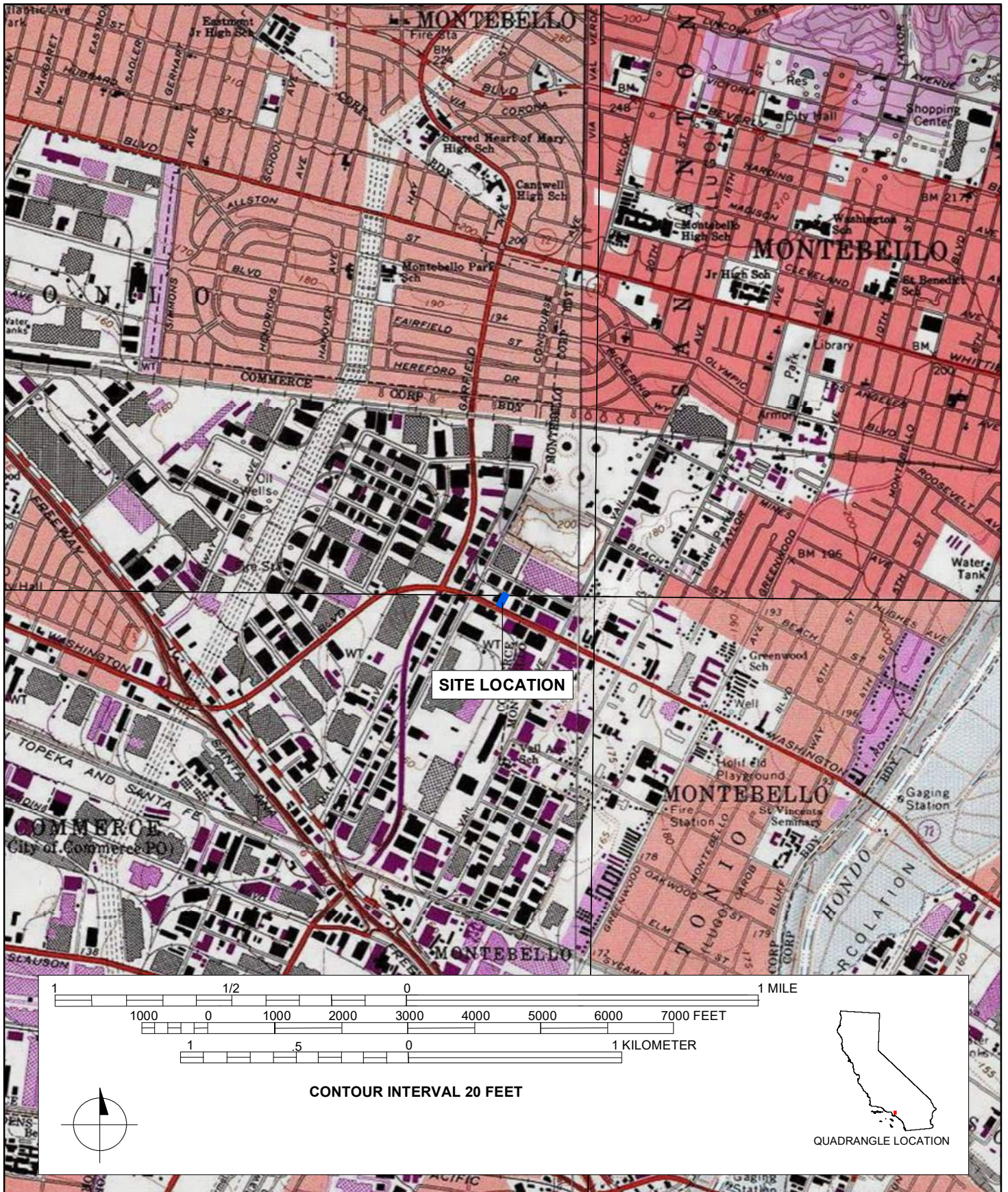
Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 5191 Whittier Boulevard

P1. Other Identifier: 5191 Whittier Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 5191 Whittier Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3765064mE/393124mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5240-018-001

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of southeast elevation/façade, camera facing northwest (Google Streetview 2019)

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1969 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 5191 Whittier Boulevard

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building
- \*B5. Architectural Style: Modern-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1969 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance 1960s Property Type Commercial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 5191 Whittier Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the commercial corridor was similar to numerous others that were established following World War II in Los Angeles. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 5191 Whittier Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

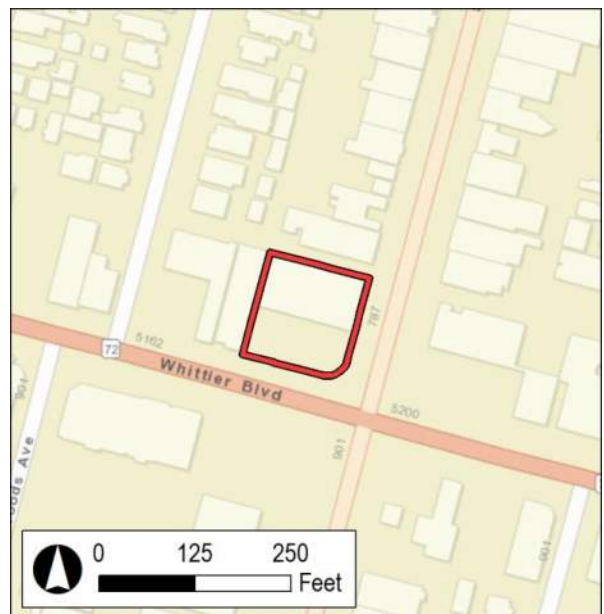
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 5191 Whittier Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 5191 Whittier Boulevard was constructed in 1969 and is a Modern-style commercial building (**Photograph 1**). It occupies the entire lot and has an east-facing orientation. There is an underground parking structure along the south portion of the lot. The building is a one-story, frame and concrete building with a rectangular plan.

The building has a flat roof with wide overhanging eaves with large rafter ends. The walls are covered with concrete. There is an illuminated box sign mounted along the south elevation roof. The east elevation has metal-frame, curtain wall windows and glass double-leaf doors. The building has a concrete foundation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

Modern Architecture:

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s, although the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include a use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a time when new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885-1965, Volume 1*, pp. 222-223. Los Angeles: privately printed.

Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

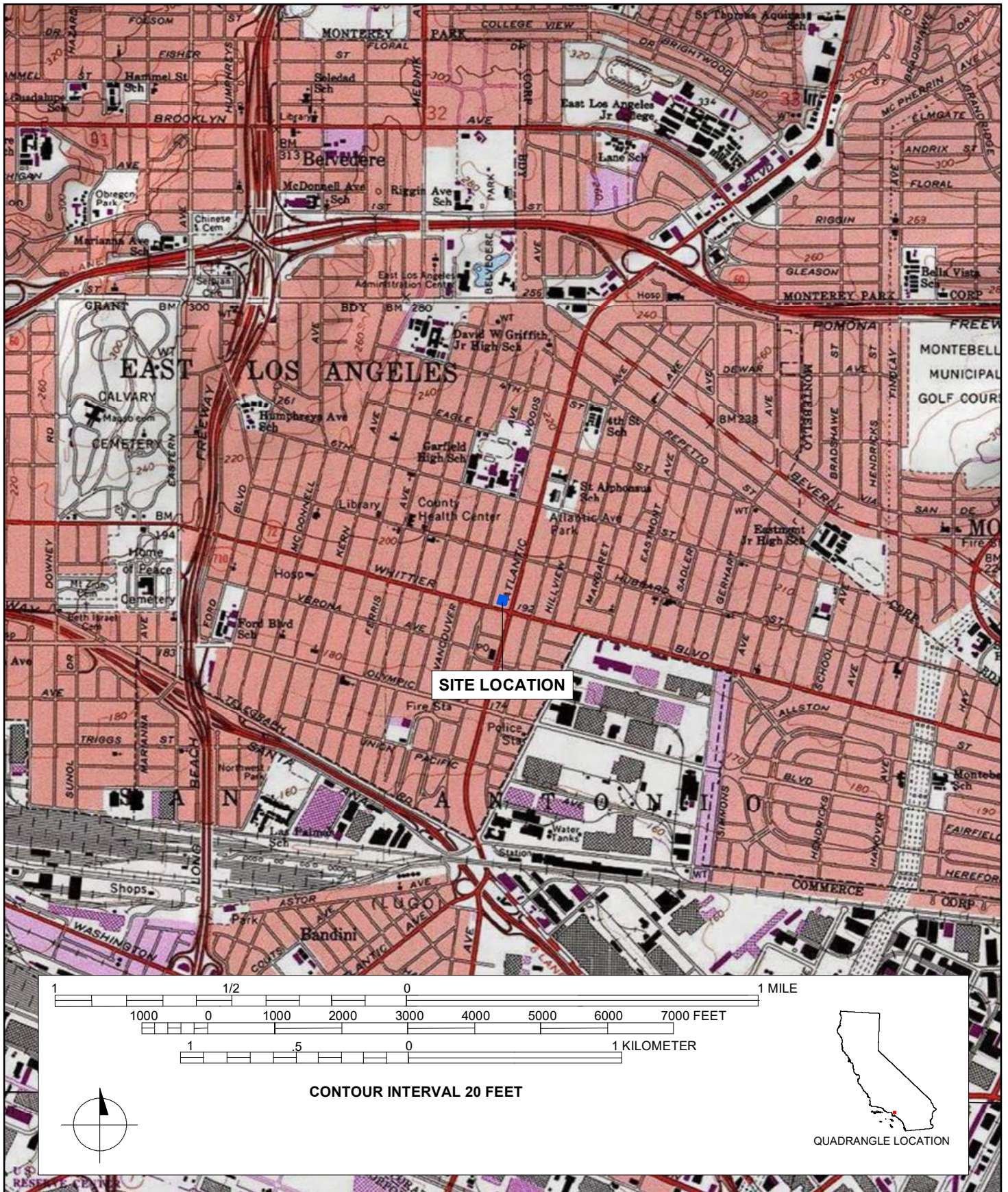
Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: Los Angeles Times (1881-1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: Los Angeles Times (1881-1987).

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 5200 Whittier Boulevard

P1. Other Identifier: 5200 Whittier Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 5200 Whittier Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3764982mE/393171mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6340-001-001

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W elevation, camera facing east (Google Streetview 2019)

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1971 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 5200 Whittier Boulevard

- B1. Historic Name: N/A
- B2. Common Name: 76 Gas Station
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1971 (Los Angeles County Assessor); Two-post canopy raised in 2003. Signage installed in 2000. Two pay-quick islands installed in 1997. Canopy refaced in 1998.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance 1970s Property Type Gas station Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 5200 Whittier Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with late-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 5200 Whittier Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

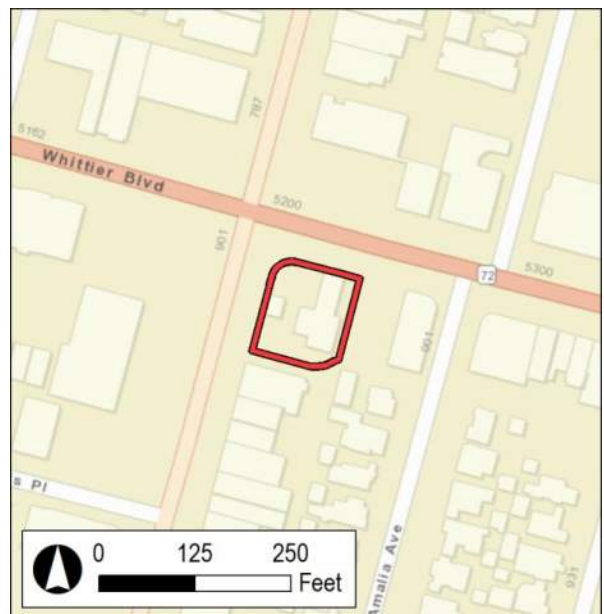
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 5200 Whittier Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 5200 Whittier Boulevard, 76 Gas Station, was constructed in 1971 and is a vernacular service station (**Photograph 1**). The office storefront occupies the western portion of the lot and has a west-facing orientation. It is a one-story, wood-framed, building with an irregular plan. The fuel pump canopy is located in the center of the lot. Building permit data indicates the two-post fuel canopy was installed in 2003 and signage was installed in 2000.

The building has a side gable roof covered with composite shingles. The walls are clad with stucco, board and batten siding, and brick veneer. The windows are metal-frame fixed storefront windows. The fuel pump canopy has metal pole supports and a flat, fiberglass, roof with a box cornice. The service station office and fuel pump canopy have been extensively remodeled and resemble new construction. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: Los Angeles Times (1881–1987).

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

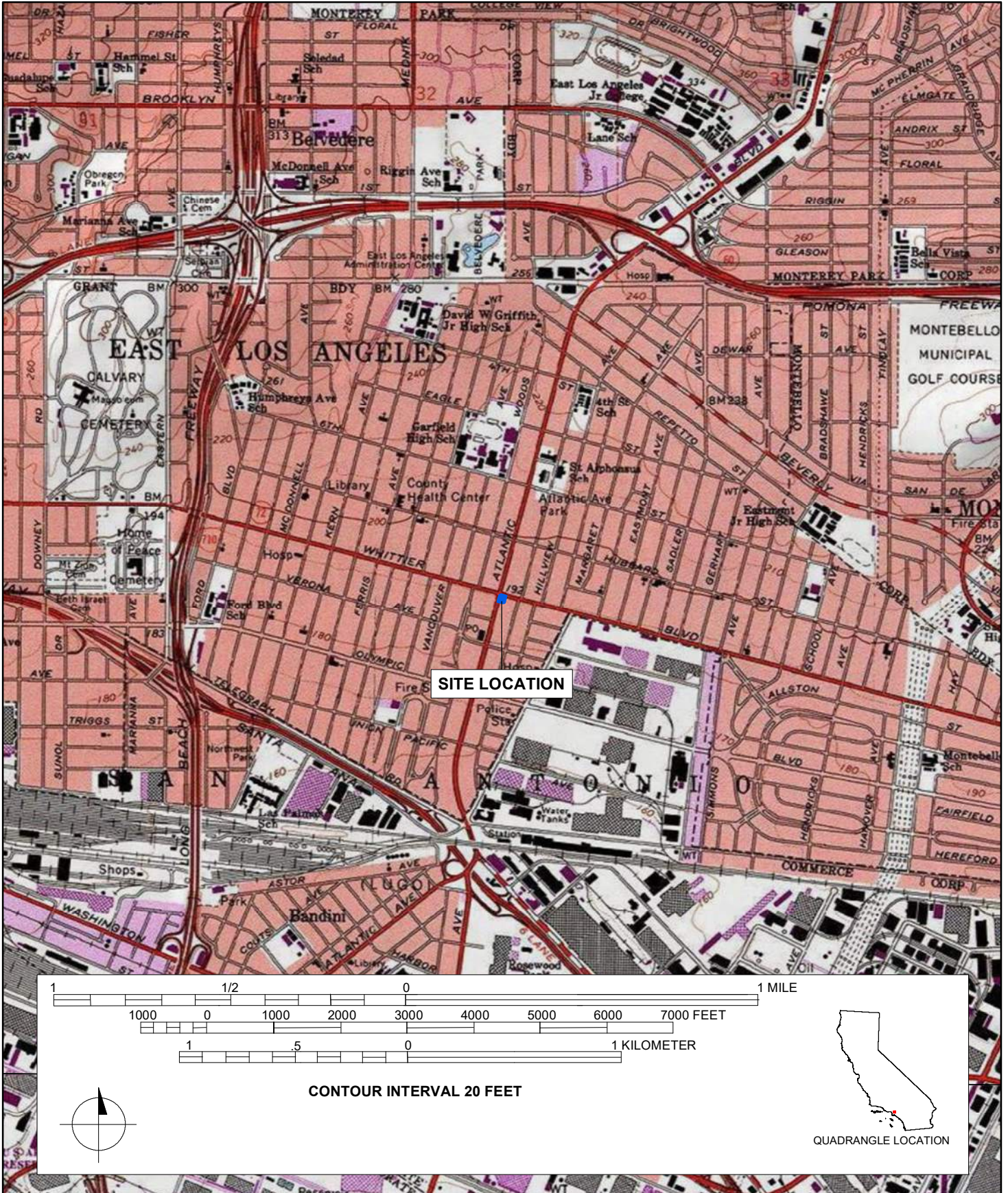
Page 4 of 4

\* Resource Name or # (Assigned by recorder) 5200 Whittier Blvd

\* Map Name: Los Angeles, Calif. 7.5' Quadrangle

\* Scale: 1:24,000

\* Date of Map: 1981



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 2201 Yates Avenue

P1. Other Identifier: 2201 Yates Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles/South Gate T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 2201 Yates Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3762711mE/395469mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-004-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NW and NE elevation/face, camera facing south, 12/18/2019, DSCN0219

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 2201 Yates Avenue

- B1. Historic Name: N/A
- B2. Common Name: n/a
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style:

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1955(Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: n/a

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme n/a Area n/a  
Period of Significance n/a Property Type n/a Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 2201 Yates Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the industrial corridor was similar to numerous others that were established following World War II in Commerce. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 2201 Yates Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

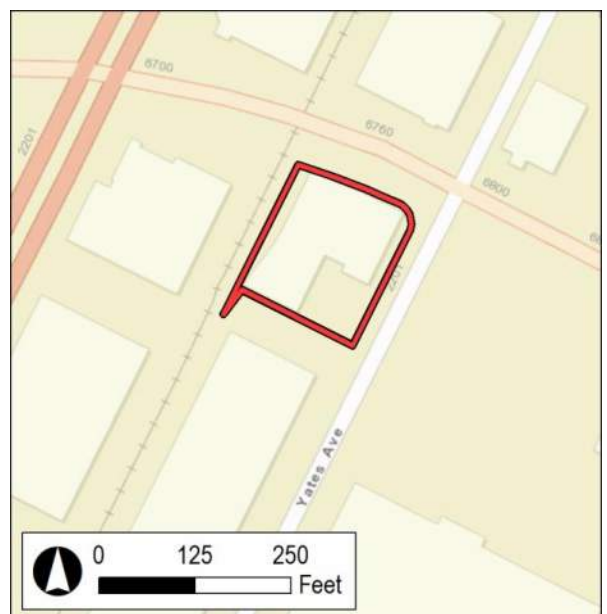
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2201 Yates Avenue  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 2201 Yates Avenue was constructed in 1955 and is a Modern-style industrial building (**Photographs 1-2**). It occupies the entire lot and has a north-facing orientation. It is a one-story, frame and brick, warehouse with a rectangular plan.

The building has a flat roof covered with a slight parapet. The walls are covered with brick veneer and have metal brackets evenly spaced along the walls. The entire complex sits on a concrete slab foundation. The façade is punctuated Chatsworth stone accent walls. The primary entrance is along the east elevation and is an aluminum-frame and glass door. There is an aluminum-frame ribbon window along the north elevation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Although Commerce was not incorporated until 1960, industrial development has been present in the area since the early 1900s. The Simons Brick Company opened the first major industrial plant in the area in 1905. At its peak in the 1920s, the plant employed more than 3,000 people (including women and children). The plant's bricks were used to build numerous landmark buildings in Los Angeles, including city hall and UCLA's Royce Hall. The Samson Tire and Rubber Company came to the area in 1929 with a striking 240,000-squarefoot Assyrian-style plant that employed 2,500 men. Automaker Chrysler opened a plant in the area in 1932, and Ford built a parts depot facility in 1951 (English and GuneWardena 1997).

In the late 1950s, Warren Bedell, an employee of the nearby Firestone plant, conceived of the idea to incorporate the neighborhoods of Rosewood Park and Bandini into what is now Commerce. With corporate sponsorship and homeowner support, Commerce was officially incorporated on January 28, 1960. During the 1960s, the city added civic amenities such as a library, an "aquatorium," and a new city hall. Commerce had more than 100 of the nation's 500 largest corporations operating within its city limits by May of 1976. Although some of the older industries began to leave in the 1970s, the city added a number of distribution centers and warehousing facilities (English and GuneWardena 1997). Commerce underwent major redevelopment in the decades following the 1970s. These projects included new residential developments and a business park. When the Commerce Casino opened in 1990, it quickly became the city's second-largest employer. That same year, the landmark Samson plant reopened as a specialty retail center, with office space and a 200-room hotel. The city continues to retain its manufacturing identity, with nearly 64 percent of the city zoned for industrial use (English and GuneWardena 1997).

Contemporary Architecture:

The Contemporary style, popular between circa 1940 and 1980, is characterized by strong roof forms including flat, gabled, shed, or butterfly, typically with deep overhangs; large windows, often aluminum framed; non-traditional exterior finishes include vertical wood siding, concrete block, stucco, flagstone, and mullion-free glass; angular massing; sun shades, screens, or shadow block accents; horizontally oriented commercial buildings; distinctive triangular, parabolic, or arched forms; "eyebrow" overhangs on commercial buildings, and integrated, stylized signage on commercial buildings (McAlester and McAlester 1984:482).

**\*B12. References (continued):**

English, John, and Ravi GuneWardena. 1997. "City of Commerce." In *Cruising Industrial Los Angeles*, pp. 37–38. Los Angeles: Los Angeles Conservancy.

McAlester, Virginia and Lee McAlester. 1984. *A Field Guide to American Houses*. New York: Alfred A. Knopf, Inc.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

NRHP Status Code 6Z

Page 4 of 5

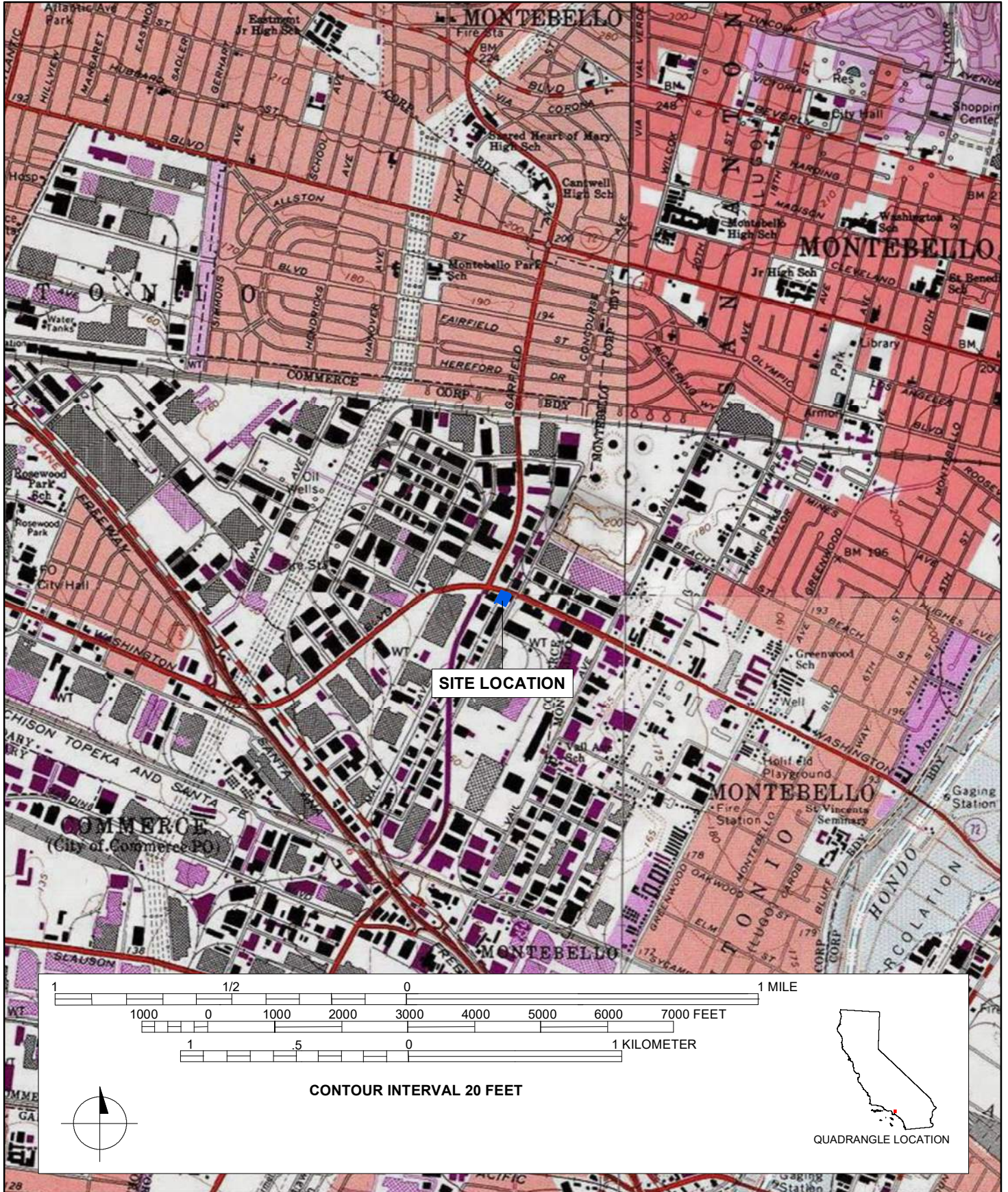
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 2201 Yates Avenue

Continuation  Update



Photograph 2. View of entrance, camera facing west, 12/18/2019, DSCN0221



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 326 South Atlantic Boulevard

P1. Other Identifier: 326 South Atlantic Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 326 South Atlantic Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11s;3766223mE/393505mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6341-001-014

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of south elevation/façade, camera facing north, (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1940 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 326 South Atlantic Boulevard

B1. Historic Name: N/A

B2. Common Name: n/a

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\*B5. Architectural Style: One-Part Commercial Block

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1940(Los Angeles County Assessor); Building converted from an auto repair office to a hookah lounge in 2016, improvements included new signage and interior improvements.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance ca. 1940s Property Type Commercial Building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 326 S Atlantic Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 326 S Atlantic Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 326 South Atlantic Boulevard

Continuation  Update

**\*P3a. Description (continued):**

The property located at 326 S Atlantic Boulevard, the Atlantic Hookah Lounge, was constructed in 1940 and is a one-part Commercial Block commercial building with Streamline Moderne elements (**Photograph 1**). It occupies the side of the lot and has a south-facing orientation. It is a one-story, wood-framed, building with an irregular plan. Building permit data indicates the building was converted from an auto repair office to a hookah lounge in 2016.

The building has a flat roof with parapet. The walls are clad with stucco and feature Streamline Moderne-style fluted pilasters. The windows and doors are covered by vinyl awnings. The windows are non-historic, mullion-free glass panels and anodized metal-frame and glass doors. Non-historic light fixtures are attached to the south elevation walls. The building has a concrete slab foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The commercial building evaluated on this form was developed in 1940 on LOT 59 of tract 10681 in East Los Angeles. East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

One-Part Commercial Block Architecture

The One-Part Commercial Block style, popular between the c. 1850s and 1950s, was typically used for small and moderate-sized commercial buildings and generally limited to structures consisting of a single story, with window display at the street level, usually containing multiple storefronts (Longstreth 2000).

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

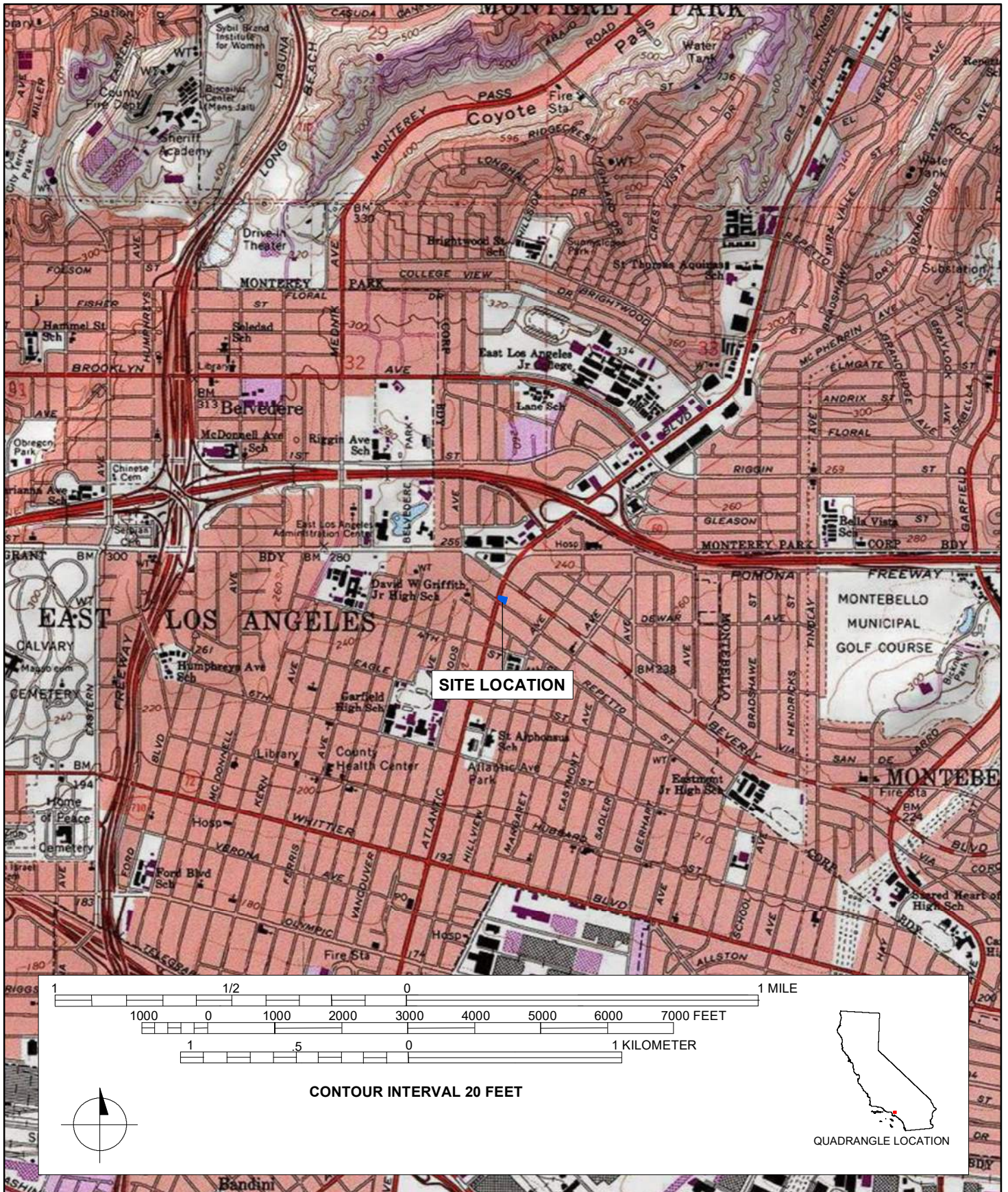
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Longstreth, Richard W. 2000. *The Buildings of Main Street, a Guide to American Commercial Architecture*. Lanham, MD: Altamira Press.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 351 South Atlantic Boulevard

P1. Other Identifier: 351 South Atlantic Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 351 South Atlantic Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11s;3766200mE/393427mN

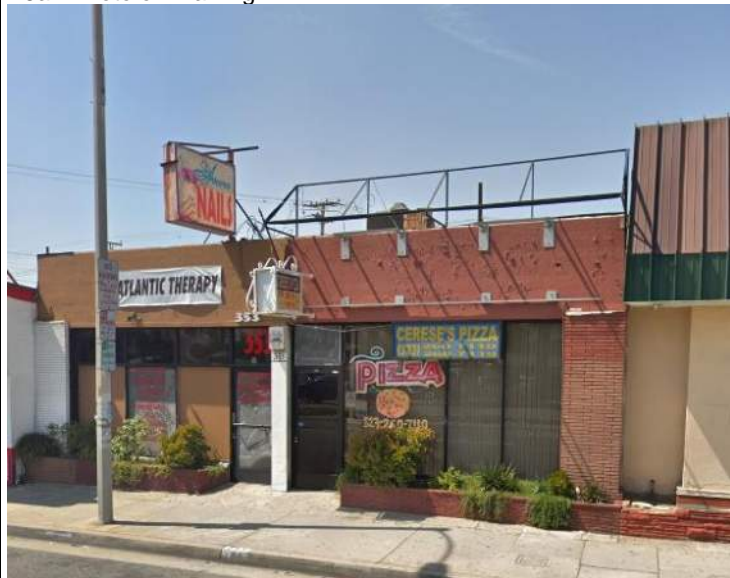
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5248-004-029

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) **Photograph 1.** View of east elevation/face, camera facing west. (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1946 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 351 South Atlantic Boulevard

B1. Historic Name: N/A

B2. Common Name: n/a

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\*B5. Architectural Style: One-Part Commercial Block

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1946(Los Angeles County Assessor Building permit data indicates signage was installed in 1999, and a carport and building addition were removed in 2009.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance ca. 1940s Property Type Industrial Building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 351 S Atlantic Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 351 S Atlantic Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

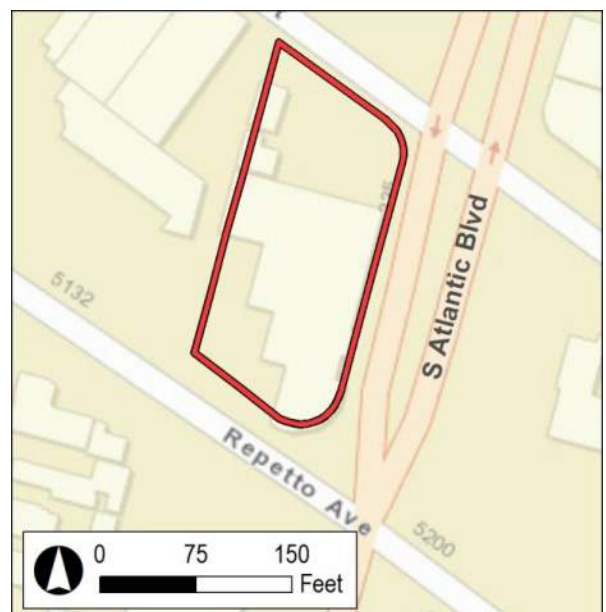
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 351 South Atlantic Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 351 S Atlantic Boulevard was constructed in 1946 and is a one-part Commercial Block commercial building (**Photograph 1**). It occupies the entire lot and has an east-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. Building permit data indicates signage was installed in 1999, and a carport and building addition were removed in 2009.

The building has a flat roof with a slight parapet. The walls are clad with stucco and brick veneer. The building has anodized metal-frame and glass storefront windows and single-entry doors. Non-historic, illuminated box and blade signage are attached to the walls and roof. No other building elevations are visible. The building has a concrete slab foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The industrial building evaluated on this form was developed in 1946 on LOTS 79-82 of tract 10681 in East Los Angeles. East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

One-Part Commercial Block Architecture

The One-Part Commercial Block style, popular between the c. 1850s and 1950s, was typically used for small and moderate-sized commercial buildings and generally limited to structures consisting of a single story, with window display at the street level, usually containing multiple storefronts (Longstreth 2000).

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

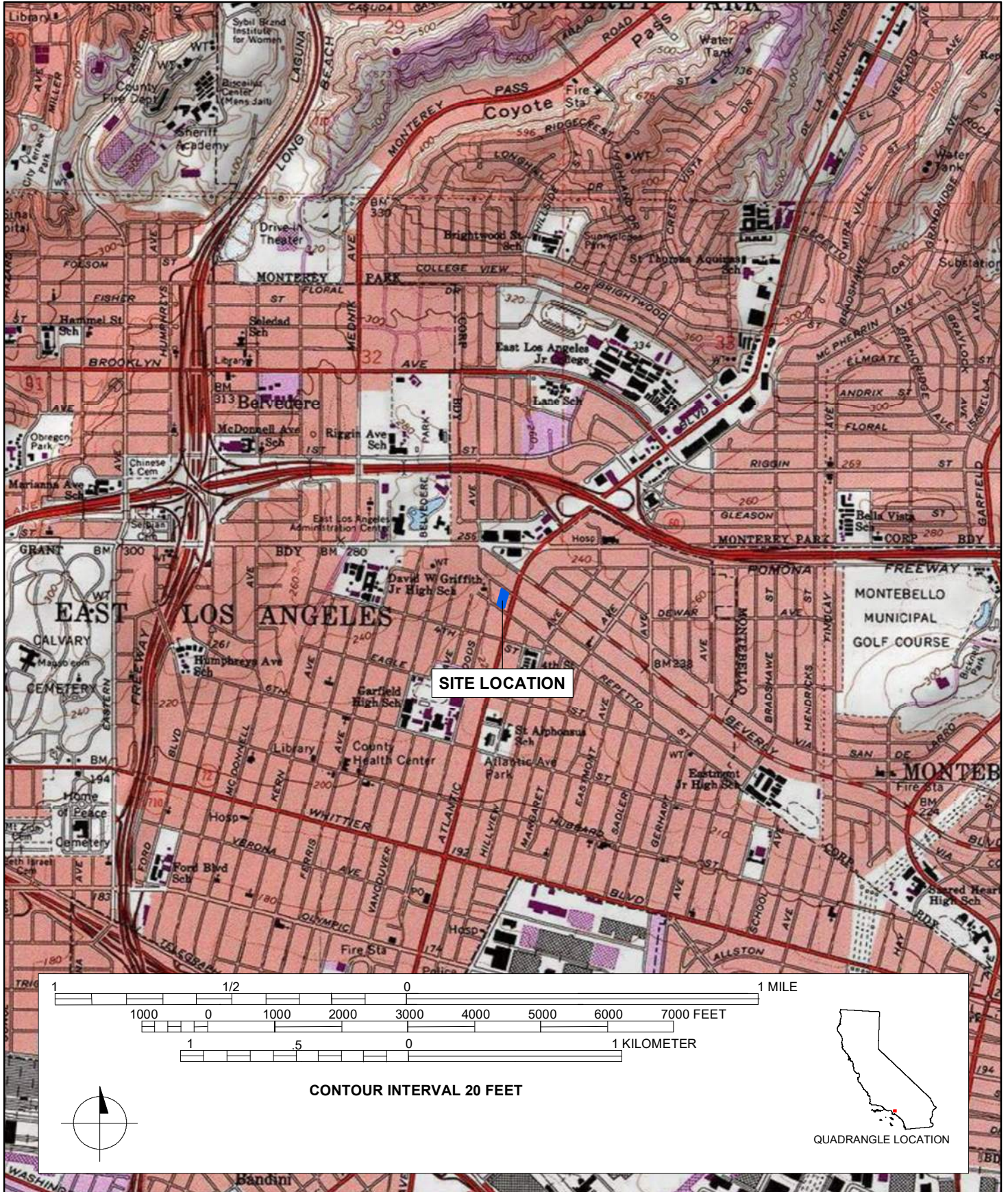
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Longstreth, Richard W. 2000. *The Buildings of Main Street, a Guide to American Commercial Architecture*. Lanham, MD: Altamira Press.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 369 South Atlantic Boulevard

P1. Other Identifier: 369 South Atlantic Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 369 South Atlantic Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11s;3766092mE/393399mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 5248-008-046

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of east elevation/façade, camera facing west, (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1946 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 369 South Atlantic Boulevard

- B1. Historic Name: N/A
- B2. Common Name: n/a
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: One-Part Commercial Block

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1946(Los Angeles County Assessor). Building permit data indicates a canopy was reconstructed in 2000, and three new canopies were installed in 2005.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance ca. 1940s Property Type Commercial Building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 369 S Atlantic Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 369 S Atlantic Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 369 South Atlantic Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 369 S Atlantic Boulevard was constructed in 1946 and is a one-part Commercial Block commercial building (**Photograph 1**). It occupies the rear of the lot and has an east-facing orientation. It is a one-story, wood-framed, building with a rectangular plan. Building permit data indicates a canopy was reconstructed in 2000, and three new canopies were installed in 2005.

The building has a flat roof with an overhanging eave. The walls are clad with stucco. The building has anodized metal-frame and glass storefront windows and single-entry doors. A vinyl awning is attached to the roof and several wood canopies front the building. There is a metal roll-up garage door along the façade. There is a surface parking lot to the east of the building. The building has a concrete slab foundation. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The commercial building evaluated on this form was developed in 1946 on LOTS 249-256 of tract 7192 in East Los Angeles. East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

One-Part Commercial Block Architecture

The One-Part Commercial Block style, popular between the c. 1850s and 1950s, was typically used for small and moderate-sized commercial buildings and generally limited to structures consisting of a single story, with window display at the street level, usually containing multiple storefronts (Longstreth 2000).

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885-1965, Volume 1*, pp. 222-223. Los Angeles: privately printed.

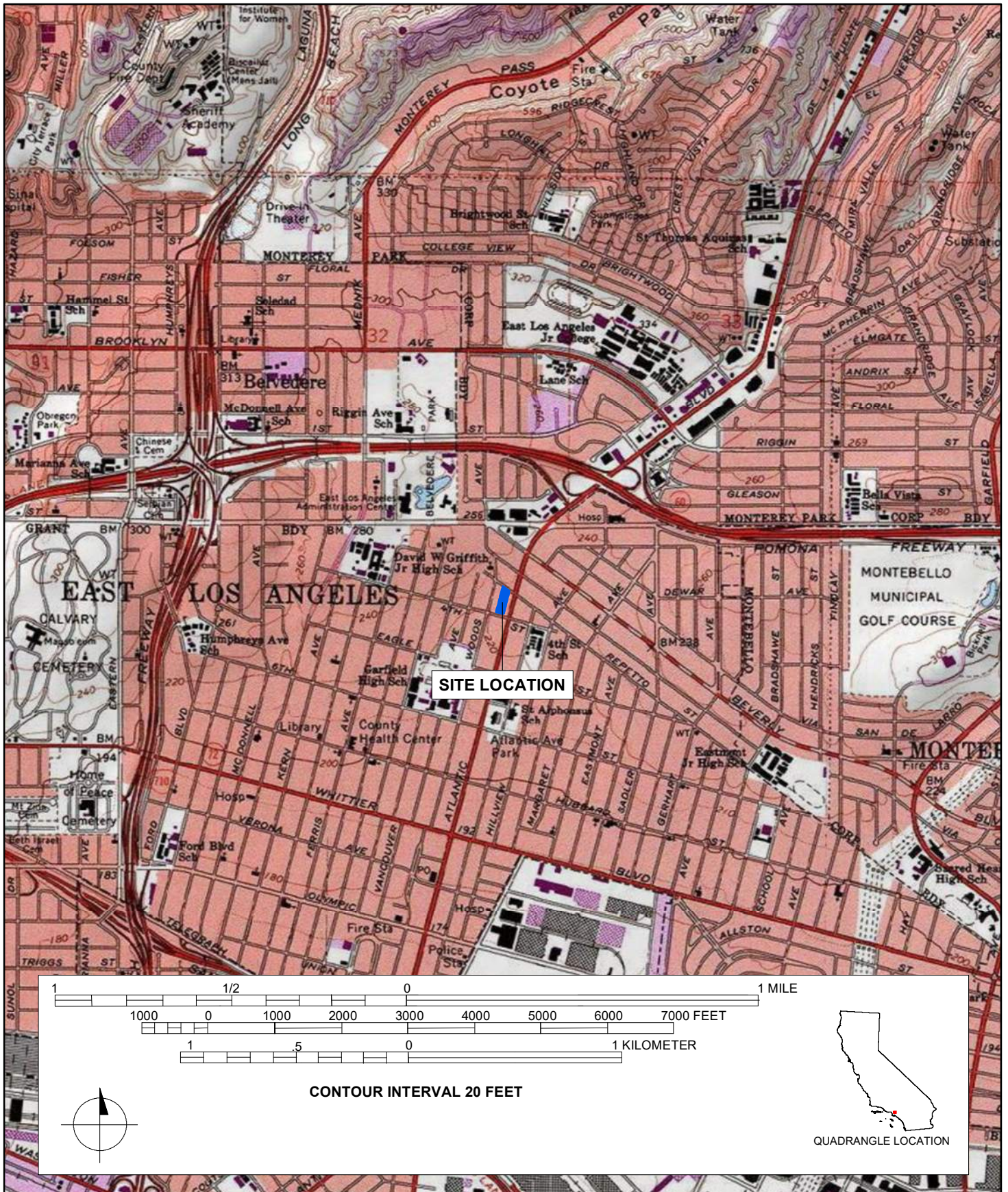
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Longstreth, Richard W. 2000. *The Buildings of Main Street, a Guide to American Commercial Architecture*. Lanham, MD: Altamira Press.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: *Los Angeles Times* (1881-1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: *Los Angeles Times* (1881-1987).





State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 344 South Atlantic Boulevard

P1. Other Identifier: 344 South Atlantic Boulevard

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Los Angeles T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 344 South Atlantic Boulevard City Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear resources) Zone 11s;3766157mE/393485mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6341-006-024

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story commercial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of west elevation/façade, camera facing east, (Google Streetview 2019).

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1948 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 344 South Atlantic Boulevard

- B1. Historic Name: N/A
- B2. Common Name: n/a
- B3. Original Use: Commercial Building
- B4. Present Use: Commercial Building

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1948(Los Angeles County Assessor). Building permit data indicates several unpermitted building additions were removed and a new patio canopy was installed in 2005.

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Commercial development Area Los Angeles  
Period of Significance ca. 1940s Property Type Commercial Building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 344 S Atlantic Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century commercial development in Los Angeles, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 344 S Atlantic Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

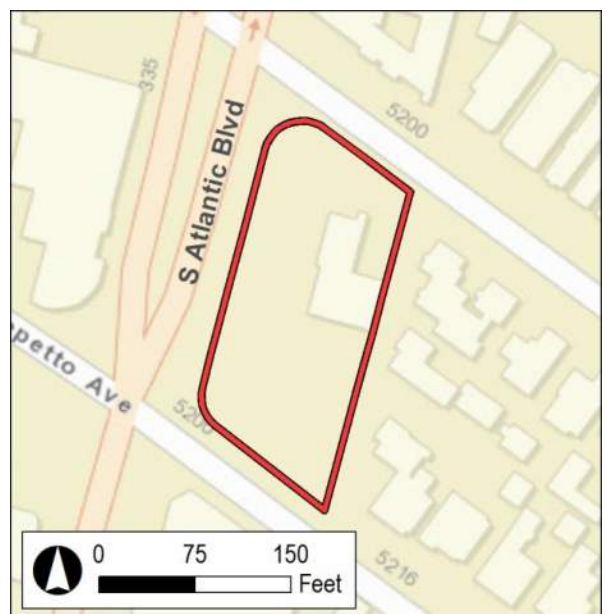
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 344 South Atlantic Boulevard

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 344 S Atlantic Boulevard was constructed in 1948 and is a vernacular commercial building (**Photograph 1**). It occupies the rear of the lot and has a west-facing orientation. It is a two-story, wood-framed, building with an irregular plan. Building permit data indicates several unpermitted building additions were removed and a new patio canopy was installed in 2005.

The building has a flat roof with parapet. The walls are clad with stucco. The building has anodized metal-frame and glass storefront windows and single-entry doors. The windows along the first-story of the building appear to be smaller replacements, and several bays are infilled with stucco. The building has a roof-top patio along the one-story portion of the building, that is accessed via a straight-run concrete stairway. The building has a concrete slab foundation. The property is fronted by a surface parking lot and enclosed by metal and concrete block perimeter walls. The resource does not retain integrity.

**\*B10. Significance (continued):**

Historic Context

The commercial building evaluated on this form was developed in 1948 on LOT 83 of tract 10681 in East Los Angeles. East Los Angeles is in unincorporated Los Angeles County, approximately four miles east of downtown Los Angeles. It is bounded by Los Angeles to the north and west, Monterey Park and Montebello to the east, and Commerce to the south. East Los Angeles lies within the historic boundaries of Rancho La Laguna, part of the vast land holdings belonging to prominent Californios Don Abel Stearns and his wife, Dona Arcadia Bandini. Stearns acquired the first parcels of land in 1857, and until his death in 1871, Stearns and his wife hosted social and political functions at the rancho, which was several miles east of the city center (Los Angeles Times 1921a). Following Arcadia Bandini's death in 1912, both subdivision of the rancho and the eastward development of Los Angeles were delayed because of a lengthy legal proceeding over her estate and land claims by various descendants (Clary 1966). By 1921, however, the last remaining cattle on the rancho had been removed to make way for "one of the city's newest suburbs," as it was promoted by the Janss Investment Company, which had subdivided nearby Belvedere Heights (now Boyle Heights) and Ramona Acres (now Monterey Park). With Janss offering lots for as little as \$625, "low-end housing prices were significantly cheaper in Los Angeles than in most industrial cities," according to historian Mike Davis (Davis 2001). As was consistent with subdivision practices of the era, Janss made substantial site improvements, even establishing the Belvedere Water Company. In 1937, Belvedere Gardens community leaders officially changed the district's name to East Los Angeles (Los Angeles Times 1937). Historically the cultural center of the Mexican-American community in Los Angeles, East Los Angeles had a population of 127,717 as of 2007, with a median income of \$34,063.

**\*B12. References (continued):**

Clary, William W. 1966. *History of the Law Firm of O'Melveny & Myers, 1885–1965, Volume 1*, pp. 222–223. Los Angeles: privately printed.

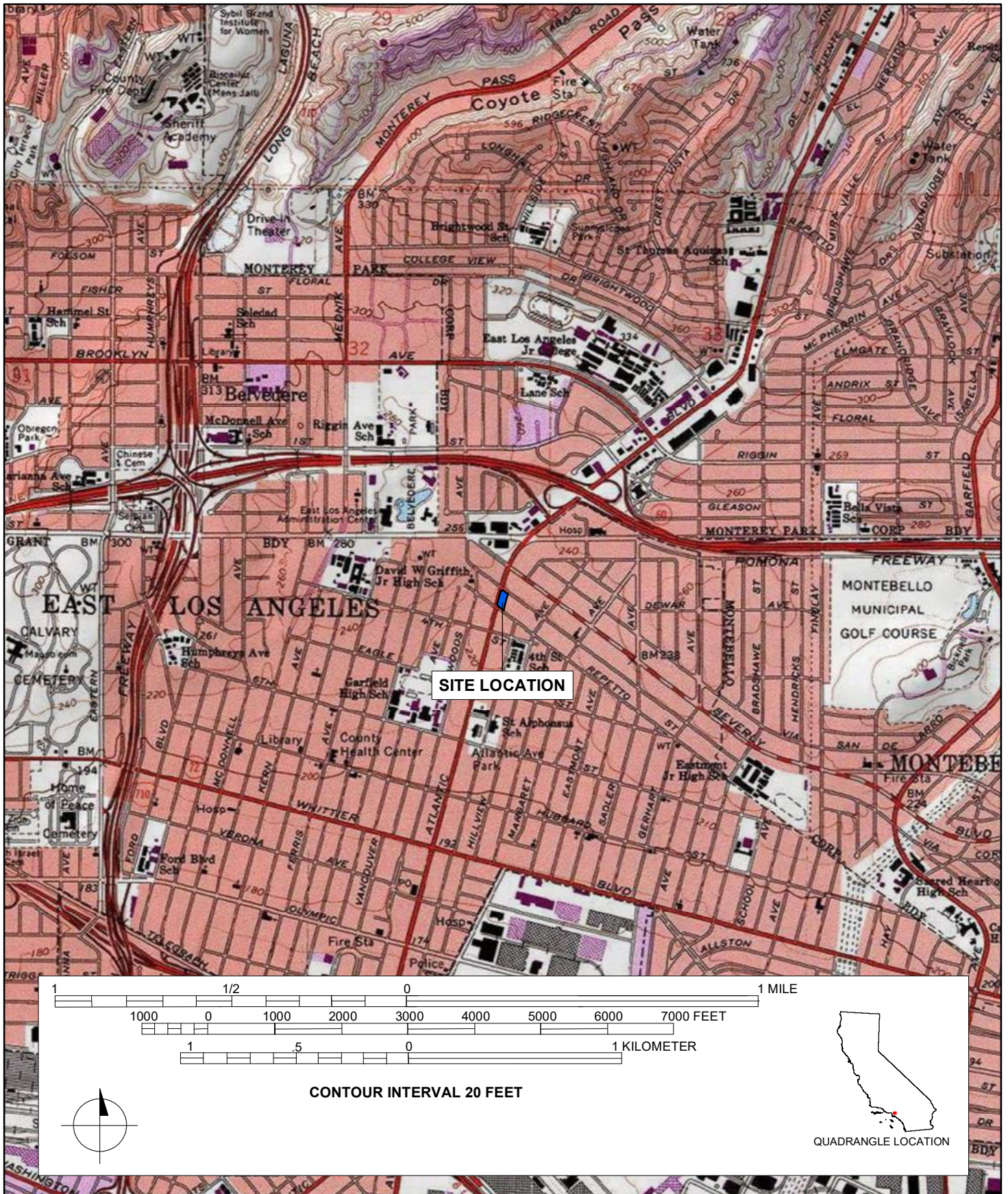
Davis, Mike. 2001. "Sunshine and the Open Shop: Ford and Darwin in 1920s Los Angeles." In *Metropolis in the Making: Los Angeles in the 1920s*, p. 113. Tom Sitton and William Deverell (eds.). Berkeley: University of California Press.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Longstreth, Richard W. 2000. *The Buildings of Main Street, a Guide to American Commercial Architecture*. Lanham, MD: Altamira Press.

Los Angeles Times. 1921. "Rancho Laguna Is Subdivided for Settlement," August 21, p. VI. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).

Los Angeles Times. 1937. "Belvedere Drops Name." September 11, p. 6. ProQuest Historical Newspapers: *Los Angeles Times* (1881–1987).



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z  
Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8625 Nogal Avenue

P1. Other Identifier: 8625 Nogal Avenue

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8625 Nogal Avenue City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S;3758629mE/403262mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-019-020

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/façade, camera facing north, 12/17/2019, IMG 9084

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1955 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8625 Nogal Avenue

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Single-Family Property
- B4. Present Use: Single-Family Property
- \*B5. Architectural Style: Ranch-style
- \*B6. Construction History: (Construction date, alterations, and date of alterations) 1955 (Los Angeles County Assessor); N/A

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Whittier  
Period of Significance 1950s Property Type Single-family residence Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8625 Nogal Avenue does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The construction of the subdivision was similar to numerous others that were established following World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8625 Nogal Avenue is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

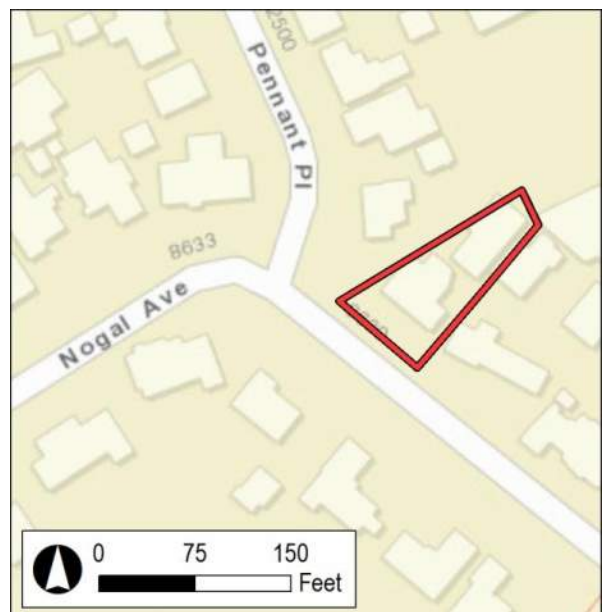
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8625 Nogal Avenue

Continuation  Update

**\*P3a. Description (continued):**

The property located at 8625 Nogal Avenue was constructed in 1955 and is a Ranch-style, single-family residence (**Photograph 1**). It occupies the front of the lot and has a southwest-facing orientation. It is a one-story, wood-framed, building with a rectangular plan.

The building has a side gable roof with overhanging eaves that is covered with composite shingles. The walls are clad with brick, board and batten siding, and clapboard siding. The windows are double-hung, metal-frame, one-over-one windows with diamond pattern muntins. The main entry faces southwest and is a glazed door set within an inset porch. There is an attached carport along the east elevation. The building has a concrete slab foundation. The resource generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

Ranch-Style Architecture:

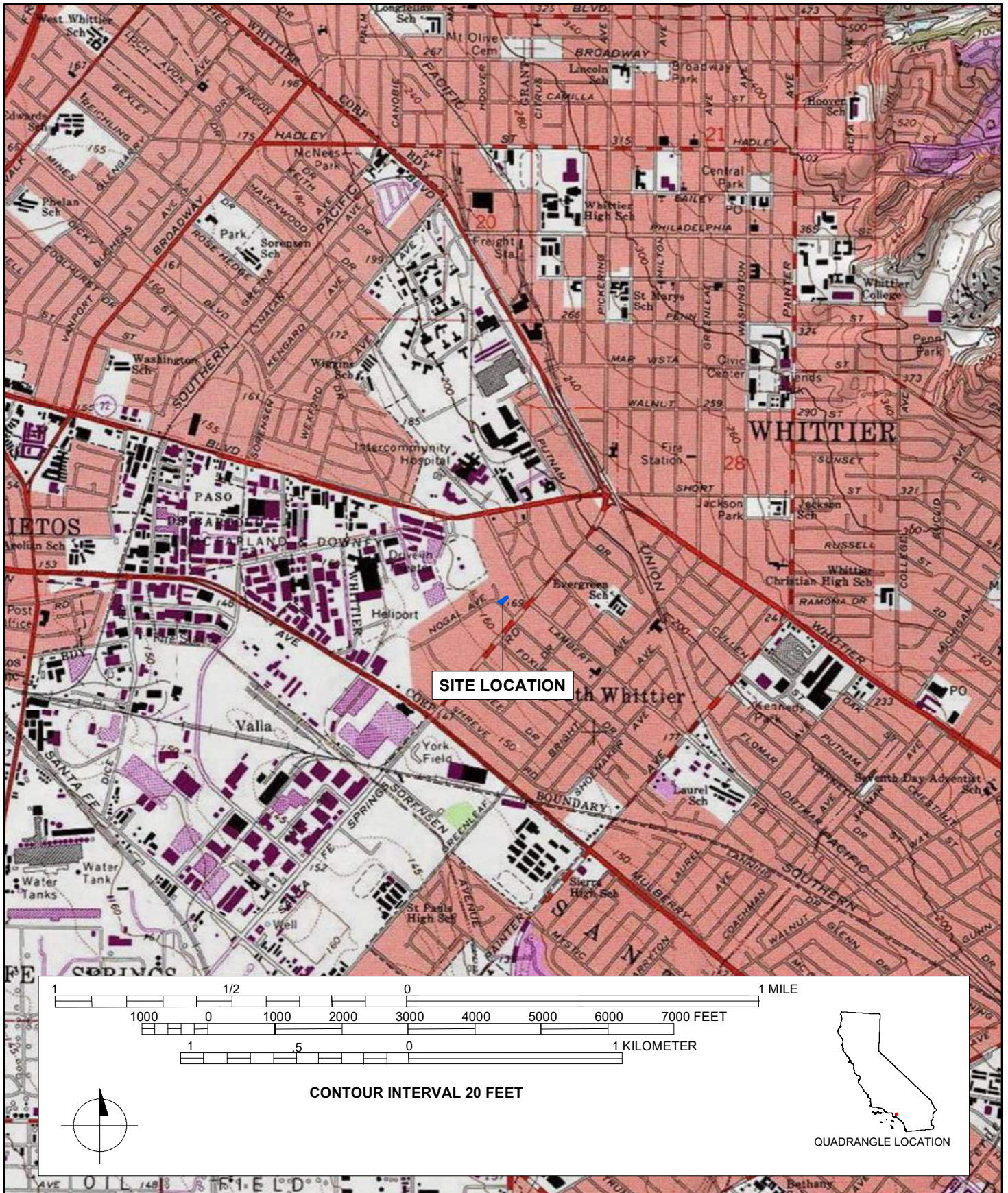
The Ranch house was characterized by a horizontal emphasis with a low-pitch roof and combination of cladding materials such as a brick and clapboard. It featured double-hung windows with horizontal glazing bars or casement windows arranged in a band across the façade and other elevations and often picture windows in the living rooms. The Ranch commonly had a small terrace or patio in front or back, an interior or exterior brick chimney, and a side or off-center entrance flush with the façade plane (Gottfried and Jennings 2009; Ames and McClelland 2002).

**\*B12. References (continued):**

Ames, David and Linda Flint McClelland. 2002. *National Register Bulletin: Historic Residential Suburbs*. Washington D.C.: U.S. Department of the Interior, National Park Service, National Register of Historic Places.

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.





## CONTINUATION SHEET

Page 1 of 2

\*Recorded by T. Meiser and M. Wilson, AECOM

\*Resource Name or # (Assigned by recorder) Golden Gate Theater

\*Date May 28, 2020

Continuation  Update

**Other Identifier:** CVS Pharmacy, 5176 Whittier Boulevard, Los Angeles

**Other Locational Data:** Assessor's Parcel Number (APN): 5245-001-019

### Description:

The Golden Gate Theater is a cast concrete structure finished in stucco with a grand façade on the north side, a sloped roofline, and a tall, stage fly area on the south side. The primary roof is barrel-vaulted with a flat section above the fly and is built-up with capped parapets and handrails. The façade (north side) features large cast ashlar masonry in the first story topped by an elaborate, ornamental Churrigueresque-style cast belt course; a series of pilasters from the belt course extending through the upper stories to an elaborate Churrigueresque-style cornice; and a full-height entrance pavilion in the central bay. The entrance features three recessed door openings containing steel, glazed, double doors, with segmental-arch canopies above each opening. In the second story, a nine-light fixed window surrounded with ornamental molding and balconet is directly above the center door and belt course. The pavilion cornice is elaborated with finials, figures, shells, and other floral motifs, and also features a blank opening with rounded balconet at the center. The remainder of the building consists of blank stucco surfaces that lack any similar ornamentation. The east elevation includes modern signage in the upper story, vents, and infilled door openings from a former fire escape. The west elevation contains a double-door fire escape in the second story and various piping. The south elevation contains a loading dock with a partition wall, a single door, and drive-through pharmacy window with a stucco canopy in the first story, and large, modern signage affixed at the upper story.

The Golden Gate Theater was first recorded in 1979 (HRI # 20508), listed in the National Register in 1982, and updated in 1994. Since 1994, the storefront entrance was replaced and a new wood casement window above the main entrance was installed in 1998; the roof was replaced and a barrier fence along the roofline was installed in 2005 (Chattel and McGee 2012). In 2011-2012, the Golden Gate Theater building underwent a major rehabilitation to change its use into a retail location for CVS Pharmacy. Major exterior alterations included: addition of a stucco covered drive-through canopy and new pharmacy window bay in the south elevation; removal of a straight-run metal stairway with two landings, infill of a second-story entrance, and placement of louvered vents in the east elevation; addition of multiple CVS Pharmacy LED illuminated wall signs; foundation, plumbing and electrical upgrades; west elevation exterior wall upgrades and bay infill with concrete; installation of a new mezzanine deck at the north entrance; and installation of aluminum gutters along exterior walls (Chattel and McGee 2012). The interior of the building was substantially modified to include retail space for the pharmacy. Alterations included removal of the balcony, removal and storage of decorative architectural features, leveling the floor, installation of retail shelves, cashiers, pharmacy area, security features, and new lighting. Currently, the property operates as a pharmacy and remains in good condition since the 2012 rehabilitation project.

### Significance:

The Golden Gate Theater, along with the adjacent Vega Building, was listed in the National Register in 1982 (NRIS 82002192) for its significance under Criterion A for its social interrelationship with the surrounding community and under Criterion C as an excellent example of Art Deco and Spanish Churrigueresque styles. However, the Vega Building was damaged by the 1987 Whittier earthquake and demolished in 1991.

The Golden Gate Theater was reevaluated in 1994 as part of the Metro Red Line East Project cultural resources survey for compliance with Section 106 of NHPA (Myra L. Frank & Associates 1994). In 1995, a petition was issued on behalf of the owners to remove the property from the National Register, on the grounds that loss of the Vega Building rendered the Golden Gate Theater no longer eligible for listing. On June 26, 1995, the Keeper of the National Register confirmed the Golden Gate Theater's eligibility under Criterion C as a local example of Spanish Churrigueresque architecture, and the building remains listed in the National Register (Chattel and McGee 2012).

In 2003, the theater was reevaluated for an adaptive use project to convert the theater into a Walgreen's pharmacy; the study described the theater in detail and identified its character-defining features (Carey & Co., Inc. 2003). The 2003 Impacts and Mitigations Analysis indicated that alterations for the conversion to retail use would pose preservation challenges but could not accurately assess impacts without a specific project design. It provided a general guideline for mitigation including the preparation of Historic American Building Survey (HABS) documentation. The proposed project did not move forward.

## CONTINUATION SHEET

Page 2 of 2

\*Recorded by T. Meiser and M. Wilson, AECOM

\*Resource Name or # (Assigned by recorder) Golden Gate Theater

\*Date May 28, 2020

Continuation  Update

In 2009, the Golden Theater Re-Use Project revisited the proposed conversion to retail use for CVS Pharmacy. The Environmental Impact Report (EIR) for that project's compliance with CEQA for a conditional use permit referred to the 2003 Impacts and Mitigations Analysis (Carey & Co., Inc. 2003) and concluded that the project would cause a substantial adverse change to the historical resource due to interior alterations, including removal of the lobby, the balcony, and other decorative elements. Because of the removal of these character-defining features, the project did not meet the Secretary of the Interior's Standards for Rehabilitation and resulted in a significant and unavoidable impact and required a Statement of Overriding Conditions for approval (County of Los Angeles 2009).

Following issuance of the project Draft EIR in March 2009, the project design was modified. The Los Angeles County Regional Planning Commission requested the applicant retain a historic preservation consultant to provide independent project review and analysis of a modified project design that would reduce significant impacts on historical resources for compliance with the Secretary of the Interior's Standards (County of Los Angeles 2009; Chattel and McGee 2011). The modified project design included provisions in the project's construction plans to preserve some elements of the building's exterior and noted that historic interior features that could not be incorporated into the reused tenant space would be salvaged, crated, recorded, and stored on site (Chattel and McGee 2011). The historic preservation consultant determined that the project design conformed with the Secretary of the Interior's Standards; therefore, the project would not result in significant impacts on historical resources (Chattel and McGee 2011). In addition, a Historic American Buildings Survey (HABS) document prepared in 2012 as mitigation for the project further detailed the architectural and historical features of the building prior to construction (Chattel and McGee 2012).

Although the Golden Gate Theater has been substantially altered, the exterior Churrigueresque-style features of the façade present a rare example of Churrigueresque revival architecture in Los Angeles and retain sufficient integrity to remain eligible under NRHP Criterion C. The interior is substantially altered, and, in its current state, its integrity as a historic theater has been significantly diminished. However, the 2011 assessment conducted by a historic preservation consultant concluded that the project met the Secretary of the Interior's Standards and that the project did not result in a significant impact. Based on this assessment, both the interior and exterior of the building retain sufficient integrity to be eligible for listing in the NRHP/CRHR/LAHC.M.

### References:

Carey & Co., Inc.

2003 Impacts and Mitigations Analysis. Prepared for The Charles Company, February 2003. Available at: [http://planning.lacounty.gov/case/view/project\\_no.\\_r2005-03503-1\\_conditional\\_use\\_permit\\_200800136-1](http://planning.lacounty.gov/case/view/project_no._r2005-03503-1_conditional_use_permit_200800136-1) (See Appendix C of the Draft EIR)

Chattel, Robert and Kathryn McGee

2011 Memorandum: Golden Gate Theater, 909 S. Atlantic Boulevard, Los Angeles CA Secretary's Standards Conformance Review (Revised Version). Available at: <http://file.lacounty.gov/SDSInter/bos/supdocs/59377.pdf>

2012 Historic American Buildings Survey (HABS)-CA-2879. Golden Gate Theater, 909 & 933 South Atlantic Boulevard and 5176 East Whittier Boulevard, Los Angeles, Los Angeles County, CA. Available at: <https://www.loc.gov/pictures/collection/hh/item/ca3948/>

County of Los Angeles

2009 Draft Environmental Impact Report for the Golden Gate Theater Re-Use. Prepared by MG Resolutions, Inc. March 2009. Available at: [http://planning.lacounty.gov/case/view/project\\_no.\\_r2005-03503-1\\_conditional\\_use\\_permit\\_200800136-1](http://planning.lacounty.gov/case/view/project_no._r2005-03503-1_conditional_use_permit_200800136-1)

Myra L. Frank & Associates

1994 Metro Red Line East Eligibility Report. On file with Metro.

**Report Citation:** Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum. Prepared by AECOM, 2020.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 6900 East Washington Boulevard

P1. Other Identifier: 6900 East Washington Boulevard

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: Los Angeles

\*b. USGS 7.5' Quad T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 6900 East Washington Boulevard City Montebello Zip \_\_\_\_\_

d. UTM: (Give more than one for large and/or linear resources) Zone 11S, 395844.35;mE/3762499.41 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6336-004-041

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of NE elevation/facade, camera facing west, 12/18/2019, DSCN0214

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1962 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 6900 East Washington Boulevard

- B1. Historic Name: N/A
- B2. Common Name: Komar Alliance
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building

\*B5. Architectural Style: Modern

\*B6. Construction History: (Construction date, alterations, and date of alterations) 1962 (Los Angeles County Assessor). Between 2012 and 2014 the original breeze block perimeter wall and river rock accent wall were removed from façade, and exterior walls were resurfaced with smooth concrete (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Montebello  
Period of Significance ca. 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 6900 East Washington Boulevard does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century industrial development in Montebello, the resource lacks integrity and is common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 6900 East Washington Boulevard is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6900 East Washington Boulevard  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 6900 East Washington Boulevard was constructed in 1962 and is a Modern-style industrial building with a commercial storefront (**Photographs 1-3**). It occupies the front of the lot and has a north-facing orientation. It is a two-story building with a rectangular plan that sits on a banked elevation with second story access along Washington Boulevard and first-story access along S. Vail Avenue. The building is of frame and concrete construction, and was altered between 2012 and 2014 with the removal of its original breeze block perimeter wall, removal of the river rock accent wall from façade, and resurfacing of the exterior walls with smooth concrete (Google Streetview 2019).

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete and brick. Decorative wall features include brick walls and metal screens with concrete piers. The building has a metal-frame storefront windows with a double-leaf glass door. The primary entrance is inset within a metal overhang supported by one metal post and a concrete pier. The windows along the east and west elevations are eight-light metal-frame industrial windows. There is a paved parking lot on east side of the building. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association have been compromised due to modern replacement materials and alterations to the façade.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

Modern Architecture

Modern architecture first gained popularity in the late 1920s and early 1930s and extended through the 1970s however, the modern era in the United States is most closely associated with the two decades following World War II. The overarching label of "Modern," although imprecise, can generally be characterized by buildings exhibiting simple volumes (in institutional and commercial buildings) and a lack of decorative detail. Additional characteristics include the use of materials in place of decorative details and natural colors and textures of materials to embellish a building (for example, employing brick or concrete for decorative effect). The modern era was also a timewhen new materials and construction methods were explored. An example is curtain wall construction, which utilizes aluminum frames for window walls in place of steel, and new material combinations in the solid spandrel panels that separate them. Additional examples include thin shell construction, folded plate construction, and the hyperbolic paraboloid (Painter 2010: 22-23).

**\*B12. References (continued):**

Google Streetview. 2019 Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Painter, Diana J. 2010. *Montana Post-World War II Architectural Survey and Inventory Historic Context and Survey Report*.

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Gottfried, Herbert and Jan Jennings. 2009. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 4 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 6900 East Washington Boulevard  
 Continuation  Update

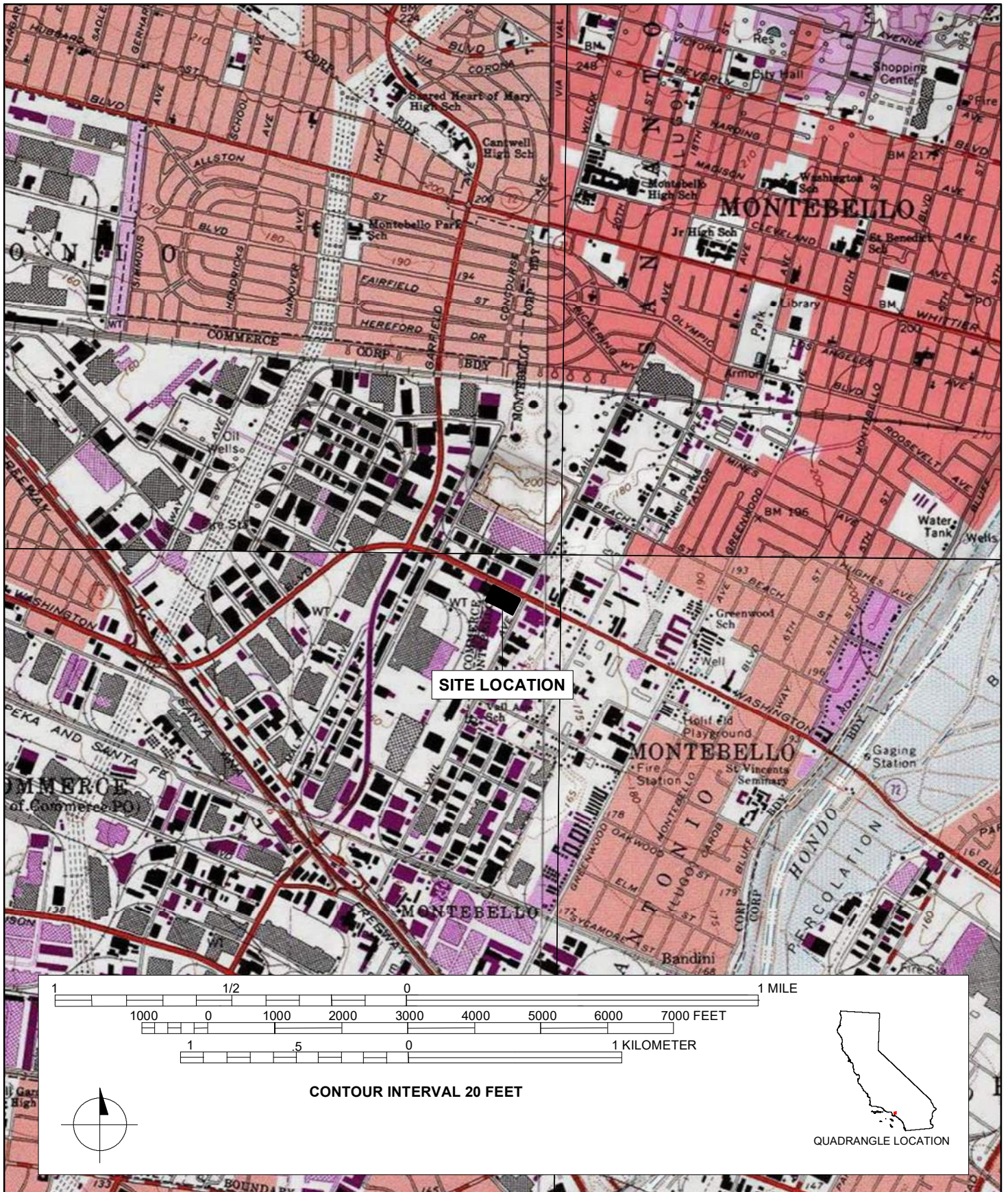
Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.  
Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." *Los Angeles Times*, September 23, p. SE1.



**Photograph 2.** View of N elevation, camera facing southeast, 12/18/2019, DSCN0292



**Photograph 3.** View of entry, camera facing southeast, 12/18/2019, DSCN0293



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 5

\*Resource Name or #: (Assigned by recorder) 8174 Byron Road

P1. Other Identifier: 8174 Byron Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8174 Byron Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3758747mE/402905mN

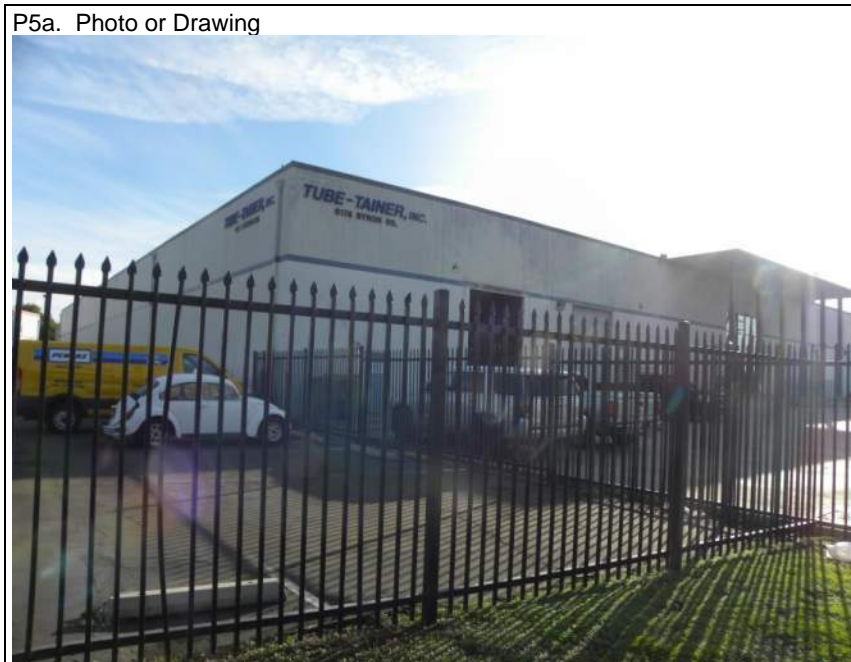
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-018-025

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW elevation/facade, camera facing east, 12/17/2019, DSCN0127

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1969 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):



**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 5

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8174 Byron Road

- B1. Historic Name: N/A
- B2. Common Name: Tube-Tainer, Inc.
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1969 (Los Angeles County Assessor).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1960s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8174 Byron Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The building is similar to numerous others that were constructed following World War II in Whittier and is comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8174 Byron Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

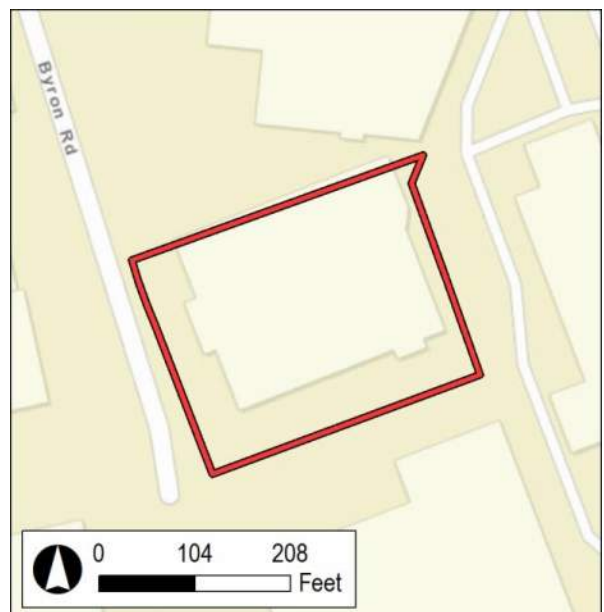
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 5

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8174 Byron Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 8174 Byron Road was constructed in 1969 and is a vernacular industrial building (**Photographs 1-2**). It occupies the entire lot and has a west-facing orientation. It is a two-story, tilt-up concrete building with a rectangular plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete. The building has metal-frame storefront windows with a double-leaf glass door. There is a flat roof monumental porch located at the center of the façade. The porch roof is supported by six, square, metal posts and the porch deck is brick with metal railings. Two garage bays with roll-up metal doors are located on either side of the main entrance. There is a paved parking lot in front of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed; city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Page 4 of 5

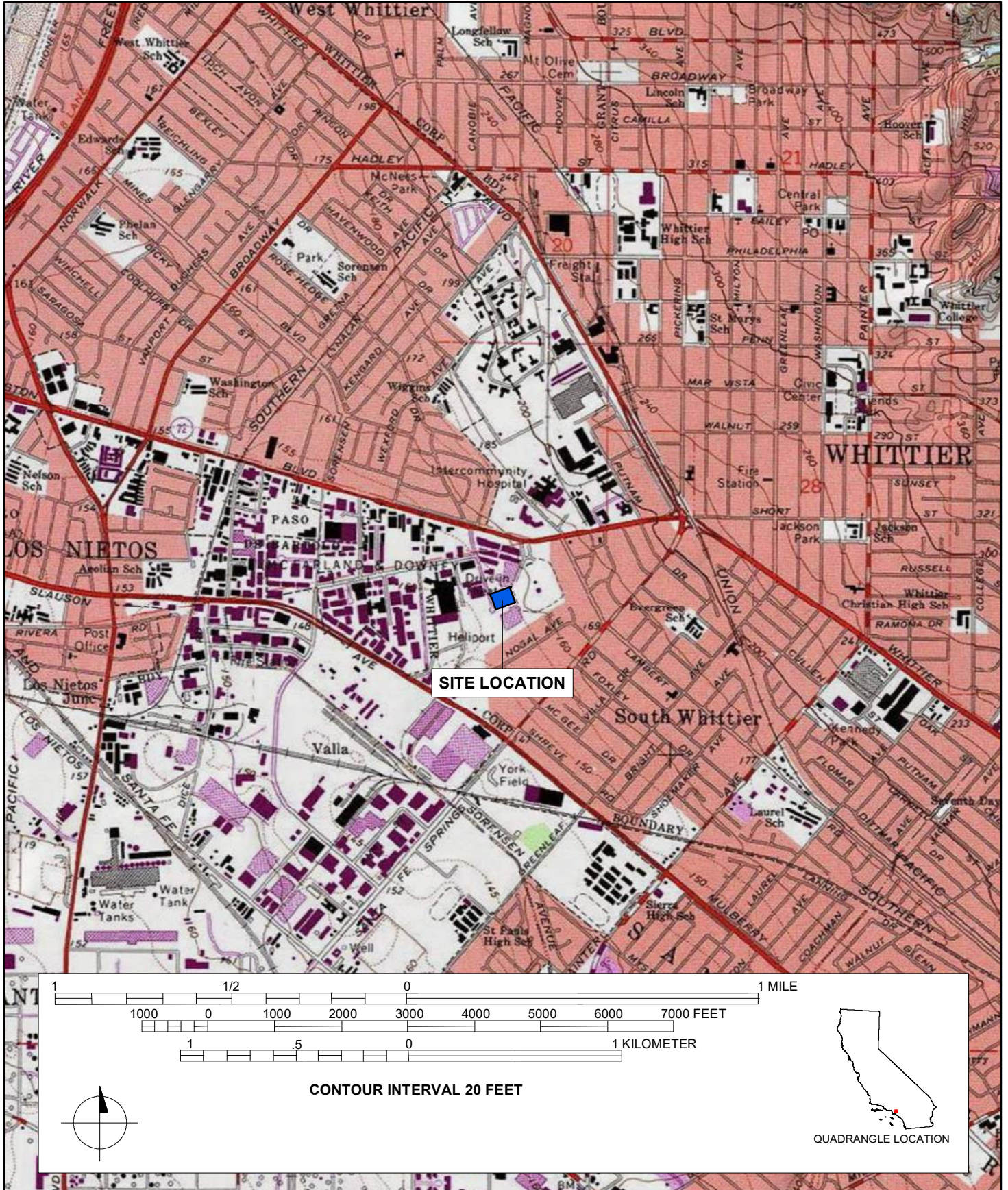
Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8174 Byron Road

Continuation  Update



Photograph 2. View of SW elevation/façade, camera facing east, 12/17/2019, DSCN0128



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 8146 Byron Road

P1. Other Identifier: 8146 Byron Road

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T ; R ; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 8146 Byron Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3758843mE/402900mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 8168-018-042

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP8. Industrial building

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of W elevation/facade, camera facing east, 12/17/2019, DSCN0125

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1971 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 8146 Byron Road

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Industrial Building
- B4. Present Use: Industrial Building
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1971 (Los Angeles County Assessor).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Industrial development Area Whittier  
Period of Significance 1970s Property Type Industrial building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 8146 Byron Road does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. While the building generally retains integrity of location, setting, design, materials, workmanship, feeling, and association to its date of construction, it does not meet any of the significance criteria necessary for eligibility for listing. The building is similar to numerous other industrial buildings constructed after World War II in Whittier. It is also comparable to other examples of its type, which were generally located peripherally to a city rather than near the city centers, a trend supported by the spread of the automobile through middle-class society. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 8146 Byron Road is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

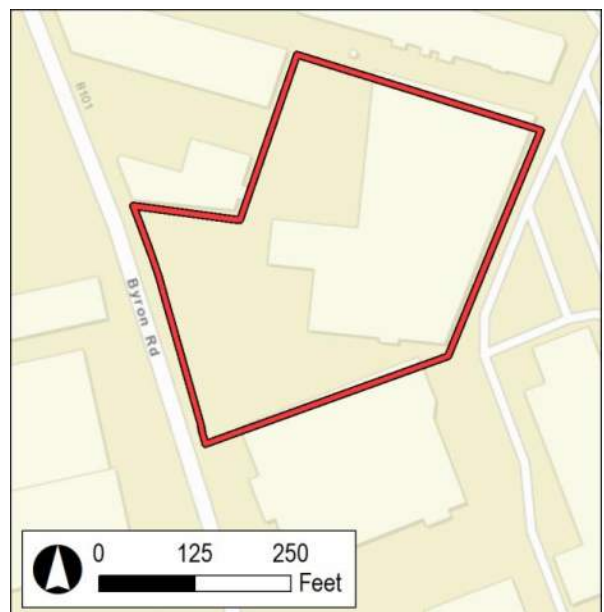
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 8146 Byron Road  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 8146 Byron Road was constructed in 1971 and is a vernacular industrial building (**Photograph 1**). It occupies the rear of the lot and has a west-facing orientation. It is a two-story, tilt-up concrete building with an L-shaped plan.

The building has a flat roof covered with composite material with a slight parapet. The walls are clad with concrete. The building has metal-frame storefront windows with a double-leaf glass door and fixed, metal-framed windows along the façade. The primary entrance is covered by a conical awning. Four garage bays with roll-up metal doors are located along the southern end of the façade. There is a paved parking lot in front of the building. The resource retains most aspects of its integrity; however, it is a common example of its type and possesses no distinctive architectural design.

**\*B10. Significance (continued):**

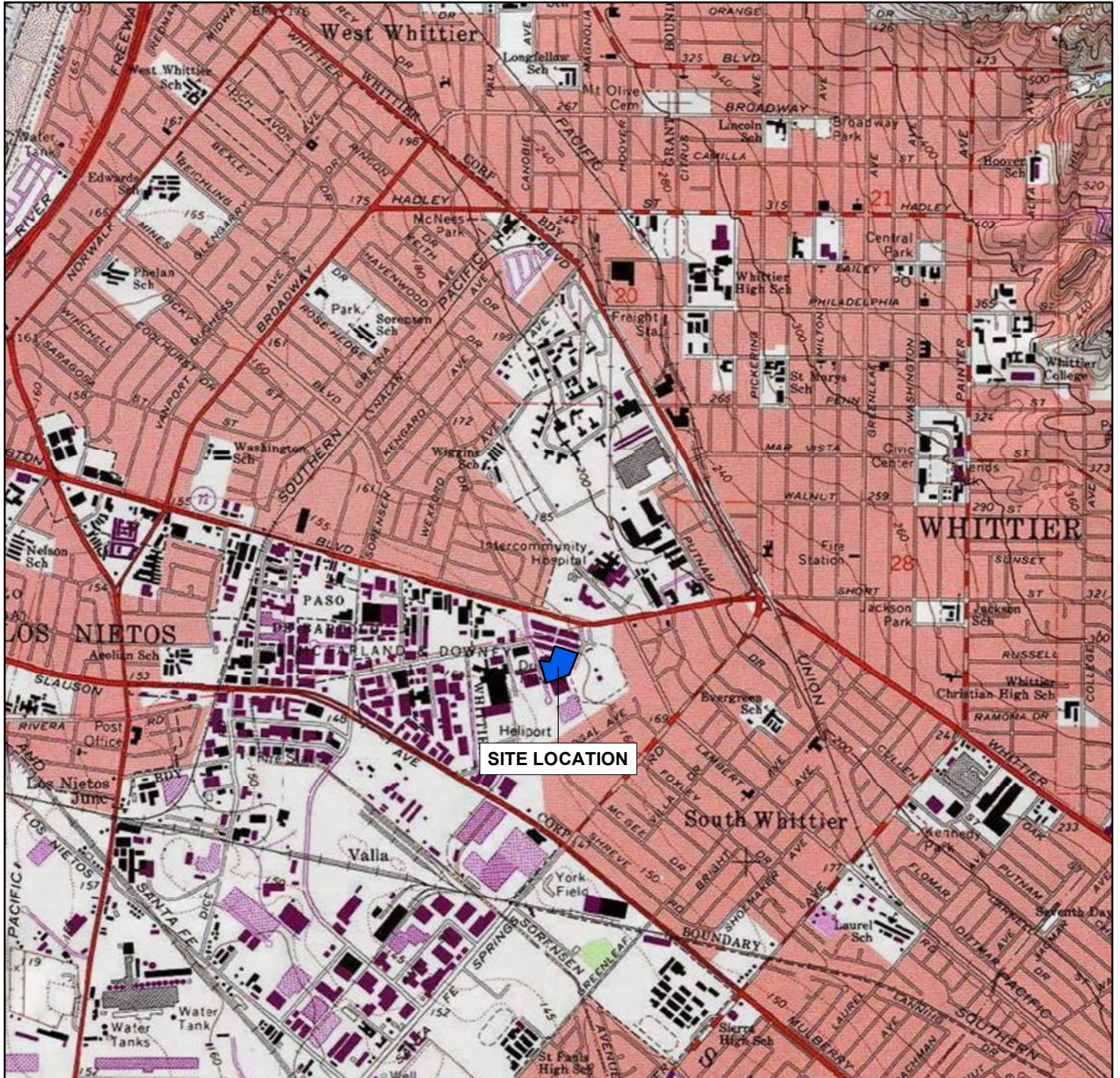
Historic Context

Whittier, located about 12 miles southeast of the city of Los Angeles, traces its history to Manuel Nieto. As a retired captain who had served in the Portola Expedition, Nieto was granted 300,000 plus acres of land by the King of Spain in 1874. Nieto's grant encompassed the land between the Santa Ana and San Gabriel rivers and extended from the hills above Whittier all the way to the ocean. Early Euro-American settlers who came to what would become the city of Whittier included Jacob Gerkens, who purchased 160 acres from the United States government under the Homestead Act in 1868. In 1887, when the entire Los Angeles region was experiencing an unprecedented real estate boom, a group of Quaker pioneers formed the Pickering Land and Water Development Company. The Pickering Company amassed 1,259 acres, which it made available for sale as individual parcels. The development attracted fellow Friends as well as non-Quakers from across the country. The company also set aside a 20-acre parcel of land for the development of Whittier College, which began awarding bachelor's degrees in 1907.

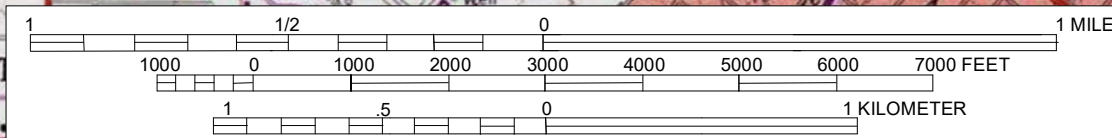
The community flourished after the Southern Pacific Railroad built its first line to Whittier in 1887. The city's first commercial enterprise, a fruit cannery, was followed by a lumber mill, then a grist mill. In 1901, the Whittier Citrus Association was formed, and Quaker-brand citrus was shipped around the world. Walnut orchards also flourished; Whittier was renowned as a walnut growing region. The city was further connected to Los Angeles and the wider metropolitan area when the Pacific Electric Railway opened an interurban electric line in 1903. However, by 1938, competition from the automobile moved Pacific Electric to drop service to Whittier. After World War II, Whittier grew rapidly. Orange groves were plowed under for new subdivisions, a trend that was driven by housing shortages in Southern California. In 1955, a new civic center complex was completed and the city council met in its new chambers for the first time on March 8 of that year. The city continued to grow as it annexed portions of Whittier Boulevard and East Whittier. The 1961 annexation added more than 28,000 residents to the population, bringing the total to about 67,000 (City of Whittier 2019).

**\*B12. References (continued):**

City of Whittier. 2019. City website. Available at: <http://www.cityofwhittier.org>.



**SITE LOCATION**



CONTOUR INTERVAL 20 FEET



QUADRANGLE LOCATION



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 933 Carob Way

P1. Other Identifier: 933 Carob Way

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 933 Carob Way City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3762070mE/397080mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-028-013

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP3. Multiple family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SE elevation/facade, camera facing north, 12/17/2019, DSCN0195

\*P6. Date Constructed/Age and Source:  Historic  Prehistoric  Both 1953 (Los Angeles County Assessor)

\*P7. Owner and Address: N/A

\*P8. Recorded by: (Name, affiliation, address) M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

# BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 933 Carob Way

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Multiple-Family Property
- B4. Present Use: Multiple-Family Property

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1953 (Los Angeles County Assessor). Between 2007 and 2012 the buildings' windows and doors were replaced (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Montebello  
Period of Significance 1950s Property Type Apartment building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 933 Carob Way does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 933 Carob Way is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

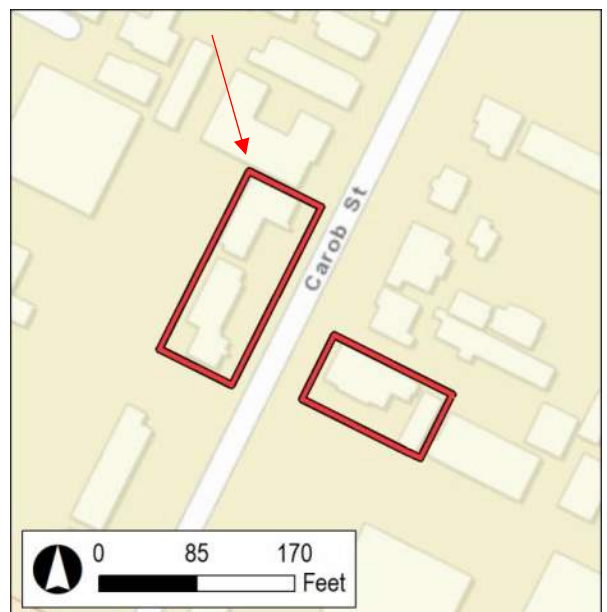
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

Recorded by: M. Wilson \*Date: January 2020

\*Resource Name or # (Assigned by recorder) 933 Carob Way  
 Continuation  Update

**\*P3a. Description (continued):**

The property located at 933 Carob Way was constructed in 1953 and is a vernacular apartment building (**Photograph 1**). It occupies the entire lot and has east-facing orientation. The property is comprised of two, wood-framed, two-story apartment buildings. The southern building has an irregular plan, and the northern building has an L-shaped plan. Between 2007 and 2012 the buildings' windows and doors were replaced (Google Streetview 2019).

Both buildings have low-pitched hipped roofs covered with asphalt shingles. The walls are clad with stucco and decorative horizontal wood siding. The buildings windows are double-hung fiberglass sash windows with wide sills and are arranged symmetrically. The doors are covered by metal security grills. The second stories are accessed by concrete stairs and have covered porches with metal supports and railings. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

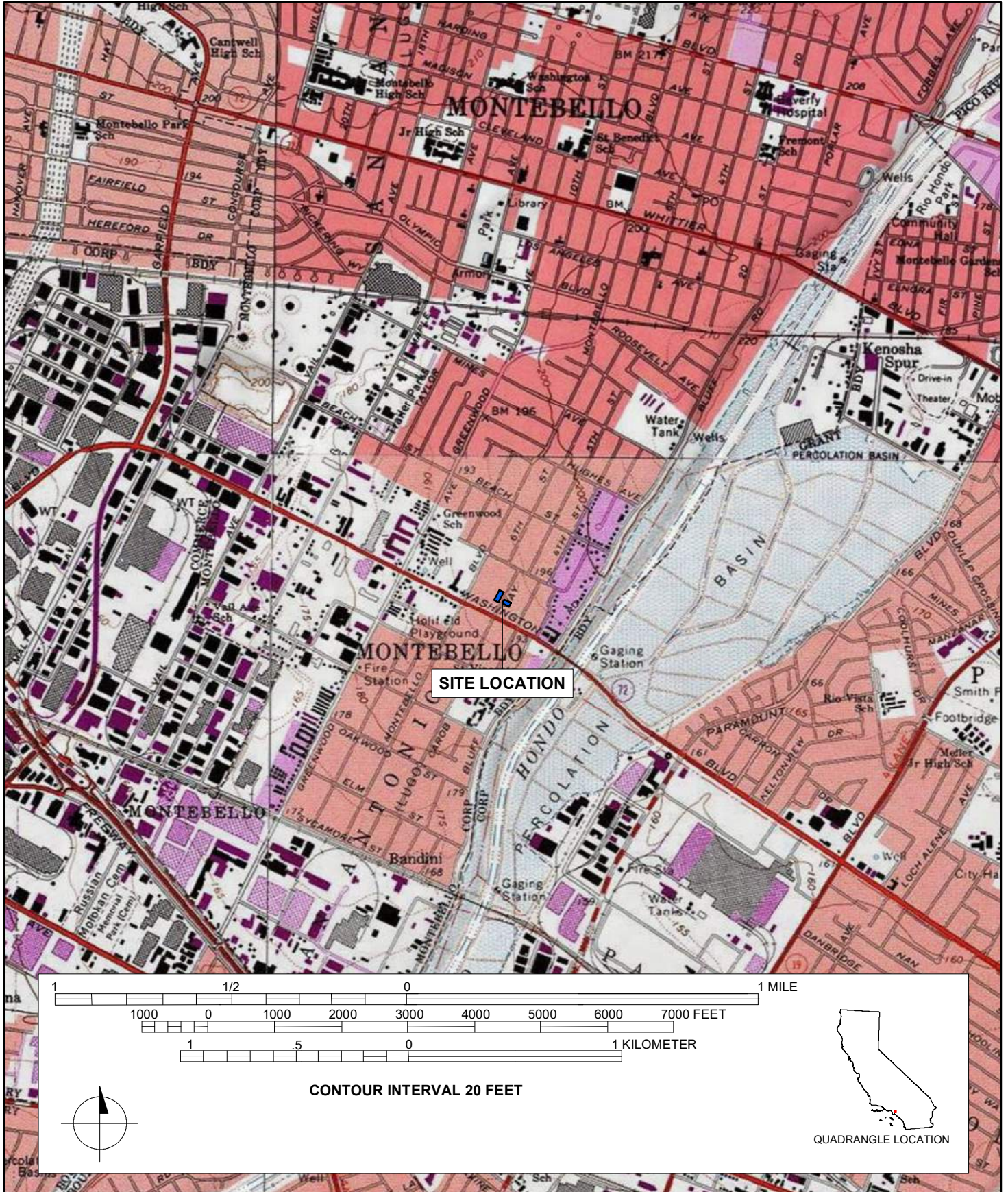
Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_



State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\*Resource Name or #: (Assigned by recorder) 940 Carob Way

P1. Other Identifier: 940 Carob Way

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Los Angeles

\*b. USGS 7.5' Quad Whittier T T3S; R R12W; ¼ of ¼ of Sec ; M.D.B.M.

c. Address 940 Carob Way, # Abcd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear resources) Zone 11S; 3762038mE/397117mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Assessor's Parcel Number (APN): 6352-029-009

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)  
(SEE CONTINUATION SHEET)

\*P3b. Resource Attributes: (List attributes and codes) HP3. Multiple family property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (view, date, accession #) Photograph 1. View of SW and NW elevation/facade, camera facing east, 12/17/2019, IMG 9136

\*P6. Date Constructed/Age and Source:  
 Historic  Prehistoric  Both 1956 (Los Angeles County Assessor)

\*P7. Owner and Address:  
N/A

\*P8. Recorded by: (Name, affiliation, address)  
M. Wilson, AECOM, 401 West A Street, Suite 1200, San Diego, CA 92101

\*P9. Date Recorded: January 7, 2020

\*P10. Survey Type: Intensive

\*P11. Report Citation: Eastside Transit Corridor Phase 2 Cultural Resources Technical Memorandum Prepared by AECOM, 2020.

\*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  Other (List):

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\*NRHP Status Code 6Z

\*Resource Name or # (Assigned by recorder) 940 Carob Way, # Abcd

- B1. Historic Name: N/A
- B2. Common Name: N/A
- B3. Original Use: Multiple-Family Property
- B4. Present Use: Multiple-Family Property

\*B5. Architectural Style: Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations) Constructed in 1956 (Los Angeles County Assessor). Between 2007 and 2012 the buildings' windows and doors were replaced and decorative horizontal wood siding was removed (Google Streetview 2019).

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features: N/A

B9a. Architect: N/A b. Builder: N/A

\*B10. Significance: Theme Residential development Area Montebello  
Period of Significance 1950s Property Type Residential building Applicable Criteria n/a

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The property at 940 Carob Way does not appear to meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR), nor does it appear to be eligible for local designation. Although the property is associated with mid-twentieth century residential development in Montebello, the resource lacks integrity and is a common example of its type. The resource fails to illustrate any known association with significant historical events or a significant pattern of development. The resource does not qualify for the NRHP or CRHR under Criterion A/1. The resource is not associated with significant persons in history and lacks architectural design merit to qualify for the NRHP or CRHR under Criteria B/2 or C/3. Furthermore, the resource is not likely to yield information important to history or prehistory and does not qualify for the NRHP or CRHR under Criterion D/4. Therefore, the property at 940 Carob Way is recommended not eligible for listing in the NRHP, the CRHR, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes)

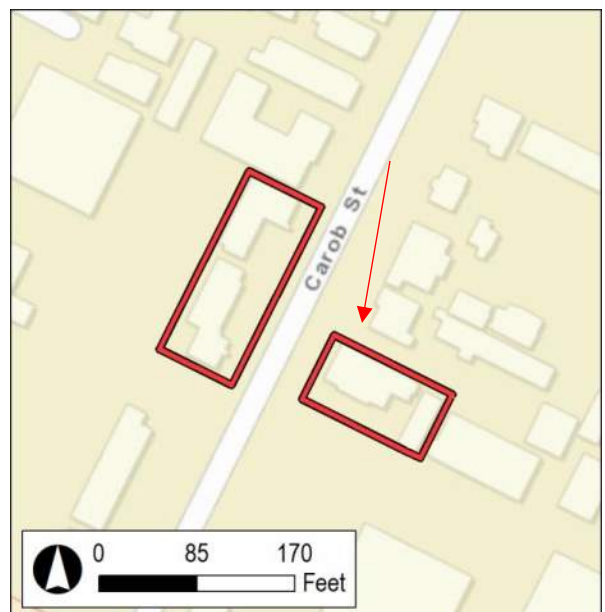
\*B12. References: SEE CONTINUATION SHEET

B13. Remarks:

\*B14. Evaluator: M. Wilson

\*Date of Evaluation: January 2020

(This space reserved for official comments.)



Page 3 of 4

\*Resource Name or # (Assigned by recorder) 940 Carob Way, # Abcd

Recorded by: M. Wilson \*Date: January 2020

Continuation  Update

**\*P3a. Description (continued):**

The property located at 940 Carob Way was constructed in 1956 and is a vernacular, quadplex apartment building (**Photograph 1**). It occupies the front of the lot and has south-facing orientation. It is a two-story, wood-framed, building with a rectangular plan. Between 2007 and 2012 the buildings' windows and doors were replaced and decorative horizontal wood siding was removed (Google Streetview 2019).

The building has a low-pitched gable roof covered with asphalt shingles. The walls are clad with stucco. The buildings windows are double-hung fiberglass sash windows with wide sills and are arranged symmetrically. The doors are wood panel doors. The second story is accessed by metal and concrete stairs and has a partial-length covered porch with metal supports and railings. The resource retains its location, setting, and feeling, but its materials, workmanship, design, and association are compromised due to modern replacement materials.

**\*B10. Significance (continued):**

Historic Context

The city of Montebello, seven miles east of downtown Los Angeles, lies within the historic boundaries of Rancho San Antonio, La Merced, and Paso de Bartolo. In 1887, pioneer Jewish merchants Harris Newmark and Kaspar Kohn purchased 5,000 acres and platted the town of Newmark, later renamed Montebello. After the three Simons brothers purchased a 100-acre tract adjacent to the Atchison, Topeka & Santa Fe Railroad tracks in 1905, constructed a brick factory, and imported Mexican laborers who lived in company barracks next to the pit, Montebello became the location of the largest brick factory in the west. Oil was discovered in 1917, rapidly transforming the agricultural economy into an industrial one; the city of Montebello was incorporated in 1920. In the 1950s and 1960s, 800 acres of land formerly owned by Chevron USA was subdivided and developed for tract homes. During that same period, Montebello transitioned from a predominantly Anglo community to a multi-ethnic "U.N. of the Southeast," as described by the Los Angeles Times. The newspaper reported that the multi-cultural middle-class population of Montebello included Armenians, who, in 1968, constructed a monument near the Montebello Hills Golf Course commemorating the Armenian genocide; Chinese; Croats; Filipinos; Iranians; Japanese; Jews; Koreans; Mexicans; Thais; and Vietnamese (Takahashi 1979). In 2007, Montebello, which is eight square miles in size, had a multi-ethnic population of approximately 65,000 (Gebhard and Winter 2004; Pitt and Pitt 2000; Deverell 2004). According to the city's web site, Montebello has become a manufacturing center for the trucking and specialty vehicle industry (City of Montebello 2019).

**\*B12. References (continued):**

City of Montebello. 2019. "The History of Montebello." City Website. Available at: <https://www.cityofmontebello.com/about-montebello/montebello-history.html>, accessed December 30, 2019.

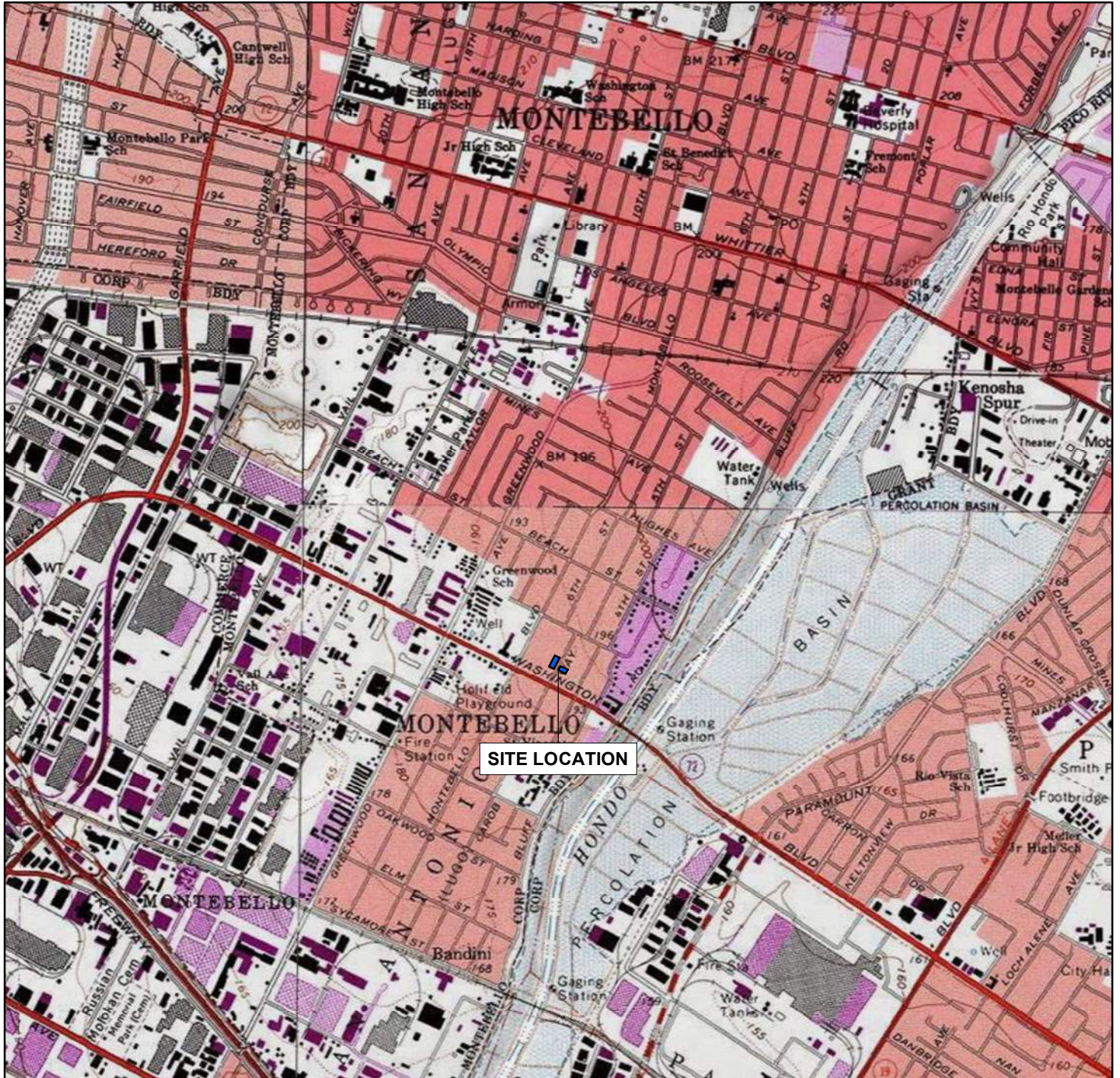
Gebhard, David, and Robert Winter. 2003. *An Architectural Guidebook to Los Angeles*.

Google Streetview. 2019. Imagery from 2007-2019. Electronic database, <https://www.google.com/maps>, Accessed December 30, 2019.

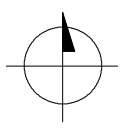
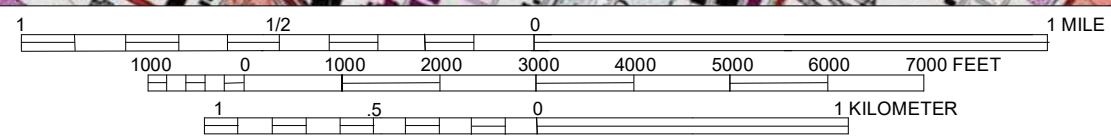
Pitt, Leonard, and Dale Pitt. 2000. *Los Angeles A to Z: An Encyclopedia of the City and County*.

Takahashi, Keith. 1979. "Montebello: U.N. of the Southeast." Los Angeles Times, September 23, p. SE1.

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_



**SITE LOCATION**





# PRIMARY RECORD

CALIFORNIA Department of Parks and Recreation  
Office of Historic Preservation

Primary # 19-174965  
HRI # 91435  
Trinomial \_\_\_\_\_  
NRHP Status Code 3S

Page 1 of 3 Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

P1. Resource Identifier: 1994/LAn/5245-002-003 United Artists Theatre, Alameda Theatre

P2. Location: County Los Angeles and (Address and/or UTM Coordinates. Attach Location Map as required)

a. Address: 5136 East Whittier Boulevard  
City East Los Angeles (Unincorporated) Zip 90022

b. UTM: USGS Quad \_\_\_\_\_ (7.5'/15') Date \_\_\_\_\_; Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

c. Other Locational Data: (Enter parcel #, legal description, directions to resource, and/or other location data if appropriate)  
Project APE Map No. 13, Site No. 41. Southwest corner of Whittier Boulevard and Woods Avenue. Los Angeles County Assessor's Parcel Number 5245-002-003.

P3. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The motion picture theater building located at the southwest corner of Whittier Boulevard and Woods Avenue in East Los Angeles is a wonderful execution of the Zig Zag Moderne style of architecture. Its most dramatic feature is a large, staggered pylon thrusting up above the main entrance area and marquee. The pylon is ornamented by vertical banding and fluting culminating in chevrons. The chevron motif is carried along the roofline, creating a sculpted, flush cornice. Much of the Moderne detailing has been painted bright colors to accentuate it even further. Murals have been added to panels above the marquee and on the side, probably done during the remodeling of 1987. The street level windows have been replaced with fixed windows in aluminum frames, however the entrance area still retains a Moderne look because of the curvature of the corners. The whole composition is visually striking and dominates this portion of Whittier Boulevard.

P4. Resources Present:  Building  Structure  Object  Site  Element of District  District

P5. Photograph or Drawing (Photograph required for buildings, structures, and objects)



P6. Date Constructed/Age:  
 Prehistoric  Historic  Both  
1931 Factual

P7. Owner and Address:  
Paseo Alameda Properties  
1105 Towne Avenue  
Los Angeles, CA 90021

P8. Recorded by: (Name, affiliation, and address) Richard Starzak  
Myra L. Frank & Assoc., Inc.  
811 W. 7th Street, Suite 800  
Los Angeles, CA 90017

Date Recorded: 03/24/1994

P10. Type of Survey:  Intensive  
 Reconnaissance  Other

Describe: METRO Red Line East  
Section 106 Eligibility Report

P11. Report Citation: Provide full citation or enter "none" \_\_\_\_\_

Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure and Object Record  Linear Resource Record  
 Archaeological Record  District Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  
 Other: (List) \_\_\_\_\_

# BUILDING, STRUCTURE, AND OBJECT RECORD

CALIFORNIA Department of Parks and Recreation  
Office of Historic Preservation

Resource Identifier: 1994/LAn/5245-002-003

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Page 2 of 3

- B1. Address: 5136 East Whittier Boulevard  
City: East Los Angeles (Unincorporated) County: Los Angeles Zip: 90022  
B2. Historic Name: United Artists Theatre B3. Common Name: Paseo Alameda  
B4. Zoning: M1 B5. Threats: Project Related  
B6. Architectural Style: Zig Zag Moderne  
B7. Alterations and Date(s): Replacement of first level windows, doors, and interior (1987).  
B8. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_  
B9. Related Features:

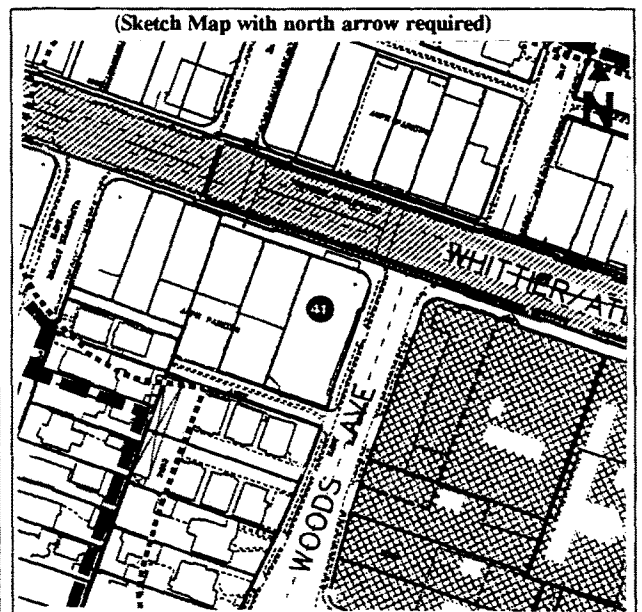
- B10. Architect: Walker & Eisen and C. A. Balch Builder: Beller, Henry I. Construction Co.  
B11. Historic Attributes: (List attributes and codes) HP10. Theater  
B12. Significance: Theme Commercial Development Area Los Angeles  
Period of Significance 1930-1945 Property Type Zig Zag Moderne Theater Applicable Criteria C  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The theater building at the southwest corner of Woods Avenue and Whittier Boulevard in East Los Angeles was originally built for the United Artists Theaters of California in 1931. The prominent Los Angeles architectural firm of Walker & Eisen, in association with theatrical architect C. A. Balch, were commissioned to design the building. In April of 1931, the Henry I. Beller Construction Company was awarded the contract to erect the theater at a cost of \$75,000. Although remodeled in 1987, the United Artists Theatre appears eligible for inclusion in the National Register of Historic Places under Criterion C as: an excellent example of a Zig Zag Moderne style theater, a type which has become increasingly rare, and; for its design by a master architectural firm, Walker & Eisen in association with C. A. Balch. The architectural firm of Walker & Eisen were responsible for some of the greater Los Angeles area's finest commercial office buildings and hotels, and were one of the dominant firms in the 1920s. Albert Walker had apprenticed with the firms of Will S. Hebbard and Irving Gill of San Diego; John Parkinson and Edwin Bergstrom in Los Angeles; and A. F. Rosenheim, Sumner Hunt, and Elmer Grey of Los Angeles. Walker briefly established his own practice in 1909, then formed a partnership with John T. Vawter in 1910. Among their works were the no longer extant Bible Institute Building at 536 S. Hope Street (1913) and the First German Methodist Church at 447 S. Olive Street (1910). In 1919 Walker formed a partnership with Percy A. Eisen which was to prosper until 1941. (Continued)

- B13. Evaluator: \_\_\_\_\_  
B14. Date of Evaluation: \_\_\_\_\_  
B15. Sources:

Southwest Builder & Contractor, April 17, 1931,  
page 60, column 1.  
TRW-REDI Property Data Disk, 1994.

(This space reserved for official comments.)



# CONTINUATION SHEET

CALIFORNIA Department of Parks and Recreation  
Office of Historic Preservation

Resource Identifier: 1994/LAn/5245-002-003

Primary # \_\_\_\_\_

HRI #/Trinomial \_\_\_\_\_

Page 3 of 3

Continuation     Update

## B12. Significance

Walker & Eisen would soon become one of Los Angeles' most prominent architectural firms, employing as many as 50 draftsman during one of that city's peak construction years, 1923. Percy A. Eisen was the son of an important early Los Angeles architect, Theodore Eisen, and grandson of Augustus Eisen, an architect during the gold rush era in San Francisco.

The collaborative design efforts of Walker & Eisen produced many fine luxury hotels in Southern California, including: the Beverly Wilshire Hotel (1926) at 9500 Wilshire Boulevard in 1926; the Breakers Hotel (1925) in Long Beach; the El Cortez Hotel (1926) in San Diego; the Arcady Apartment Hotel (1926) at 2619 Wilshire Boulevard; and the Plaza Hotel (1924) at 1637 Vine Street, Hollywood.

The quality of their commercial office buildings is still evident throughout the region and is generally characterized by a generous use of ornament in an interpretation of the Renaissance Revival style. Among their most important and recognizable commercial designs are: the Alexander & Oviatt Building (1927) at 615 S. Olive Street, including its lobby of Lalique glass; the Fine Arts Building (1926) at 811 W. 7th Street, with its two-story lobby of Batchelder tile; the Great Republic Life Insurance Building (\$437,000 in 1923) on the north side of 8th Street, between Spring and Main; the Commercial Exchange Building (\$600,000 in 1923) at 416 W. 8th Street, notable for the engineering feat of moving the facade when Olive Street was widening; the Taft Building (\$800,000 in 1923) at Hollywood and Vine; the National City Bank Building (\$800,000 in 1923) at 810 S. Spring; the Transportation Building (\$400,000 in 1923) at 701 S. Los Angeles; the Wurlitzer Organ Building (\$300,000 in 1923) at 816 S. Broadway; the Edwards-Wildey Building (\$900,000 in 1924) at 609 S. Grand, with extremely fine craftsmanship and detailing in the brickwork and terra-cotta; Security Title Building (\$1,000,000 in 1926) at 530-46 W. 6th; Merchants National Trust & Savings Bank (\$1,200,000 in 1927) at 650 S. Spring; Ferguson Building (\$1,500,000 in 1930); and the no longer extant California Fruit Growers Exchange, a.k.a. Sunkist at 707 W. 5th Street, and built for \$254,000 in 1935.

Walker & Eisen never received many theater commissions in their career. With the exception of the United Artists Theater in East Los Angeles, their only other motion picture theater design was the United Artists Theatre at 921-933 South Broadway, built in 1927 as part of the 13-story Texaco Building for \$1,300,000. The United Artists Theater at Woods and Whittier is, therefore, their only known design intended to function primarily as a theater.

Their collaboration with Claude A. Balch in its design brought additional theatrical design experience to the project. He was often associated with his brother William, who designed the Golden Gate Theater (1927) at 5170 Whittier Boulevard; Boulevard Theatre (1935) at 4549 Whittier Boulevard, El Rey Theatre (1928) at 5519 Wilshire Boulevard; and, Fox Theatre (1931) in Pomona. In 1933 Claude A. Balch remodeled the Hollywood Theater, originally built in 1913 and Hollywood's oldest motion picture theater.

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code \_\_\_\_\_

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds**P1. Other Identifier:**\*P2. Location:  Not for Publication  Unrestricted\*a. County Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Whittier Date 1981 T 2S; R 11W; \_\_\_ ¼ of Sec ; \_\_\_ B.M.

c. Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

d. UTM: (give more than one for large and/or linear resources) Zone \_\_\_\_\_; \_\_\_\_\_ mE/ \_\_\_\_\_ mN

## e. Other Locational Data:

The resource is located in the in the Monterey Forebay. It is situated in the City of Pico Rivera, California, less than 0.25-miles to the west of the I-605, approximately 200 feet southwest of Whittier Boulevard, and is bounded by Pico Vista Road to the west and by Washington Boulevard to the south.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The San Gabriel Coastal Spreading Grounds (SGCSG) comprise a 128-acre water conservation facility that diverts water from the San Gabriel River. The SGCSG consists of one desilting basin, three spreading basins, one canal, one pump station, several diversion structures, and the unlined San Gabriel River channel (**Photograph 1**). Water from the river channel first enters the spreading grounds through headworks and flows into a desilting basin where suspended solids in the water can settle out. After passing through the desilting basin, water flows through the intake canal. From the intake canal, water can be diverted into Basin 1 through two rectangular concrete box culverts. The culverts have slide gates on the intake that can be used to regulate flow into Basin 1.

(See Continuation Sheet)

\*P3b. Resource Attributes: (List attributes and codes) HP22. Lake/River/Reservoir\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Photograph 1, overview of SGCSG, View to South (LACPW website, 2012)

\*P6. Date Constructed/Age and Sources:

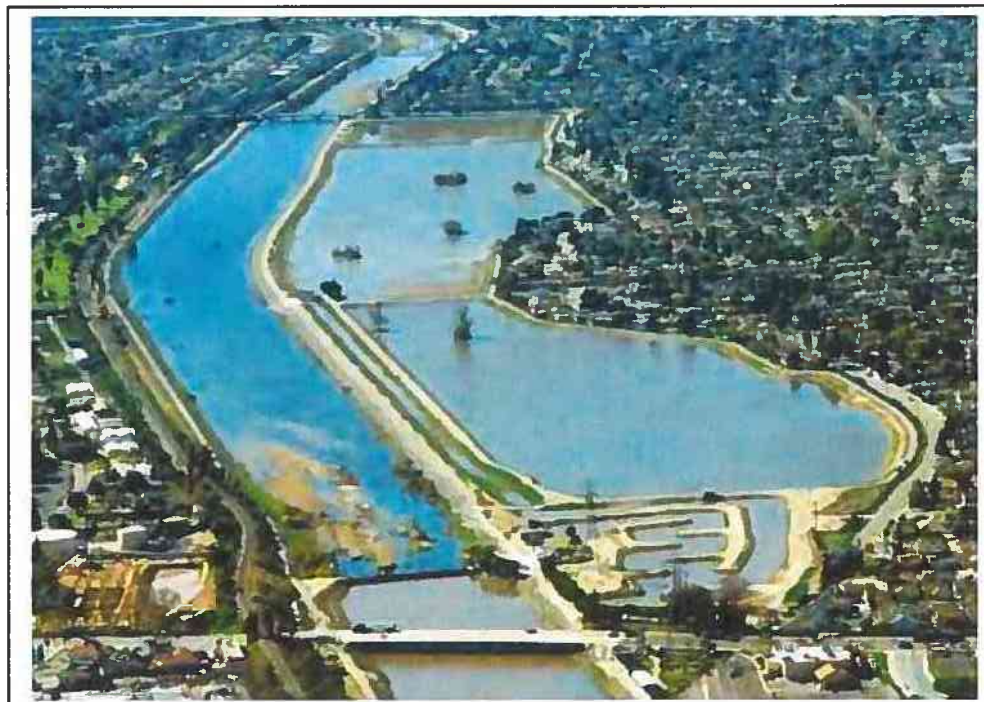
Historic  Prehistoric  Both  
1938 / Los Angeles County  
Department of Public Works

\*P7. Owner and Address:

Los Angeles County Department of  
Public Works (LACDPW)  
900 S. Fremont Avenue  
Alhambra, CA 91803

\*P8. Recorded by:

Jill Gibson, AECOM  
1420 Kettner Blvd  
San Diego, CA

\*P9. Date Recorded: December 18,  
2012\*P10. Survey Type: (Describe) Intensive\*P11. Report Citation: Phase I Cultural Resources Investigation, 001B Turn-Out Structure

\*Attachments: NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  
 District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  
 Other (list) \_\_\_\_\_

DPR 523A (1/95)

\*Required Information

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 14

\*NRHP Status Code 6Z \_\_\_\_

\*Resource Name or # San Gabriel Coastal Spreading GroundB1. Historic Name: UnknownB2. Common Name: San Gabriel Coastal Spreading GroundsB3. Original Use: Spreading Grounds B4. Present Use: Spreading Grounds\*B5. Architectural Style: Utilitarian

\*B6. Construction History: (Construction date, alteration, and date of alterations) 10 Spreading Grounds constructed in 1938; desilting basin, control station, 1967; replacement of dams, C.1980s; reconfiguration of 10 Spreading Grounds into 3 Spreading Grounds, 1991

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

Dams, Diversion Structures, Pump Houses, Feeding CanalB9. Architect: b. Builder: US Army Corps of Engineers\*B10. Significance: Theme Water Conveyance Area San Gabriel River, Los Angeles County, CaliforniaPeriod of Significance 1938 Property Type Spreading Grounds Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Constructed in 1938, SGCSG is a water conservation facility used to recharge groundwater in the greater Los Angeles area. The facility is part of the San Gabriel River Conservation System, which features 5 large dams and 4 spreading ground facilities. The conservation system is part of the overall Los Angeles County Flood Control System.

In a thematic study on large federal dams, the U.S. Bureau of Reclamation found that the Los Angeles County Flood Control System is potentially significant on a national level for its impact on the history and development of one of the nation's most important metropolitan areas (Billington 2006). However, the SGCSG does not appear to independently meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR) primarily due to lack of integrity.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: See Continuation Sheet

B13. Remarks:

\*B14. Evaluator: Jill Gibson\*Date of Evaluation: December 18, 2012

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

See Location Map

Page 3 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

**Description (cont.):**

When the water surface elevation in the intake canal exceeds the elevation of the oblique spillway downstream of the intake to Basin 1, water will flow over the spillway and down the intake canal towards the Mines Avenue pump station and the intake to Basin 2. From there water can either be pumped to Rio Hondo Coastal Basin Spreading Grounds or directed into Basin 2. When Basin 2 fills to its maximum water surface elevation, water flows over a spillway into Basin 3. Basin 3 is the terminal basin. The maximum intake into the spreading grounds is 350 cubic feet per second (cfs), and the approximate percolation rate is 75 cfs.

Constructed in 1967, the desilting basin is located at the north end of the SGCSG, south of Whittier Boulevard, and west of the San Gabriel River (**Photograph 2**). The 890-foot-long by 350-foot-wide desilting basin is composed of a dirt and gravel embankment and an approximately 75-foot curved canal. The desilting basin receives water from the San Gabriel River, then sediment-laden runoff is temporarily detained under quiescent conditions, which allows sediment to settle out before the runoff is discharged to the canal, and then water flows into to the spreading grounds or back into the San Gabriel River.

The spreading basins consist of three shallow ponds (Basins 1-3) and total 96 wetted acres (**Photograph 3**). Basin 1 and 2 are approximately .5-miles in length and Basin 3 is .10-miles in length. Tract houses, constructed in the 1950s, line the west side of all three basins. The San Gabriel River is situated to the east of the basins. The three basins are sequential from north to south and are separated by an asphalt road on top of the levee. The three basins have dirt and gravel embankment and are unlined. As indicated in the 1991 As-Built Diagram, the basins were modified from 10 basins to three spreading ground basins and one desilting basin (**Figure 1**). The spreading basins were constructed in 1938 and have been altered and reconfigured over the years.

Two gates are situated in Basin 1 (**Photograph 4-5**). These gates were designed to withstand the uplift pressure of the basin and canal by having concrete cut-off wall with a steep slope. The gates are constructed out of reinforced concrete with 6-inch-thick cut-off walls and a 12-inch base at the bottom. The top surface is flush with the pavement road above (**Photograph 6**). These gates are nonfunctional because the basins were reconfigured in 1991. Before 1991, levees divided Basin 1 into three basins and the gates relieve water from the basins into the canal. When the levees were removed and only one basin remained, the gates remained in place. These gates are not utilized anymore because another main structure gate was added at the weir which connects the desilting basin with Basin 1.

The canal is 0.5 mile long and is situated between the northern most spreading basin and the San Gabriel river channel (**Photograph 6**). As indicated in a 1967 As-Built Diagram, the intake canal was designed to be a 30-foot-wide earthen trapezoidal canal. The canal spans from the desilting basin to other settling basins and is nestled between the 16-foot access road and a number of settling basins. The canal has not undergone a major transformation since it was constructed and remains an earthen trapezoidal distribution canal.

The control station is about 630 feet south of Whittier Boulevard. Control Station Structure is about 11 feet in height, about 1320 square feet, and contains an underground room, a basement of about 20 feet deep (**Photograph 7**). Inside of the basement are three pumps, which were used in past occurrences to fill the area blocked by the rubber dam. The system switched from a water pump to a sump pump, an air-compressed system. The system can be controlled remotely from the Whittier Narrows Dam, a distance of approximately 1.5 miles northwest of the San Gabriel Basin. A front-gabled roof shed is also situated to the southwest of the Control Station Structure (**Photograph 8**). A second shed for the control station is located 200 feet south of the Control Station Structure (**Photograph 9**). It is composed of stucco and enclosed by a chain link fence. All of the buildings associated with the control station were constructed circa 1967.

Mine Avenue Pump Station is located at east end of Mine Avenue (**Photograph 10**). The pump station appears to be recent construction, circa 1990.

Two inflatable rubber dams (Rubber Dam No. 2 and Rubber Dam No. 4) that halt river flow and promote infiltration were constructed in the 1980s. These rubber dams replaced sand levees that washed out when high volumes of water occurred. Located at the headworks of the spreading grounds is Dam No. 2 (**Photograph 11**). Dam No. 4 is located between Basin No. 1 and Basin No. 2 (**Photograph 12**). It has an associated control building that was also built in the 1980s (**Photograph 13**).

Page 4 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

Situated on the south end of the desilting basin are two reinforced concrete weirs that were constructed in 1990. The weirs are 150 feet long, with estimated 116 feet exposed to water, and 15 feet wide at the top with a 9-foot-wide slope. It has grouted rock at the embankments. The weirs contain a portion of water before filtering into the canal. The purpose of controlling the water flow is to decrease the damage a high velocity water flow that may cause erosion to the embankment.

The San Gabriel River is located to the east of the spreading grounds (**Photograph 14**). The 1.5-mile-long segment of the unlined San Gabriel River channel is approximately 1.5-miles-long by 0.5-mile-wide. The San Gabriel River extends from the Angeles National Forest through the San Gabriel Valley and the Los Angeles Coastal Plain to the Pacific Ocean. Engineered modifications currently present along the river provide flood protection for surrounding urban development, and these modifications have also allowed development almost to the river's edge.

### Significance (cont):

The rivers of the Los Angeles basin like the San Gabriel River flooded frequently in historic times, depositing rich soil that attracted early settlers. These unpredictable overflows became increasingly problematic as the landscape filled with ever more people in the late 19th and early 20th centuries, however. Until January of 1868, the San Gabriel River emptied into San Pedro Bay. Massive flooding that year caused the river to cut a new, more southerly course after leaving Whittier Narrows, destroying the young town of Galatin and ultimately discharging at Alamitos Bay. The new channel gradually took on the name of San Gabriel, while the original course of the San Gabriel River came to be known as Rio Hondo upstream and the Los Angeles River downstream (Gumprecht 1999).

The San Gabriel River experienced significant floods in 1884, 1889, 1911, 1914, and again in 1934 and 1938, each seemingly more destructive and costly than the last. The flood of 1914, which caused \$10,000,000 in damaged property, was the catalyst for the first comprehensive effort to solve the flooding problem in Los Angeles (Bigger 1959). Before the 1914 flood, flood control efforts were handled locally in a piecemeal manner. At the time there was no state or federal law that provided for comprehensive regional flood control. The Los Angeles County Board of Supervisors appointed a team of engineers to produce a comprehensive flood control plan for the county. The Los Angeles County Flood Control District was established as the central authority (Orsi 2004).

The first plan consisted of dams in the mountains, check dams in the canyons, and the channelization of rivers in the Los Angeles Basin. Implementation of the 1915 Comprehensive Plan took several turns and ultimately resulted in mismanagement and a failed attempt at a large dam in San Gabriel Canyon. These events undermined public confidence in the flood control authority. In 1931, under new leadership, the Flood Control District presented a new plan. This plan was similar to the 1915 approach; however, it added the inclusion of spreading grounds to allow water to percolate into groundwater basins beneath the Los Angeles Basin (Orsi 2004).

The 1936 Flood Control Act, as amended May 15, 1937, provided federal funding for comprehensive flood control projects. Because Los Angeles County already had a plan in place, the county was able to take advantage of this opportunity. This was the first and largest program to receive funding under the new law. The 1936 act and a subsequent flood control act passed in 1938 called for the Army Corps of Engineers to work with the Los Angeles County Flood Control District on future flood control efforts. This resulted in the Los Angeles County Flood Control System, a comprehensive, coordinated river-based flood control system constructed by the Los Angeles County Flood Control District and the U.S. Army Corps of Engineers. Flood control structures were built by the Department of Public Works and the Army Corps of Engineers.

The 1938 flood was the fifth largest in history, at that time, killing 113 people and causing \$40 million in damage. The public was outraged, and with the help of the federal government, in 1938 the Army Corps of Engineers designed and began construction of many Los Angeles County Drainage Area flood control facilities, including dams, channels, and reservoirs to impound San Gabriel Mountain storm waters. The Los Angeles County Flood Control District was also created at that time, and since 1985, it is now administered by the LACDPW (Gumprecht 1999).

While SGCSG was originally constructed in 1938 for flood control and conservation of local storm water, it has been used to replenish the basins with imported water since 1953 and with recycled water since 1962. The fertile land surrounding the San Gabriel River that was once large groves of citrus, avocado, and walnut trees, became rapidly developed in the mid twentieth century. The end of World War II resulted in a demand for housing and large parcels of farm land were purchased

Page 5 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

in the immediate vicinity of the San Gabriel River and cleared to be replaced by tract homes (Pico Rivera History and Heritage Society 2008) (Figure 2).

Although San Gabriel River Conservation System as a whole could potentially be significant under Criterion A of the NRHP and Criterion 1 of the CRHR, the SGCSG does not appear to have played a significant individual role in local, state, or national history because it is representative of spreading grounds constructed throughout California in the 20th century. It does not appear to meet the eligibility criteria under NRHP Criterion A or CRHR Criterion 1.

The SGCSG is associated with many organizations who contributed to the planning and implementation of the project, such as the US Army Corps of Engineers and the Los Angeles Flood Control District. However, research revealed little about individual engineers or politicians involved with the construction or design of the SGCSG. The SGCSG has no direct association with notable individuals and, thus, does not appear to meet NRHP Criterion B or CRHR Criterion 2.

The SGCSG does not appear to meet NRHP Criterion C or CRHR Criterion 3 on an individual basis. The spreading grounds and its associated diversion structures are common throughout California. SGCSG is one of 27 spreading facilities that were built between 1917 and 1994, owned and operated by the Los Angeles Department of Public Works. This particular spreading ground was designed from a standard set of plans applied to all spreading grounds in the Los Angeles Flood Control District. It has no known associations with an individual engineer and does not represent the work of a master. The SGCSG does not possess high artistic values because it is a basic spreading ground designed for function and utility and not for aesthetic quality.

Under NRHP Criterion D or CRHR Criterion 4 the resource is not likely to yield information important to history because it is not the principal source of important information. Therefore, the spreading grounds do not appear to meet this criterion.

The SGCSG retains integrity of location, feeling and association, but does not retain integrity of design, materials, workmanship, or setting. The SGCSG is in its original locations and retains its feeling and association because it expresses its historic purpose as a functional water system built to assist with controlling flooding and moving water to spreading grounds. However, the design, materials, workmanship have lost integrity. The design of the spreading grounds has been substantially altered; because the form, plan, and style of the basins and control systems have been changed. In 1991, the basins were altered from 10 basins to 3 spreading basins and 1 desilting basin. Integrity of workmanship is also lost because the system has been altered with modern construction methods of the spreading grounds and water conservation system. The SGCSG does not retain integrity of materials because the alterations have removed or introduced new materials into the water system including: rubber dams, concrete weirs, and pump stations. The setting for the spreading grounds also appears altered, because when constructed, the SGCSG was surrounded by agricultural and rural properties, and now the resource is lined with urban development. Overall, the SGCSG does not retain integrity and its ability to convey its significance.

## References

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2006 *The History of Large Federal Dams: Planning, Design, and Construction*. U.S. Department of the Interior Bureau of Reclamation, Denver, CO.

Gumprecht, B.

1999 *The Los Angeles River: Its Life, Death, and Possible Rebirth*. Baltimore and London: The Johns Hopkins University Press.

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2010 San Gabriel River and Montebello Forebay Water Conservation System Overview, Available: <http://dpw.lacounty.gov/wrd/publication/system/montebello.cfm>. Accessed December 17, 2012.

Orsi, Jared

2004 *Hazardous Metropolis: Flooding and Urban Ecology in Los Angeles*: University of California Press, Berkeley.

Pico Rivera History and Heritage Society

DPR 523J (1/95)

\*Required Information



State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 6 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

2008 *Pico Rivera*: Arcadia Publishing, Charleston, South Carolina.

San Gabriel Coastal Basin Spreading Grounds, Basin– (As Built) 1967. (On file with LADPW)

San Gabriel Coastal Basin Spreading Grounds, Basin Modification – Phase II (As Built) revised June 5, 1991. (On file with LADPW)

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 7 of 15

\*Date of Map Google Earth, 2012  
Photographs (cont)

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 2.** Desilting Basin, View to Northwest



**Photograph 3.** Spreading Basin No. 1, View to North

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 8 of 15

\*Date of Map Google Earth, 2012

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 4, Gate # 1, View to Southwest**



**Photograph 5, Gate #2, View to Southwest**

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 9 of 15

\*Date of Map Google Earth, 2012

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 6.** Paved Surface on Top of Gate (nonfunctional), View to West



**Photograph 7.** Control Station Structure, View to Southwest

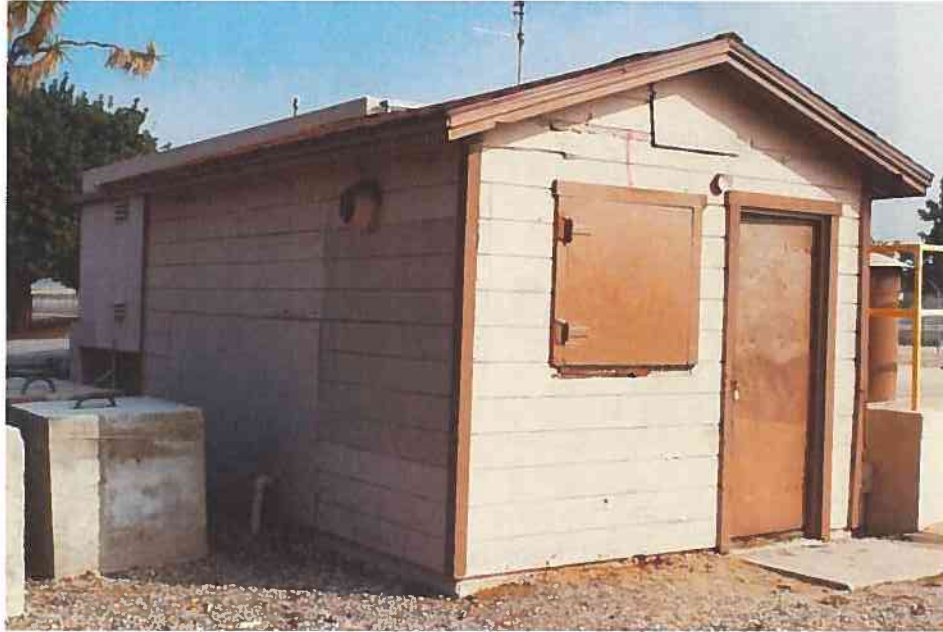
State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 10 of 15

\*Date of Map Google Earth, 2012

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 8.** Control Station Shed 1, View to Northeast



**Photograph 9.** Control Station Shed 2, View to Southwest



**Photograph 10. Mine Avenue Pump Station, View to West**



**Photograph 11. Rubber Dam No. 2, View to East**



**Photograph 12.** Rubber Dam No. 4, View to Southeast



**Photograph 13.** Control Station for Rubber Dam No. 4, View to Northeast



Photograph 14. San Gabriel River, View to Northeast

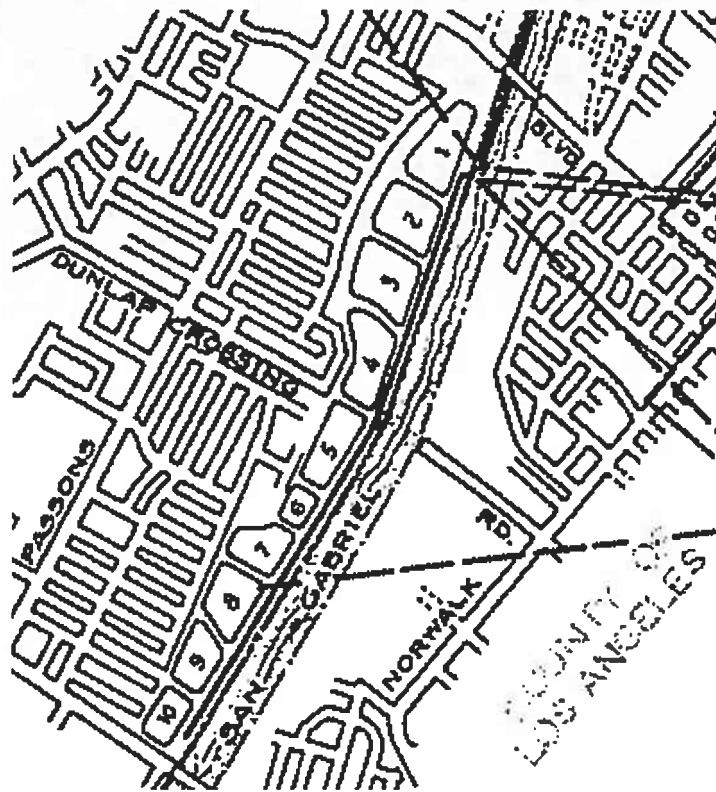
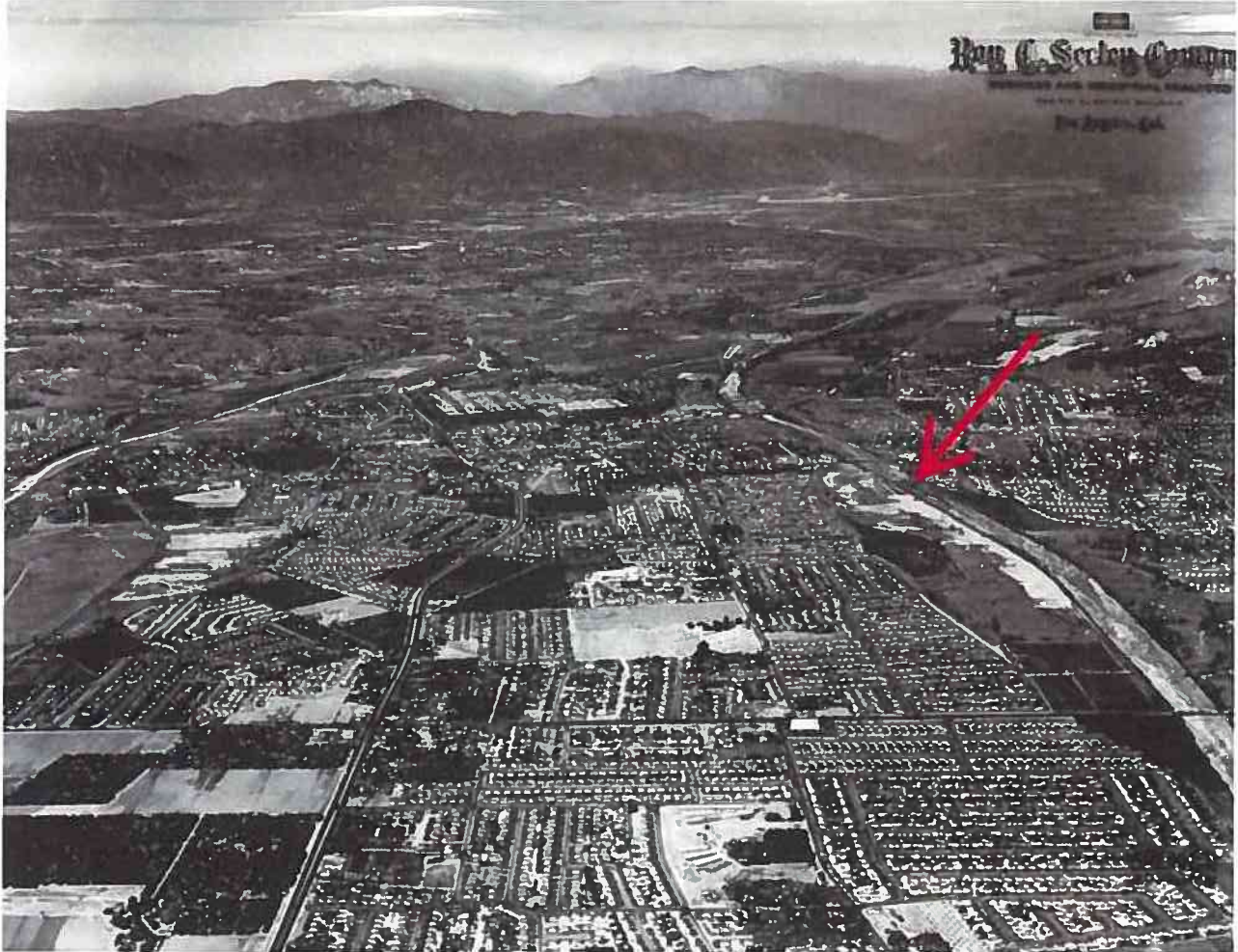


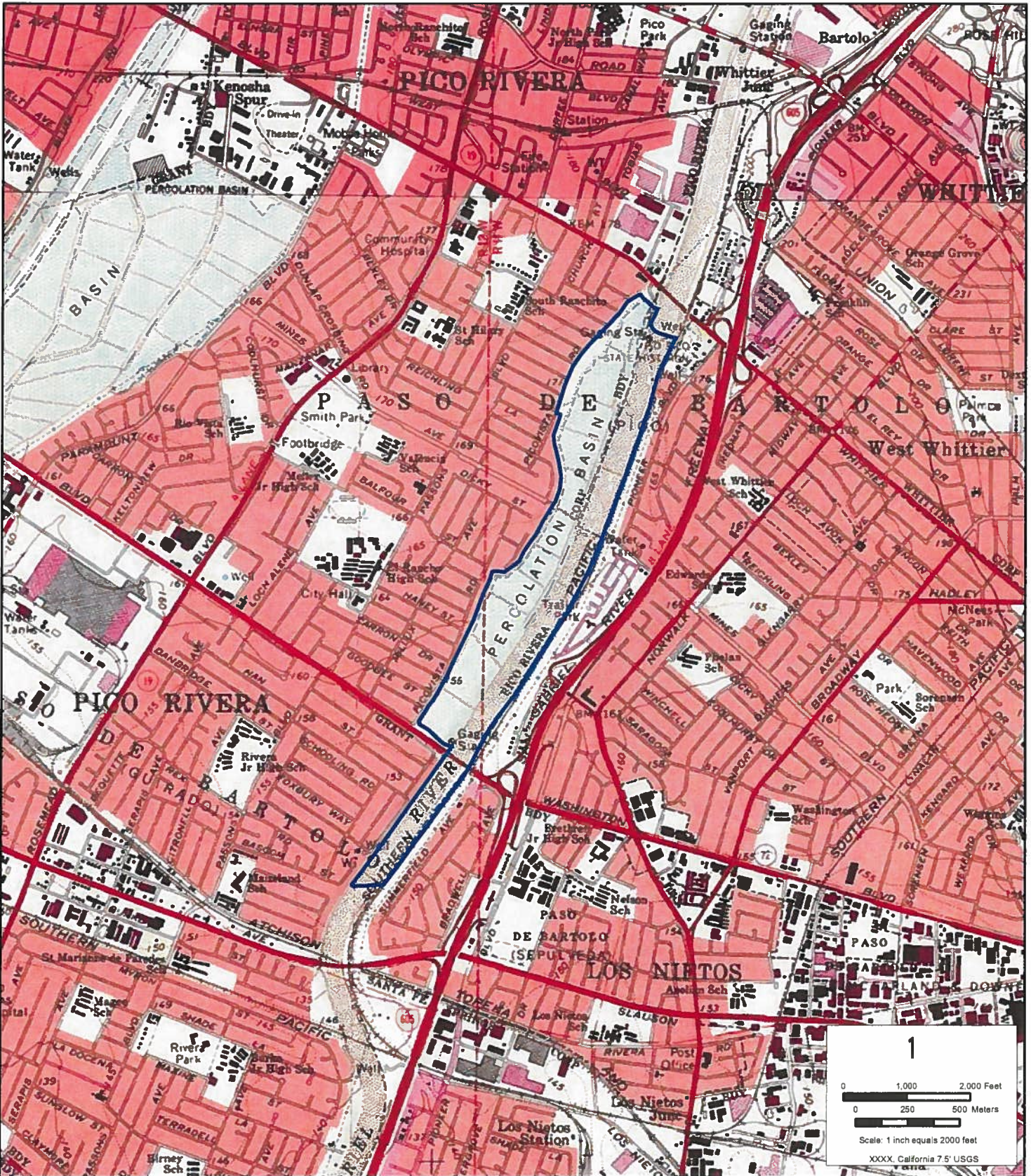
Figure 1. County of Los Angeles Map, circa 1980, indicating 10 basins





**Figure 2.**  
Aerial View of San Gabriel River and San Gabriel Coastal Basin Spreading Grounds,  
Pico Rivera in 1951, (Los Angeles Public Library)

**LOCATION MAP**



## CONTINUATION SHEET

Property Name: | San Gabriel Coastal Spreading Grounds |  
Page | 1 | of | 5 |

Update or  Continuation

### **B10. Significance:**

As part of the San Gabriel Coastal Spreading Grounds Levee Retrofit Project, the San Gabriel Coastal Spreading Grounds (SGCSG) were reevaluated by Environmental Science Associates (Taylor, 2017). The following paragraphs provide the historic context for the SGCSG and surrounding vicinity, as well as a National Register of Historic Places evaluation of the resource.

#### **Historic Context:**

##### Los Angeles Flood Control District (1914 – 1969)

The Los Angeles Flood Control District (LACFCD) was formed in 1914 following a devastating flood and the realization by County leaders that controlling flood waters should be the responsibility of a central authority. “Over the next year, a specially appointed team of engineers surveyed, measured, projected, predicted, and calculated until they compiled a three-hundred-page proposal for controlling the water from the mountains to the sea” (Deverell and Hise, 2005). The LACFCD would oversee implementation of the plan, estimated to cost around \$16 million.

However, the following decades were plagued by corruption and engineering failures, resulting in the County’s struggles to motivate voter support of additional bond measures needed to pay for flood control improvements. In 1927, the LACFCD’s first chief engineer, James W. Reagan resigned due to criticisms of his engineering experience. His successor was E.C. Eaton. “So unpopular had the LACFCD become, however, that even in the aftermath of a flood that produced devastating debris on New Year’s Eve 1933, the discredited agency could not muster enough voter support to pass a bond measure to finance Eaton’s Comprehensive Plan, which he unveiled in 1931” (Deverell and Hise, 2005). However, the Federal Government would soon interject, providing the necessary funding needed to see the comprehensive plan come to fruition.

The Flood Control Act of 1936 (amended May 15, 1937) provided federal funding for flood control projects, of which Los Angeles County was one of the first and largest infrastructure development programs to receive funding. Under President Roosevelt’s direction, the Work Progress Administration (WPA) provided over \$13 million in funding for flood control infrastructure improvements in Los Angeles County. The work would be supervised by the USACE and the County would supply over \$3 million for the purchase of land necessary for the projects. “The vast majority of WPA relief funds were designated for channel improvements and the construction of debris basins on the Los Angeles River and its tributaries” (Gumprecht, 1999). While the initial focus of federal funding was on improvements to the Los Angeles River, preliminary studies of both the Los Angeles and San Gabriel Rivers as well as their tributaries signified the beginning of a broad federally funded flood control program.

In 1938, a general plan for the San Gabriel River and the adjacent Rio Hondo was developed by the USACE. The plan included three essential features to control flooding along the rivers. First, debris

basins would be constructed near the base of the mountains to trap mud and boulders, preventing them from blocking the river flow downstream. The rivers were to be deepened, widened, and lined with levees or concrete. Finally, the construction of large flood control basins along the river banks would help control flood waters during storms (Gumprecht, 1999).

1938 marks the beginning of a golden era in the construction of Los Angeles County's flood control infrastructure that lasted through 1969. "Political quiescence accounted for the ease with which flood controllers turned blueprints into infrastructure between 1938 and 1969" (Deverell and Hise, 2005). The era began with a massive flood in March of 1938, resulting in the deaths of fifty-nine people and \$62 million worth of damaged property. "A 1963 book on Southern California government cited flood control as one of the few metropolitan issues on which there was substantial consensus across the region" (Deverell and Hise, 2005). Following the 1938 flood, the USACE built five flood control dams and basins, including the Whittier Narrows Basin, approximately two miles north of the SGCSG. "During storms, dam operators closed the outlets, and the structures turned into giant funnels that captured the torrents and release only as much as the downstream channels could carry" (Orsi, 2004).

### San Gabriel Coastal Spreading Grounds (1938 – 1991)

In addition to the flood-control basins, the County began constructing water-conservation spreading grounds along the major rivers in the region as well as debris reduction programs in the foothills between the 1940s and 1960s (Orsi, 2004). In 1938, the SGCSG was added to the LACFCD's extensive flood control network. "While the SGCSG was originally constructed in 1938 for flood control and conservation of local storm water, it has been used to replenish basins with imported water since 1953 and with recycled water since 1962" (Gibson 2012). SGCSG is one of 27 spreading facilities that were built between 1917 and 1994, owned and operated by the Los Angeles Department of Public Works (Gibson 2012).

The earliest aerial image of the SGCSG dates from 1947 and shows approximately 10 basins surrounding by agricultural land. By 1956, the area had become fully developed with residential neighborhoods and associated commercial districts. The SGCSG still consisted of 10 basins but the basins appear more defined by that time. In 1967, a desilting basin was added at the north end of the SGCSG. "The 890-foot-long by 350-foot-wide desilting basin is composed of a dirt and gravel embankment and an approximately 75-foot curved canal. The desilting basin receives water from the San Gabriel River, then sediment-laden runoff is temporarily detained under quiescent conditions, which allows sediment to settle out before the runoff is discharged to the canal, and then water flows into to the spreading grounds or back into the San Gabriel River" (Gibson 2012). In addition to the desilting basin, an intake canal, control station building, and additional ancillary buildings were constructed at the north end of the SGCSG, adjacent to the San Gabriel River.

In 1991, the original 10 basins were reconfigured into three larger spreading ground basins, while the desilting basin added in 1967 remained untouched. The reconfiguration of the basins left multiple reinforced concrete gates inoperable (Gibson 2012).

## **Significance Evaluation:**

Although previously evaluated for its individual eligibility (Gibson, 2012), the SGCSG (P-19-190511) was subject to evaluation to confirm the previous recommendation of ineligibility. Constructed in 1938, the SGCSG was considered in the context of its association with LACFCD (1914 – 1969). Because the SGCSG was constructed as part of a larger effort to address severe flooding of Los Angeles County’s major rivers and their tributaries, its eligibility as a contributor to a larger flood control-related district was also considered

### **Criterion A: Events**

The SGCSG was built in 1938 as the golden era in the construction of flood control infrastructure began in Los Angeles County. The SGCSG was built at a time when County officials and Federal Agencies began working together to stabilize the region’s flood control network. Earlier that year, a devastating flood took the lives of fifty-nine people and caused over \$60 million worth of damages. The devastation left behind by the 1938 flood inspired engineers and governing officials to turn flood-control related ideas and designs into built realities. While the SGCSG is associated with these events, it is one of multiple spreading grounds and other features, including debris basins, concrete river channels, and flood-control basins, that make up the County’s flood control system. The SGCSG does not appear to have played a significant individual role in local, state, or national history because it is representative of spreading grounds constructed throughout California during the 20th century. These spreading grounds were designed to relieve overburdened river channels and flood-control basins during storms. Furthermore, the SGCSG did not contribute to the settlement patterns of the surrounding community. Historic aerial images from as late as 1949 show the surrounding area continued to consist of agricultural fields after the construction of the SGCSG. Nearby tract maps indicated the former agricultural fields were subdivided for residential development beginning in 1949. Therefore, the SGCSG does not appear eligible for listing under National Register Criterion A.

While the SGCSG does not appear individually eligible under Criterion A, it is associated with the broader historical development of the LACFCD. The SGCSG may be a contributing element to a historic district associated with the LACFCD, although such a historic district has not been identified or evaluated for the National Register at this time. The LACFCD is composed of dams, flood channels, and spreading grounds along the Los Angeles and San Gabriel Rivers, Ballona Creek, and their associated tributaries, most of which were constructed between 1938 and 1969. In 2006, the U. S. Bureau of Reclamation (USBR) identified the LACFCD as a potential district, noting that additional research was needed to determine if the network of resources is nationally significant for their impact on the settlement of the Los Angeles metropolitan area.

### **Criterion B: Significant Persons**

The APE was originally used as agricultural land prior to the SGCSG’s construction in 1938. Following the SGCSG’s construction, the property continued to serve as a spreading ground associated with the flood control infrastructure throughout the region and has not been associated with any significant personages related to national, state, or local history. Therefore, the SGCSG does not appear eligible under National Register Criterion B.

### Criterion C: Design/Construction

The SGCSG represents one aspect of Los Angeles County's flood control network, which includes flood-control basins, river channels, debris basins, spreading grounds, and other flood control features. The SGCSG is one of 27 similar spreading ground facilities constructed in California between 1917 and 1994. Furthermore, alterations to SGCSG in 1991 resulted in the reconfiguration of the basins from 10 small basins into three larger basins. The alterations rendered portions of the properties infrastructure inoperable and the SGCSG no longer functions in the way that it was originally designed. The SGCSG is not associated with a significant architect or engineer and does not possess high artistic values because it is a basic spreading ground designed for function and utility and not for aesthetic quality. Therefore, the SGCSG does not appear eligible under National Register Criterion C.

### Criterion D: Data Potential

While most often applied to archaeological districts and sites, Criterion D can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D, they themselves must be, or must have been, the principal source of the important information. The SGCSG does not appear to yield significant information adding to our current knowledge or theories of design, methods of construction, operation, or other information that is not already known regarding the construction of spreading grounds or other elements of flood control infrastructure. Therefore, the SGCSG has not yielded or is not likely to yield information important to prehistory or history and does not appear eligible under National Register Criterion D.

### References:

- Deverell, William and Greg Hise, editors. 2005. *Land of Sunshine: An Environmental History of Metropolitan Los Angeles*. University of Pittsburgh Press, Pittsburgh, Pennsylvania.
- Gumprecht, Blake. 1999. *Los Angeles River: Its Life, and Possible Rebirth*. The Johns Hopkins University Press, Baltimore.
- Gibson, Jill. 2012. Phase I Cultural Resources Investigation, 0018 Turn-Out Structure. Documentation of the SGCSG prepared by AECOM.
- Orsi, Jared. 2004. *Hazardous Metropolis: Flooding and Urban Ecology in Los Angeles*, University of California Press, Los Angeles, California.
- Perez, Chris. 1982. *Grants of Land in California Made by Spanish or Mexican Authorities*, Prepared by the State Lands Commission, Boundary Investigation Unit.
- Quinn, Charles Russell. 1973. *History of Downey: The Life Story of a Pioneer Community, and of the Man +Who Founded it California Governor John Gately Downey—From Covered Wagon to the Space Shuttle*, Elena Quinn, Downey, California.
- Salomon, Carlos Manuel. 2010. *Pio Pico: The Last Governor of Mexican California*, University of Oklahoma Press, Norman, Oklahoma.

Taylor, Christian. 2017. San Gabriel Coastal Spreading Grounds Levee Retrofit Project Cultural Resources Assessment. Prepared for the Los Angeles County Department of Public Works by Environmental Science Associates. |

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 2187 Garfield Ave

P1. Other Identifier: Rolled Steel Products

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2187 Garfield Ave City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336013014

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Dynamic in its architectural expression, the Pacific Metals Company is a one story, approximately 30 foot tall, reinforced concrete building in the International Style. The main pavilion, facing Garfield Avenue (east) and Washington Boulevard (south), is defined by the series of matching vertically-aligned concrete sun screens set perpendicular to the wall plane. The sunscreens frame a series of approximately 15 solitary steel sash windows. Each window occurs at the upper wall approximately 20 feet from ground level and at the base of the fascia band that defines the top of the building. These windows have only horizontally-aligned muntins, a characteristic of local Late Moderne and International Style buildings from the period. The rear portion of the building (approximately 75 percent of the total 114,000 square foot floor area) consists of unadorned blank walls occasionally punctuated by truck bay openings (north wall). Although minor reversible alterations have occurred (viz., replacement entrance doors, security lighting of incompatible design), the building retains a high level of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

SE elev, lkg northwest 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Alpersen, Robert & Rosalind Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 3

\* NRHP Status Code 3S

\* Resource Name or #: 2187 Garfield Ave

B1. Historic Name: Pacific Metals Company

B2. Common Name: Rolled Steel Products

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: International Style

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1955: New Office. Cost: \$70,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Fred Lowther

b. Builder: William P. Neil Company

\* B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1955-1960

Property Type Industrial

Applicable Criteria A & C

Pacific Metals is potentially significant for listing in the National Register at the local level under Criterion C for its distinctive architectural design character. Under Criterion C, the subject building was deemed an excellent example of local International Style industrial architecture from the 1950s period. Under Criterion A, Pacific Metals is also potentially significant due to its associations with noteworthy patterns of events in the history of industry in Southern California and community planning and development in Southern California during the post-Korean War period. The building came into existence as part of a major expansion of construction and metal fabrication manufacturing activity throughout the region and the resultant exploding demand for specialty metal products by Southern California consumers. The timing of construction of the Pacific Metals Building also reflects the lifting of restrictions on specialty metals that had been in place during the Korean War (1950-1953), and the subsequent dramatic rebounding of non-defense related demand once those restrictions were lifted by 1954. The large size of the facility reflects the fact that it was the key warehouse for the entire Los Angeles region north of San Diego County. In addition, the timing of its construction directly reflects the opening, in 1951, of the Vail Field portion of the CMD to warehouse and manufacturing development, where truck access rather than railroad access alone, and proximity to the highway system (e.g., the completion of the Santa Ana Freeway in 1953; newly opened Washington Boulevard) were the primary development determinants.

The period of significance is 1955 to 1960—the period that best reflects the post Korean War explosion of demand for specialty metal products. The period of significance also reflects the emergence of the Vail Field Industrial Addition to the Central Manufacturing District (CMD) and its subsequent decline by 1960 as a result of the ascendancy of suburban manufacturing locations in Orange and Riverside Counties by the early 1960s. Although standard research did not reveal any information on architect Fred Lowther, he designed similarly programmed industrial manufacturing buildings at 2011, 2042 and 2100 Garfield Ave, part of the 31-acre Vail Field tract.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on page 3)

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**

Page 3 of 3 \* Resource Name or #: (Assigned by recorder) Pacific Metals Company  
 \* Recorded by: Carson Anderson, ICF International \* Date: 8/16/2010  
 Continuation  Update

References (continued).

County of Los Angeles Building Permit #s 92473 and 0713 dated February 7, 1955 and February 18, 1955, respectively.

Firman, David. 1949. Montebello, California: Some Geographical Characteristics. UCLA geography Master's Thesis, pages 99- 110.

Southern California Business

Industrial Council of the City of Commerce. 1981. Twentieth Anniversary Commerce Industrial Council Directory and Buyers Guide, pages 5, 9; 17-29.

The following citations from the specialty metals trade periodical Western Machinery and Steel World: Pacific Metals display ad, January 1955, page 134; Revere Copper display ad referencing new Pacific Metals Company location at 2187 S. Garfield Avenue, September 1955, page 116; "Pacific Metals Unveils New Welding Electrode," November 1955, page 164; "Pacific Metals to Represent H.A. Wilson Co." March 1956. Western Machinery and Steel World is on file: Los Angeles Central Public Library.

Pro Quest: "Pacific Metal Company Joins Metals USA; Establishes Strong Presence in Attractive Pacific Northwest Region." PR Newswire, 17 February 1998, page 1.

# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 2353 Garfield Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2353 Garfield Ave City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336009018

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The subject building is a large, approximately 300,000-square foot, one story reinforced concrete bow truss-roofed warehouse, with an attached one story flat-roof office ell along the north (Washington Boulevard) elevation. Taking an architectural design approach that combines utilitarian elements with elements drawn from the International Style, the east elevation of the warehouse portion of the Goodyear Tire and Rubber Company building (approximately 90 percent of the building floor area) is defined by the nearly 20 identical truck bays, and their roll down doors, and the truck bumper guards at their bases. The office ell portion of the building (approximately ten percent of the building floor area) is defined by an approximately 25 foot tall pylon element (adjoining the entrance) and by its steel, pivoted sash ribbon windows, which are screened above by slatted, diagonally-placed sunshades. Although minor reversible alterations have occurred, the building retains a high level of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1952 (Factual) Tax Assessor

\* P7. Owner and Address:

Liu, Charlie Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 3

\* NRHP Status Code 3S

\* Resource Name or #: 2353 Garfield Ave

B1. Historic Name: Goodyear Tire and Rubber Company Warehouse

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: International Style

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1952

1976: New owner Georgia Pacific Co. modifies building. Architect James Pace, builder Fenster Construction.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: James Pace

b. Builder: Fenster Construction

\* B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1952-1960

Property Type Industrial

Applicable Criteria A

Potentially significant for listing in the National Register at the local level under Criterion A, the Goodyear Tire and Rubber Company Warehouse is associated with significant patterns of events in the history of industry in Southern California and community planning and development during the post-war period. The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for automobiles and automobile products by Southern California consumers. The period of significance is 1952 to 1960—the period that best reflects the emergence of the Vail Field Industrial Addition to the Central Manufacturing District (CMD) and its subsequent decline by 1960 as a result of the eventual ascendancy of suburban manufacturing locations in Orange and Riverside Counties by the early 1960s. The large size of the warehouse and the timing of its construction, directly reflect the opening, in 1951, of the Vail Field portion of the CMD to warehouse and manufacturing development, where truck access rather than railroad access alone, and proximity to the highway system (e.g., the nearly completed Santa Ana Freeway; newly opened Washington Boulevard) were the primary development determinants.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on page 3)

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**

Page 3 of 3 \* Resource Name or #: (Assigned by recorder) Goodyear Tire And Rubber Company Warehouse  
 \* Recorded by: Carson Anderson, ICF International \* Date: 8/16/2010  
 Continuation  Update

References (continued).

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Pro Quest: Rogers, Lynn. 1952. "Automotive Highlights." Los Angeles Times. 9 November, page A26.

"\$2,000,000 Expansion Project is Furthered at Tire Plant." 21 September 1952, part V, page 9.

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 900 South Greenwood Ave

P1. Other Identifier: Greenwood Elementary School

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 900 South Greenwood Ave City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app  
APN(s): 6352027902

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Greenwood Elementary School, a facility within the Montebello Unified School District, is located north of the intersection of East Washington Boulevard and Greenwood Avenue, bordering a dense residential area to the east and a commercial/light industrial area to the west. The Mid-Century Modern style campus is composed of an exterior group of 3 buildings facing directly west on Greenwood Avenue and an interior grid of rectangular plan, one-story classroom buildings on a site with a gradual slope to the southwest. At the center of the exterior group is the Administration Building exhibiting a center section and flanking wings. The inset center portion of the building is paneled in 6-over-8 wire-covered glass panels punctuated by a wood entry door. Four small square windows on the south wing are also covered by wire; larger rectangular windows on the northern wing are screened. The building group serves as the complex's primary elevation and is set above the street behind a box planter of lawn, which borders the flight of stairs and walkway that access the center entry. The southern structure in the group is a two story stucco gymnasium with wood double doors for side and front entry; the one-story northern structure, enclosed by a chain link fence, houses additional service and administrative functions with similar board and batten cladding and a row of six windows on the front elevation. Rear entrances from the administration and gymnasium buildings open to a roofed cafeteria area exhibiting orange brick pillars and a similar brick cornice behind chain link fencing. (Continued on page 3)

\* P3b. Resource Attributes: (List attributes and codes) HP15 Educational Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
West elev, lkg east 7/22/2010



\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1947 (Factual) Building Permit

\* P7. Owner and Address:  
Montebello Unified School District

\* P8. Recorded by: (Name, affiliation, address)  
Portia Lee  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/2/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")  
EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

\* NRHP Status Code 3S

\* Resource Name or #: 900 South Greenwood Ave

B1. Historic Name: Greenwood Elementary School

B2. Common Name: Greenwood Elementary School

B3. Original Use: Public elementary school

B4. Present Use: Public elementary school

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1947

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Ralph C. Flewelling

b. Builder: Montebello Unified School District

\* B10. Significance: Them Education

Area Montebello

Period of Significance 1947-48

Property Type School

Applicable Criteria C

Greenwood Elementary School in the Montebello Unified School District was completed in 1948 replacing an earlier smaller facility at the same address. The earlier building is memorialized by a mural on an exterior wall in the building's south courtyard. The architect of the building was Ralph Carlin Flewelling, who had begun practice in Los Angeles in 1925. Flewelling was a prominent Los Angeles architect of educational buildings, whose credits include the College of Architecture at the University of Southern California; Hawthorne Grammar School, Beverly Hills; the auditorium of Mira Costa High School in Manhattan Beach; the California Institute of Technology Library; Hawthorne High School; Miles Avenue School and Morningside High School in Inglewood.

Greenwood Elementary School appears eligible for the National Register of Historic Places under Criterion A, events. The Greenwood School design plan made a significant contribution to the patterns of school building in Southern California in the period of significance, 1947-1948. The school's innovative design reflected a new approach to school planning in the context of the exploding population and economic growth in suburban south Los Angeles immediately after the Second World War. Utilizing a contemporary Modern style, Flewelling's school design plan placed the Administration Building and classroom buildings on a large lot to accommodate the future population expansion as the area boomed with manufacturing, commercial and industrial plants during the school's period of significance, 1947-1948. The choice of Modern, a progressive variant of the International style, for Greenwood Elementary School, was suited to both the growing community and a contemporary concept of school construction.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Portia Lee, ICF International

Date of Evaluation: 11/2/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**

Page 3 of 3 \* Resource Name or #: (Assigned by recorder Greenwood Elementary School)  
 \* Recorded by: Portia Lee, ICF International \* Date: 11/2/2010  
 Continuation  Update

## P3a. Description (continued)

## Classroom Buildings

Adjoining the cafeteria area and perpendicular to the three front buildings are the five long finger rows of original stucco classroom buildings, one classroom deep. Running north and south, they occupy about 2/3 of the lot depth, varying in length, equidistant from and parallel to each other. The intervals between each finger row are landscaped with lawn, specimen trees, shrubs and flowers with some domestic plantings in containers. Short perpendicular sidewalks also run between the building groups crossing the landscaped intervals. This landscape and building configuration appears to be the original site layout.

The layout of remaining buildings was designed over time to accommodate growth in pupil attendance. Two buildings with an intervening walkway between them border the property on the south; three smaller, likely temporary buildings, are located to their immediate west; a group of later built classroom buildings, more square in plan and parallel to the original classroom fingers, are located to the east. Nine remaining classroom buildings are compactly positioned and do not feature landscaping. Two other recreational/ service buildings on the southeast complete the complex's built structures. Asphalt parking and play areas occupy the far east end of the complex.

## Integrity

Fenestration on the classroom buildings varies. Window shapes are generally rectangular with some small square lights which are usually placed immediately below the roofline. On the one and one-half story classroom buildings where walls are punctuated by a single door opening to each classroom, rectangular windows are placed in rows of three or six. Another one and a half-story variant has doors opening onto a walkway whose paneled wood roof is placed just below the window rows, sheltering the sidewalk that runs alongside the building. Other buildings have window rows on the top third of the building, generally rows of three or six rectangles. The most visible window alteration is found in buildings where the top third or half of the window has been paneled, probably to accommodate mechanical equipment and HVAC ducts. Later one-story buildings set in paved areas have rows of four windows per classroom with each light divided vertically into three panes.

## B10. Significance (continued)

Organic in form, characterized by simplicity and integration with nature, Mid-Century Modern style best suited an architectural scheme that targeted the educational goals of school administrators and postwar suburban school populations. Flewelling's plan for the school overturned traditional ideas of school architecture as a set of classrooms in relation to indoor corridors and stairs between floors. At Greenwood Elementary, traditional corridors became outdoor spaces attractively and heavily landscaped with trees and plantings, a landscape scheme emblematic of Southern California outdoor living. Travel between classrooms was out-of-doors; walkway roofs were sufficient for a climate with few rainy months and classroom buildings, like the multitude of new residences in the neighboring suburban area, could be one story placed on ample lots.

Greenwood Elementary School, now 64 years old, has retained substantial integrity. Over time, fenestration has varied among buildings and changes have been made in glazing patterns; classroom buildings have been added and classroom types have varied. Integrity of design remains: the character-defining finger lines of single classrooms which constitute the basic plan and form of the school and reflect the site's historic functions. A substantial number of building resources retain integrity of materials and feeling, defined as the presence of physical features that convey the property's historic character in its time and place. Architect Flewelling's overarching architectural context incorporating extensive landscape features, integrated in form and placement to the essential plan of single classroom buildings, one classroom deep, remains unchanged. Completed in 1948, Greenwood School is an early example of Flewelling's innovative architectural concept which pioneered new ideas in educational structures and practices. Greenwood School conveys its significance through the use of Mid-Century Modern style in school planning and construction, echoing the style's heritage architectural principle of form following function.



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 860 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 860 Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352027003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The property located at 860 W. Washington Boulevard in Montebello is a one-story Spanish Colonial Revival style single-family residence with a U-shaped plan and a low-pitched side gabled roof. Built in 1937, the residence features smooth trowelled stucco wall cladding and a red clay tile roof. The asymmetrically composed façade is divided into four sections. The easternmost section consists of a single window featuring a pair of multi-light casement sashes. The section situated to the west of the easternmost section projects from the façade. It consists of an arched multi-light fixed pane window arranged beneath a gable peak and accented with cast stone. The next section west consists of a slightly raised recessed porch arranged behind two identical arches. The westernmost bay protrudes slightly and is sheltered by a modest shed roof. It contains a single arch leading to a garage door. Although the surrounding area has changed markedly since the period of significance negatively impacting the property's integrity of setting, feeling, and association, it does not appear to have experience major alterations. Thus, integrity of design, materials, workmanship and location are excellent. Overall, the property retains sufficient integrity to convey its significance.

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1937 (Estimated) Tax Assessor

\* P7. Owner and Address:

Florence E Kelly Trust

\* P8. Recorded by: (Name, affiliation, address)

Colleen Davis  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 3

\* NRHP Status Code 3S

\* Resource Name or #: 860 Washington Blvd

B1. Historic Name: Kelly Residence

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1937

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Montebello

Period of Significance 1937 Property Type Residential Applicable Criteria A

The property appears to be eligible for the National Register of Historic Places under Criterion A at the local level of significance for its association with the residential development of Montebello in the pre-World War II era. During the opening decades of the twentieth century, the Montebello area was characterized primarily by agricultural uses and sparse, albeit expanding, residential and industrial development. In the years that followed World War II, those industrial and residential uses expanded significantly eventually dominating the landscape. The property represents a rare example of the area's pre-World War development.

The residence is located in the El Carmel tract which was subdivided in 1905. Parcel sizes in the El Carmel tract averaged five acres suggesting that the tract's subdividers envisioned primarily agricultural rather than suburban residential uses. Incorporated in 1920, Montebello was famed for its commercial nurseries and small-scale truck farms. Nuts, fruits (citrus and berries), and grains (alfalfa, corn, and barley) were also among its agricultural products. Early industrial activities included oil extraction and brick manufacturing. While these combined uses created a diverse economic base, the area's distance from the central city coupled with its still-developing infrastructure. In 1913, those wishing to journey to Montebello using public transportation had two choices: they could ride the infrequent and expensive Salt Lake Railroad Company line or travel by the East Seventh Street streetcar, then transfer to a bus that ran only hourly. By 1939, a municipal bus line conveyed passengers downtown. Commuting to Los Angeles for shopping or work, however, remained a relatively laborious and time-intensive task. As a result, the population grew steadily but modestly. In 1924, for example, the City's population was 6,000. World War II and the post-War years transformed Montebello into an industrial powerhouse. Those new industries dramatically increased the area's population which fueled an intense demand for housing and resulted in a complete transformation of the area's landscape.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on 3)

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Colleen Davis, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

**CONTINUATION SHEET**

Page 3 of 3 \* Resource Name or #: (Assigned by recorder) Kelly Residence  
 \* Recorded by: Colleen Davis, ICF International \* Date: 10/1/2010  
 Continuation  Update

## Significance (continued)

The Spanish Colonial Revival style, the residence located at 860 W. Washington Boulevard represents a now-rare example of pre-World War II residential development in the El Carmel tract area of Montebello. Built for owner William Maurice Kelly and his wife Florence Kelly in 1937, the area was still largely agricultural at the time of its construction. Now characterized by heavy and light industrial uses, Washington Boulevard is a major thorough fare. By contrast, Washington Boulevard ended at the Rio Hondo at the time the residence was constructed lending the location a relatively quiet, country atmosphere. In spite of the predominance of agriculture and the growing presence of industry, the Kellys were neither farmers nor industrialists. Maurice Kelly worked as a radio patrolman, which could explain the residence's attached garage: Kelly's patrol car may have been housed there. Florence Kelly taught for many years at the local Greenwood School. Representing pre-World War II residential development in the El Carmel tract area of Montebello, the Kelly Residence appears eligible for the National Register of Historic Places under Criterion A at the local level of significance.

## References (continued)

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# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 864 Washington Boulevard

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 864 Washington Boulevard City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352027900

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The South Montebello Irrigation District property located at 864 Washington Boulevard in Montebello consists of several buildings, including an administration building, a well, and a chlorine room. Only the administration building located at the front of the parcel dates to the period of significance. Constructed in 1940 and Spanish Colonial Revival in style, the administration building is one-story in height and rectangular in plan. The wall cladding consists of red brick. The roof shape is characterized by its medium pitch and simple side gables without overhanging eaves. The roof is clad in red clay tile. Sheltered by metal awnings, multi-light rolled steel casement windows are arranged in a regular pattern. The façade is partially spanned by a low porch approached at either end by a single step. It is symmetrically composed with two evenly spaced front doors. Each door is flanked by a single window consisting of four four-light casement sashes. The overall effect is domestic. The area surrounding the property has changed dramatically since its construction. While this negatively impacts its integrity of setting, feeling, and association, integrity of location, design, materials, workmanship remain excellent. Overall, the property retains more than sufficient integrity to convey its significance.

\* P3b. Resource Attributes: (List attributes and codes) HP09 Public Utilities Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
South elev, lkg north 7/6/2010



\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1940

\* P7. Owner and Address:  
South Montebello Irrigation District

\* P8. Recorded by: (Name, affiliation, address)  
Colleen Davis  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/18/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")  
EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 3\* NRHP Status Code 3S\* **Resource Name or #:** 864 Washington BoulevardB1. Historic Name: South Montebello Irrigation DistrictB2. Common Name: NoneB3. Original Use: Public Utilities BuildingB4. Present Use: Public Utilities Building\* **B5. Architectural Style:** Spanish Colonial Revival\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Erected in 1940.

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**

Well. Chlorine Room.

B9a. Architect: Unknownb. Builder: Unknown\* **B10. Significance:** Theme Municipal InfrastructureArea MontebelloPeriod of Significance 1940Property Type Public UtilityApplicable Criteria A

The South Montebello Irrigation District building located at 864 Washington Boulevard in Montebello appears to be eligible for the National Register of Historic Places under Criterion A at the local level of significance for its association with the distribution of water to the once predominantly agricultural Montebello area.

The provision of water has played a vital role in the development of Southern California dating to the period of initial Spanish settlement. The region boasts an extensive network of rivers, streams, and creeks. The rivers that nourish the Montebello area, including the San Gabriel and the Rio Hondo, flow south from the San Gabriel Mountains. In spite of this abundance of waterways, the region's climate is best characterized as semi-arid. Rainfall in downtown Los Angeles, approximately eight miles west of Montebello, averages 15 inches per year. Statistics for average rainfall, however, can be deceptive as the region regularly experiences years-long droughts alternating with seasons of heavy rainfall. Even in years of ample rainfall, however, precipitation occurs predominantly during the winter months outside of the normal growing season. Successful commercial crop cultivation, therefore, has depended on irrigation.

In the years that followed California statehood in 1850, Southern California's population steadily increased. During the nineteenth century, agricultural uses predominated throughout the region. As the nineteenth century drew to a close, Southern California's population continued to expand as the agricultural economy transformed from ranching to crop cultivation. Until this time, individuals and families generally met their personal needs by taking water from directly from the region's rivers and/or via individual wells that accessed groundwater sources. As the turn-of-twentieth century approached, however, the demand for water expanded dramatically and individual solutions became increasingly untenable. In response, Californians developed several collective strategies to meet this increasing demand.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.

(Continued on page 3)

B13. Remarks:

(Sketch map with north arrow required)

\* **B14. Evaluator:** Colleen Davis, ICF International**Date of Evaluation:** 8/18/2010

(This space reserved for official comments.)

**CONTINUATION SHEET**

Page 3 of 3 \* Resource Name or #: (Assigned by recorder) South Montebello Irrigation District  
 \* Recorded by: Colleen Davis, ICF International \* Date: 8/18/2010  
 Continuation  Update

Significance (continued).

Among these water provision strategies was the development of the irrigation district. Enabled by the passage of the Wright Act in 1887, the California legislature designed irrigation districts as a tool for empowering agricultural communities dominated by landowners with riparian rights that allowed them almost total control over an area's water. The Act permitted the formation of irrigation districts as public corporations controlled by a board comprised of area residents. The legislature empowered irrigation district with the right to issue bonds and tax property to raise capital; and to construct and operate irrigation works. Significantly, the irrigation district's powers also included the right to condemn and control property with riparian rights. A series of legal challenges in the decades following passage, however, impaired the Act's effectiveness. By 1915, the legal challenges had been resolved and the state legislature had conveyed additional powers on irrigation districts paving the way for more extensive employment of the irrigation district method of water provision.

With demand for food soaring during the years of World War I, agricultural production soared. By 1925, many new irrigation districts had been established to serve agricultural acreage across the state. South Montebello was among the 18 irrigation districts established in California during 1920 alone. By that time, the Montebello area boasted extensive agricultural uses. Although the South Montebello Irrigation District was established in 1920, the property dates to 1940. The irrigation district supplies an approximately 860 acre area that now provides both industrial and residential clients with water pumped from an on-site well. Several additional wells are located throughout the district.

In 1940, when the property was constructed, the area supported a vast network of truck farms and commercial nurseries. Many of the truck farms were cultivated by Issei and Nissei, first and second generation Japanese immigrants, growing a wide variety of flowers for market. Known across the region for its flowers, Montebello began hosting an annual flower show as early as 1913. In addition to the flower farms, Montebello area farmers additionally cultivated a wide variety of nuts and berries. During and after World War II, the area changed both dramatically and rapidly. Beginning in 1942, persons of Japanese descent were relocated to internment camps pursuant to Executive Order No. 9066. This large-scale removal of farmers severely impacted the area's farming economy. During the war, industry in the area expanded. After the war, both industrial and suburban residential uses exploded in the Montebello area permanently altering its landscape. Thus, the property dates to the period when the Montebello area remained predominantly agricultural in character, such uses were just beginning to give way to more intensive industrial and residential uses. The South Montebello Irrigation District property, therefore, appears eligible for the National Register of Historic Places under Criterion A for its association with local water distribution and as a now-rare tangible link to the Montebello area's agricultural past.

References (continued).

- Fogelson, Robert M. *The Fragmented Metropolis: Los Angeles, 1850-1930*. Berkeley: University of California Press, 1967, 1993.
- Gumprecht, Blake. *The Los Angeles River: Its Life, Death, and Possible Rebirth*. Baltimore: Johns Hopkins University Press, 1999.
- Hayes, Brian. *Infrastructure: The Book of Everything for the Industrial Landscape*. New York: W. W. Norton & Company, 2005.
- JRP Historical Consulting Services and California Department of Transportation. *Water Conveyance Systems in California*. 2000.
- Los Angeles, County of. *Tract Maps*.
- Los Angeles Times, Proquest Historical Newspapers, Los Angeles Times (1881-1987), [www.lapl.org](http://www.lapl.org)
- Pitt, Leonard and Dale Pitt. *Los Angeles A to Z: An Encyclopedia of the City and County*. Berkeley: University of California Press, 1997.
- Sanborn Map Company, "Fire Insurance Maps of Los Angeles, California." New York: Sanborn Map Company, 1925.
- Sinclair, Brian. *Telephone Conversation*. May, 2010.

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 6751 Lindsey Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6751 Lindsey Ave City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378024001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The property located at 6751 Lindsey Avenue in Pico Rivera is a one-story single-family Ranch style residence with an irregular plan and asymmetrical composition. It features post and beam construction with low pitched gable and shed roofs clad in non-original composition shingle. The walls are clad in wood board and batten siding. The fenestration consists of full-length wood framed windows divided into panels by thick wood mullions. A detached shed-roof carport is situated in front of the house. All aspects of integrity, location, design, materials, workmanship, setting, feeling, and association, are present in the property. 570 square feet was added to the rear (northwest) elevation of the residence in 1956. This addition falls within the property's period of significance and does not compromise its integrity, which is excellent

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1954 (Estimated) Tax Assessor

\* P7. Owner and Address:  
Navarro, Gloria B

\* P8. Recorded by: (Name, affiliation, address)  
Colleen Davis  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")  
EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 3\* NRHP Status Code 3S\* Resource Name or #: 6751 Lindsey AveB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Single-Family ResidenceB4. Present Use: Single-Family Residence\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction date: 1954\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Cliff Mayb. Builder: Unknown\* B10. Significance: Theme Residential DevelopmentArea Pico RiveraPeriod of Significance 1954Property Type ResidentialApplicable Criteria C

The property located at 6751 Lindsey Avenue in Pico Rivera appears to be eligible for the National Register of Historic Places under Criterion C as an excellent example of the Ranch style and as the work of seminal Ranch style designer and purveyor, Cliff May. Promulgated through a Sunset Magazine book titled Western Ranch Houses first published in 1946 and updated and expanded in 1958, May's Ranch style houses became so popular by mid-century that his design concepts were almost universally embraced in vernacular residential building. The Ranch style, in common with the Craftsman bungalow and the Spanish eclectic styles that preceded it, represented the ongoing drive to create an indigenous style of residential architecture that expressed and nurtured a uniquely Western or Californian lifestyle and world view.

Use of earthy-bound, rustic materials emphasized the informality and lack of pretension that the Ranch style sought to project. Brick or flagstone chimneys, low horizontal ground hugging massing, ribboned wood frame windows, and sprawling irregular plans are characteristic design features of Ranch houses. They were often built on poured concrete slabs which eliminated the need to step up into the house. With no change in elevation at entrances and often continuous floor cladding that spanned the transition, Ranch style houses effectively minimized, even eliminated, the differentiation between outdoor and indoor living spaces.

Lacking formal qualifications, Cliff May started his architectural career designing custom houses in San Diego. After 1935, May relocated to Los Angeles to take advantage that city's larger residential market and higher profile. While May continued designing custom houses for individual clients, he also began to expand his practice. He developed, for example, demonstration designs for popular women's and mass-market shelter publications such as Good Housekeeping and House Beautiful. Around this time, Sunset Magazine published his book, Western Ranch Houses. Additionally, and in partnership with architect Chris Choate, May developed plan book designs that provided the drawings and specifications for a range of house sizes and configurations.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor; Tract Maps; Sanborn Maps; Farragher, John Mack. "Bungalow and Ranch House: The Architectural Backwash of California," Western Historical Quarterly XXXII, No. 2 (2001): 148-173.; (Continued on page 3)

B13. Remarks:

(Sketch map with north arrow required)

\* B14. Evaluator: Colleen Davis, ICF InternationalDate of Evaluation: 10/1/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**Page 3 of 3 \* Resource Name or #: (Assigned by recorder) 6751 Lindsey Ave\* Recorded by: Colleen Davis, ICF International\* Date: 10/1/2010 Continuation Update

Significance (continued).

The plan book promotional material boasted of the houses, "great purchasing power [that] makes the comparatively low price of these homes possible without sacrificing any of the charm for which Cliff May's more expensive homes are noted." By 1955, Cliff May model houses were available for inspection in thirteen Southern California cities from Vista to Lancaster. Ultimately, the Cliff May brand became virtually synonymous with the Ranch style and the gracious yet informal style of living that characterized the post World War II zeitgeist.

For all its rugged rusticity and incorporation of historical references, May's Ranch style also embraced many of the architectural/engineering tenets as well as the philosophical aspects Modernism. In terms of engineering, May employed the post and beam technique and modular construction frequently associated with Modernism. Windows and doors were pre-fabricated: designed specifically to fit within the standard modular panel used on every house. These construction strategies brought a rationalism to May's designs that contrasted with, even belied, its sprawling, organic, and evolving form. With its historicity and informality, the Ranch style lacked the emotional coldness that stricter formulations of Modernism embodied in the eyes and hearts many mid-twentieth century home seekers. Above all, the Ranch style represented an accessible and practical Modernism perfectly suited to the mass market of its time.

Originally constructed in 1953 with 1,100 square feet based on May's standard Model No. 3211, the property exhibits all the major character-defining features of the Ranch style generally as well as May's own personal and particular design vision. These include ground hugging horizontal massing, irregular plan, post and beam construction, asymmetrical composition, expressed structure, low pitched gable roof, deeply overhanging eaves, ribboned full-length wood frame windows, board and batten cladding, brick chimney, and a shed roof carport.

The property is sited at the corner of Lindsey Avenue and Washington Boulevard, a prominent corner in Pico Rivera. Heavily trafficked by automobiles, this example of May's Ranch style is a highly visible stylistic contrast to the surrounding dwellings. By virtue of the site's prominence and the property's distinctive style in comparison to its neighbors, this example of May's style would certainly have played a role in disseminating the Ranch aesthetic throughout the area. The Ranch style is arguably the most popular and pervasive of all residential styles constructed during Post World War II period of mass suburbanization. As an excellent example of the Ranch style and a modest iteration of a Cliff May plan book design, the property at 6751 Lindsey Avenue in Pico Rivera is eligible for the National Register of Historic Places under Criterion C at the local level of significance.

References (continued).

Gregory, Daniel Platt. *Cliff May and the Modern Ranch House*. New York: Rizzoli, 2008.Hess, Alan. *The Ranch House*. New York: Harry N. Abrams, Inc., 2004.

Los Angeles Times, 1955. Proquest Historical Newspapers, Los Angeles Times (1881-1987)

May, Cliff. *Cliff May Homes*. Accessed via <http://cliffmayhomes.com/> May 21, 2010.May, Cliff. *Western Ranch Houses*. Santa Monica, California: Hennessey & Ingalls, 1997. (Reprint of 2nd edition published by Lane Publishing Company, 1958).

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\* Resource Name or #: 9023 Washington Blvd

P1. Other Identifier: Dal Rae Restaurant

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9023 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378019067

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story restaurant building is rectangular in plan and capped by a flat roof with parapet. It is of wood frame construction and vernacular modern in style with stucco utilized for most exterior finishes. The windowless south elevation that faces Washington Boulevard is distinguished by a decorative horizontal canopy and the restaurant name "Dal Rae" rendered in rear lit plastic using a period typeface. Another sign with the word "RESTAURANT" – also of rear lit plastic – features individual light boxes for each letter the top one-third of which rise above the parapet. The building's west elevation is similar in design to the south-facing façade and also sports the same "Dal Rae" signage. The primary entrance is located on the east elevation where a concrete path leads to a large entry door bordered by a chimney of rough-hewn flagstone on its south side. Flagstone is also used for a portion of a wall that extends south towards the street as an enclosure for outdoor seating that is sheltered by a taut canvas roof. The north end of the east elevation contains another outdoor seating area similarly sheltered. Remaining elevations are primarily utilitarian in design with entrances for the kitchen, storage areas, etc. The interior features a main dining room, bar, lounge area with cocktail seating, and a separate banquet room. A renovation in 1998 resulted in the remodel of the main entry, recladding of some exterior surfaces with new flagstone, and the addition of the exterior patio dining areas. In addition, the existing interior spaces were remodeled with work being predominantly limited to the replacement of carpeting, wall finishes and material coverings, and several lighting fixtures. (continued on page 3)

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1951 (Factual) Building Permit

\* P7. Owner and Address:

Sequoyah Holding Llc

\* P8. Recorded by: (Name, affiliation, address)

John English, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 1/17/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

\* NRHP Status Code 3S

\* **Resource Name or #:** 9023 Washington Blvd

B1. Historic Name: None

B2. Common Name: Dal Rae Restaurant

B3. Original Use: Restaurant

B4. Present Use: Restaurant

\* **B5. Architectural Style:** Vernacular Modern

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Constructed in 1954

1955: Addition. Cost: \$2,000.

1958:

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: David R. Maclean

b. Builder: David R. Maclean

\* **B10. Significance:** Them Suburban postwar fine dining

Area Pico Rivera

Period of Significance 1954

Property Type Commercial

Applicable Criteria A

The Dal Rae restaurant appears eligible for listing in the National Register under Criterion A at the local level of significance for its association with the broad pattern of postwar suburbanization, dining, and entertainment in Southern California after World War II. Although modified in recent years, the subject property represents an excellent and rare example of a continental style fine dining restaurant in the suburb of Pico Rivera that continues to exemplify this trend.

Fine dining is associated with the upscale dinner houses that were popular in American cities from the 1940s through the 1970s. Classic fine dining establishments served "continental cuisine" – an eclectic melding of European and American dishes floridly described in elaborate menus. The key elements of a classic fine dining restaurant include white tablecloths, leather or semicircular vinyl booths of red, dark brown or black vinyl, indirect lighting in often windowless rooms, tuxedoed captains and waiters, and tableside service. Many feature dark wood paneling reminiscent of old world European restaurants. Flaming dishes prepared tableside offer the patron a theatrical restaurant experience markedly different from typical restaurants, which helps justify the cost of fine dining and attracts special event celebrations where elegant service and high prices are part of the appeal. With cocktails, dinner, dessert, and live entertainment, fine dining is an experience that often lasts the entire evening.

(continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** John English, Peter Moruzzi, ICF International

Date of Evaluation: 1/17/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**Page 3 of 4 \* Resource Name or #: (Assigned by recorder 9023 Washington Blvd\* Recorded by: John English, Peter Moruzzi, ICF International\* Date: 1/17/2010 Continuation Update

P3a. Description continued.

An enormous two-sided flashing neon pole sign displaying the restaurant's name is located on the Washington Boulevard frontage. Another monumental two-sided sign of neon and flashing bulbs centered by a marquee of applied letters occupies the southeast corner of the property. All noted neon and plastic rear lit signs are contributing features of the property. Lush landscaping is an important element of the overall design with a mix of green lawns, clipped hedges, shrubs, palm trees and other subtropical flora decorating the west, south, and a portion of the east elevations. An asphalt parking lot surrounds the building on three sides.

B10. Significance continued.

Los Angeles' upscale dinner houses of the 1920s and 1930s were for the most part located in and around Hollywood, downtown Los Angeles, and the central city as opposed to outlying suburbs. After World War II and paralleling national trends, Southern California restaurateurs opened new Modern, freestanding restaurants along the auto-dominated commercial corridors of newly established suburban communities such as Pico Rivera where the Dal Rae would open in 1958. Here they could draw from a growing mobile customer base that was buoyed by steady well paying jobs in manufacturing and the defense industry. In response, a profusion of new eating establishments were erected along the commercial corridors of new suburban communities. Indeed, the environment of suburban postwar Los Angeles fostered the development of many food service businesses including coffee shops, drive-in restaurants, bars and fast food franchises; however, due to the high cost of operations that translated into higher food prices, fine dining establishments were more rare.

Some of the postwar suburban fine dining restaurants that have since closed are Bordeaux in Costa Mesa, Chadney's in Burbank, Chateau Briand in Pico Rivera, Heritage Inn in Temple City, Lord Charley's in Covina, Monty's in Pasadena, The Arches in Newport Beach, and another branch of the Dal Rae in Fullerton.

Several circumstances led to the disappearance of most of Southern California's great fine dining restaurants. First, many of the original restaurateurs whose establishments were named after them either died or sold their businesses to others (who were unable to maintain the restaurant's quality and reputation). Examples include Perino's, Chasen's, LaRue, and Romanoff's in Los Angeles. Secondly, tastes changed, particularly in the 1980s when rich "continental" style offerings served in formal settings were considered passé. Suddenly, white tablecloths and tuxedoed waiters were now stuffy and formal, ushering in a new era of noisy hard surfaces and more casual dining. In addition, changes to the economy during the 1970s and the eventual downsizing and closure of industrial plants during the 1980s and 1990s, as well as demographic shifts in suburban residential populations and other distractions, spelled the end for most fine dining restaurants in Southern California. The few that remain include the Dresden in Los Feliz, the Riviera in Westminster, and the Dal Rae in Pico Rivera (the subject property).

Utilizing an existing one-story freestanding restaurant building, brothers Ben and Bill Smith opened the Dal Rae restaurant in May of 1958. It subsequently expanded with additions to the north (rear) and east of the property as the business grew. The Dal Rae has continually served a predominantly middle class/upper middle class clientele that once included executives of the Ford manufacturing plant (later Rockwell Aerospace) that had been located diagonally across from the restaurant at the southwest corner of Rosemead and Washington Boulevards (since replaced by a shopping center). An enormous two-sided flashing neon pole sign displaying the restaurant's name is located on the street frontage and has been a familiar icon along the Washington Boulevard corridor for over fifty years.

The Dal Rae's menu is traditional continental fine dining with Steak Diane, Caesar Salad, and desserts such as Cherries Jubilee and Bananas Foster all prepared tableside – often flamed – in a theatrical display by the owner or maître d'. Other typical items include Oysters Rockefeller, Lobster Thermidor, Pepper Steak, and Chateaubriand for two. The Dal Rae has a separate cocktail bar with tables and, for entertainment, a piano bar. On any given night there is a microphone available for customer participation, which often would include semi-professional local musicians sitting in for the evening. The requisite banquet room at the Dal Rae situated off of the piano bar is often occupied by service organizations such as the Elks, Rotary, Soroptimist and other groups as well as receptions, charity dinners, and other special events.

**CONTINUATION SHEET**

Page 4 of 4 \* Resource Name or #: (Assigned by recorder 9023 Washington Blvd  
 \* Recorded by: John English, Peter Moruzzi, ICF International \* Date: 1/17/2010  
 Continuation  Update

How the Dal Rae has continued to thrive while so many other fine dining restaurants have disappeared is a matter of conjecture. Possible explanations include continuous family ownership with renewed energy coming from the nephews who took over from the remaining founder in the early 1990s, a consistently high level of food quality and service, lower fixed costs due to family ownership of land and building, reduced pressure on commercial land values in Pico Rivera making replacement by new development more unlikely, a suburban clientele less inclined to latch onto rapidly changing dining trends in the urban core, and a location far enough from downtown Los Angeles to make it the most convenient high-end restaurant of choice for people living in surrounding communities, particularly for the celebration of special occasions.

The Dal Rae represents one of the few remaining locations where one can enjoy continental style fine dining and entertainment typical of the early postwar years in suburban Los Angeles. Although the property has been altered it continues to exhibit a high level of integrity of overall design, location, setting, feeling, and association. As such, the subject property appears eligible for listing in the National Register under Criterion A for its association with the broad pattern of postwar suburbanization, dining, and entertainment in Southern California after World War II.

As relates to architectural merit, it does not appear that the subject property represents a level of design distinction or association with a master architect to qualify for National Register eligibility under Criterion C. Further, current research uncovered no known associations with historic personages for the property to meet Criterion B of the National Register.

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\* Resource Name or #: 12000 Washington Blvd

P1. Other Identifier: Salvation Army Office & Transitional Living Center

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12000 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169001011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Originally built by the Rheem Manufacturing Company in 1951 as a Development and Engineering Laboratory, the subject laboratory building, has been adapted by the Salvation Army to serve as a Transitional Living Center. Set in a U-shaped paved entry courtyard striped for parking, the front elevation is utilized for offices and administration. It faces Washington Boulevard on the north and reads vertically as a one story building with three discrete sections. The ground floor section has a centered entry door and is characterized by original two-over-four multipane fenestration on a running base panel of brick. The second level is divided into square sections of masonry separated by narrow engaged columnar dividers. Signage on this level reads "Santa Fe Springs Corps/ A Center for Worship and Service." The columnar elements extend upward to divide the third level, which consists of screening material. Aerial photos confirm this elevation to be a change of the north end of the laboratory building, its original office front façade.

(Continued on page 3)

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southwest 7/7/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1951 (Factual) Building Permit

\* P7. Owner and Address:

Salvation Army

\* P8. Recorded by: (Name, affiliation, address)

P. Lee, E. Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 9/5/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\* NRHP Status Code 3S

\* Resource Name or #: 12000 Washington Blvd

B1. Historic Name: Rheem Manufacturing Company

B2. Common Name: Salvation Army Office & Transitional Living Center

B3. Original Use: Industrial Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Rheem Corporation 7/6/1951: Building Permit #58869; \$200,000. 1/21/52: Neon sign: \$1200

Fluor Corporation: Remodel, \$132,000. Accessory Building 12/16/53, \$11,000. Office Repair 4/25/1962, 12,000

Moody Bible Institute: Door Modification, 1/11/66

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Alben Froberg

b. Builder: Christensen & Lyons

\* B10. Significance: Them Industrial Development

Area Santa Fe Springs

Period of Significance 1951

Property Type Industrial

Applicable Criteria A

Los Angeles County Building Permit #58869 was issued on July 6, 1951 to the Rheem Manufacturing Company with Alben Froberg listed as architect. Purpose of the building was stated as "Offices and Research Laboratories." A neon sign was permitted on January 1, 1952. The Fluor Corporation of Los Angeles occupied the building on December 15, 1953 when Los Angeles County issued an alteration permit. Use of the building is stated as "Alter existing building for use in Research & Development." Alterations consisted of pipe supports and changes to comply with regulations for hazardous materials. On April 24, 1962 and January 11, 1966, permits were granted to the Moody Bible Institute as owner for alteration of electric lights.

The Fluor Corporation was a pioneer in the United States industrial manufacturing and engineering business. John Simon Fluor founded the Fluor Construction Company in Santa Ana, California in 1912, securing its first oil and gas industry contract with the Southern California Gas Company in 1912. Beginning in the decade of the 1920s, the company expanded into the oil and gas industries, building plants and patenting technologies. During World War II, Fluor diversified into power and chemical industries and in the post-war period focused on research and development, introducing the use of scale models for large engineering projects as their business expanded overseas. Fluor Company's corporate history, available on the website timeline for the decade of the 1950s, states, "Fluor leads the way with a R&D laboratory in Whittier, California, developing new technologies." On October 13, 1953 in an article titled "Fluor to Hold Open House in New Addition," the Los Angeles Times reported that the company was officially unveiling its new addition at the 12000 Washington Boulevard facility. The addition contained 17,000 square feet of air-conditioned office and laboratory space and two acres of pilot plant installations. The story noted that the observance reflected research plans initiated by Fluor in 1941: "As its activities have continued to expand, the firm devoted more and more research effort to the improvement and development of processes and products for the petroleum, gas and chemical processing industries.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on page 4)

B13. Remarks:



\* B14. Evaluator: P. Lee, E. Hilton, B. Lamprecht, ICF International

Date of Evaluation: 9/5/2010

(This space reserved for official comments.)

**CONTINUATION SHEET**

Page 3 of 4 \* Resource Name or #: (Assigned by recorder Rheem Manufacturing Company)  
 \* Recorded by: P. Lee, E. Hilton, B. Lamprecht, ICF International \* Date: 9/5/2010  
 Continuation  Update

Description (continued).

Two short wing buildings, which are additions, are joined to the front elevation on its east and west ends; providing access to offices. The main entry on the front façade is on the west wing through glass double doors positioned under an open wood shelter. A tall, free standing brick panel covers the north end of the east wing with the legend 12000 East /Washington Boulevard in original metal upper-case letters. Around this corner a short transition section with façade elements of compatible brick and fascia board and two-over-four awning windows, indicates the depth of the original office portion of the front elevation joining the east elevation of the building.

The east elevation, together with the south and west elevations, comprise the original research laboratory. A long, narrow rectangular structure clad in brick with a running bond pattern, it carries a flat roof with a wide overhanging wood cornice. Below the cornice on these elevations is a continuous row of clerestory windows running around the building, composed of 8 panels of 4/20 square green lights which appear to be original. Access is through a wide centered door. Fenestration lighting the sections below the clerestory consists of double hung lights with narrow applied surrounds. A planting bed appears below the windows in the center section of the building abutting the paved and striped parking lot.

Significance (continued).

After the Fluor Corporation vacated the premises at 12000 Washington Boulevard, the property was taken over by the Moody Bible Institute who continued the research purpose of the building. A Los Angeles Times article dated November 8, 1975 described the Moody Institute as "headquartered at a three acre site on 12000 Washington Boulevard in Whittier where the Moody Institute processed film every year for international television distribution. At the present time the premises are occupied by the Santa Fe Corps of the Salvation Army as a transitional living center. The research building is used as a film and video studio called Studio 12000.

Alben Froberg, Architect

Architect Alan Froberg, born in Eureka, California and educated at the University of California, Berkeley, was a member of the East Bay Chapter of the A.I. A. and principal of his firm, Alan Froberg Architect. He was in the California and Oregon architectural registry and served as architect for the California State Board of Harbor Commissioners from 1917 to 1921. Froberg practiced in Oakland, California for 50 years and was principally noted for his industrial commissions. In 1953 he listed a group of his buildings for the roster maintained by the American Institute of Architects. Among the structures he reported for the period 1951-1952 were a Los Angeles aircraft plant, an ordnance plant in Richmond, California; a storefront factory in Oakland and "research building" in Whittier, California.

Eligibility for the National Register

The office/research building at 12000 E. Washington Boulevard appears eligible for the National Register under Criterion A, as a building associated with events that have made a significant contribution to the broad patterns of history. The building is significant for its role in the development of manufacturing and scientific research important in the Whittier/Santa Fe Springs area in the period of significance 1951-1959.

The research building and the wing additions, which were constructed within the period of significance, have retained substantial integrity. The only significant changes to the building are on the north front elevation and these appear to be partially reversible. While the original front is not completely visible, alterations have been sensitively done retaining fenestration so that the building now exhibits an unusual and effective example of adaptive reuse on this elevation. The remaining three elevations are substantially unchanged although window surrounds may have been added.

The construction of the building by the Rheem Corporation reflects the major expansion of commercial and residential development in California during and after World War II. The acquisition of the property and its research laboratory by the Fluor Corporation indicates the concurrent rise of innovative product design and research into aircraft, aviation and the oil industry that promoted and characterized Southern California business and commerce throughout the postwar period.



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

Trinomial \_\_\_\_\_

**CONTINUATION SHEET**

Page 4 of 4 \* Resource Name or #: (Assigned by recorder Rheem Manufacturing Company)  
 \* Recorded by: P. Lee, E. Hilton, B. Lamprecht, ICF International \* Date: 9/5/2010  
 Continuation  Update

References (continued).

Fluor to Hold Open House in New Addition." Los Angeles Times, October 13, 1954.p. A10

Russell Chandler, "Films show Compatibility of Science and Religion."Los Angeles Times November 8, 1975

"The Rheem Story," <http://www.rheem.com/about>

Los Angeles County Assessor's Records, Department of Building and Safety.

The AIA Historical Directory of American Architects – Roster 195-1952. Alben Froberg, architect.

<http://communities.aia.org/sites/hdaa>

American Institute of Architects Directory, George S. Koyl, ed. R.R. Bowker Company, New York, 1955.

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\* Resource Name or #: 11605 Washington Blvd

P1. Other Identifier: Steak Corral

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11605 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173024014

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The one-story Steak Corral restaurant is designed in the Ranch style. It is side gabled with a medium-pitched roof clad with composition shake shingles. Exterior surfaces are finished in board-and-batten siding. A covered entrance walkway spans half the length of the primary (south) façade. It is sheltered by a pent roof that extends beyond the roofline and is supported by thin wood posts. Wood-framed, four-light fixed windows on each elevation are flanked by wood shutters with decorative horseshoes affixed to them. A Palo Verde stone chimney is situated on the west elevation; a metal longhorn sculpture adorns the east elevation. A large rear lit plastic elevated sign fronting the building reads "Steak Corral" in stylized plastic letters. Landscaping consists of a variety of mature cactus and desert shrubs. The restaurant's mascot, a full size molded fiberglass cowboy near the main entrance is posed in the position of lassoing a plastic steak that hangs from the eaves. The property exhibits a high level of physical integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

Southeast elev, lkg northwest 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Beyer, Donald R

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 4

\* NRHP Status Code 3S

\* Resource Name or #: 11605 Washington Blvd

B1. Historic Name: Steak Corral

B2. Common Name: Steak Corral

B3. Original Use: Restaurant

B4. Present Use: Restaurant

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1965: Sign permit. Cost: \$400

1979: Fire repair. Cost: \$15,000

1982: Pole sign. Cost: \$4,000

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

Asphalt parking lot

B9a. Architect: H.m. Hanson

b. Builder: Unknown

\* B10. Significance: Them Commercial Development

Area Whittier

Period of Significance 1965

Property Type Restaurant

Applicable Criteria A & C

The Steak Corral was constructed in 1965 and is a highly intact expression of a theme restaurant. It is also a contemporary iteration of an American roadside restaurant along the evolutionary journey such establishments that began in the second half of the nineteenth century when quick, informal dining options began offering an alternative to the "old tradition of leisurely dining."

Chester Liebs writes that by the end of the nineteenth century and with the rapid expansion of commercial cities, white-collar workers began to partake of quick-service lunch options. Cafeterias designed specifically for the diner on a timetable allowed customers to move along a line while selecting from a display of daily items, then pay for a tray's worth and carry it to a table. Not all of the opportunities for eating away from home evolved to serve workers, however. Recreational eating was on the rise, best exemplified during this early period by the success of the soda fountain, a Civil War-era invention. Along with soda fountains, stands selling everything from hamburgers and popcorn to pies, cakes and soda water sprang up along amusement-park midways and fairs and at the entrances to city parks. Liebs cites the exponential growth in fast food and restaurant dining as evidence of shifts in social norms taking place in first decades of the twentieth century. These include the rising number of both men and women working away from home, the decline in the use of domestic help to prepare meals, and Prohibition, which eliminated much of the competition from barrooms between 1919 and 1933.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on page 4)

B13. Remarks:

(Sketch map with north arrow required)



\* B14. Evaluator: Meghan Potter, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

**CONTINUATION SHEET**

Page 3 of 4 \* Resource Name or #: (Assigned by recorder Steak Corral)  
 \* Recorded by: Meghan Potter, ICF International \* Date: 8/16/2010  
 Continuation  Update

B10. Significance (continued).

Technological advances in packing, storing, refrigerating, and shipping made the business of commercial meal preparation more economical. Most importantly, the restaurant population explosion coincided with the mass-production and availability of the automobile. The restaurant made road trips more pleasant, while cars made it easy for people to dine out as a form of recreation.

Following the end of World War II, millions of Americans began to take to the road in their new automobiles; move to the suburbs; eat out and watch movies at drive-ins. However, manufacturers had spent the preceding four years on the war effort and had not been able to redesign their commercial products in any noticeable way, leaving the commercial landscape literally and figuratively open to innovation. Liebs notes that everything from automobiles to roadside buildings was dominated by prewar motifs. As architects and designers turned once again to consumer product design, several building techniques were employed again and again to attract the attention of passing motorists and distinguish themselves from their predecessors. The first was the Modern trend of exaggerating the building's functional components, such as Eduardo Catalano's "hyperbolic parabola" roof in 1955, V-shaped columns, large expanses of floating glass and undulating canopies of concrete. In Los Angeles these are best exemplified by Google architectural designs for coffee shops, bowling alleys, supermarkets, and other commercial buildings, such as Ship's Westwood (1958, demolished 1984). Another was the Bob's Big Boy chain of restaurants, which utilized large fiberglass statues of the Big Boy out front in addition to magnificent neon signs to attract customers into its modern buildings.

The second trend was towards the nostalgic architecture of the prewar years: quaint storybook cottages, wigwams, teepees and the like, as well as newer "themed styles" representing the Orient, South Seas, Old World and South of the Border. Some formal examples are termed "Polynesian Pop" or "Tiki." Trader Vic's, established in 1936, is an early example of this trend. Fantasy and technology-related motifs were also used and reflect the public's fascination with 1950s and 1960s advances into space technology and exploration. One such example is The Proud Bird (1967), an aviation-themed restaurant located near Los Angeles International Airport that offered views of the runways.

The Western style was one popular example of the themed building trend, evoking nostalgia for the "good old days" before the world wars and era of technological innovation. Pop-culture historian Charles Phoenix writes that western theme parks, wigwam-shaped motel rooms, log cabin restaurants and chuck wagon buffets offered an alternative to the space-age look of the day and that western-themed motels, cafes, barbeque joints and restaurants represent the suburban ranch style taken to the extreme. Many had wood-paneled interiors and the "authentic" décor of old wagon wheels, hurricane lamps and stuffed wild animals. An early example of the constructed Western environment is Knott's Berry Farm's School House Road and Ghost Town, located in Buena Park. Constructed during the 1940s and 1950s, the town had a schoolhouse, blacksmith shop, Chinese laundry, and costume-wearing staff. By the late 1960s and early 1970s, this nostalgia was combined with out-and-out disenchantment with the results of new technologies and urban renewal. The "rustic" vocabulary of brick walls or unpainted board-and-batten siding, smaller signs with less neon and more acrylic or wood, and low maintenance landscaping, were applied to many commercial establishments in this era to telegraph an image of environmental awareness.

The Western genre had a long history of dramatization in vaudeville, radio, film, and television prior to its appropriation for restaurant and other theme buildings. Will Rogers began his career on the vaudeville circuit early in the early twentieth century doing Westerns and branched out into silent films and later talkies. He was one of the most popular stars during the 1920s and 1930s. Gene Autry, the "singing cowboy," was discovered by Rogers in the late 1920s. Rogers encouraged him to try radio, and by the late 1930s, Autry was one of the most popular stars in America, starring in radio, film and television. In the 1950s, he produced and starred in The Gene Autry Show and produced other film series such as Annie Oakley, the Range Rider, and Buffalo Bill, Jr. Gunsmoke (1955-1975) was enormously popular during the period when the building was constructed. These television shows are notable also for the variety of merchandizing associated with them, from Western-themed toys and games to cowboy clothing.

The Steak Corral located at 11605 Washington Boulevard is the last of a small chain of Western-themed restaurants from the eastern portion of Los Angeles County. Based on tax records and matchbooks produced by the restaurant, the chain began in

**CONTINUATION SHEET**

Page 4 of 4 \* Resource Name or #: (Assigned by recorder Steak Corral)  
 \* Recorded by: Meghan Potter, ICF International \* Date: 8/16/2010  
 Continuation  Update

1955 with the San Gabriel restaurant located at 320 W. Las Tunas before expanding to Arcadia in 1963 at 625 E. Live Oak and Whittier in 1965. Soon after came Pasadena at 800 N. Lake Avenue, followed by West Covina at 501 N. Azusa, Santa Ana at 1801 E. 17th Street, and lastly Temple City at 4445 Las Tunas Blvd. By 1984, according to a printed menu, only the West Covina and Whittier branches remained. The chain capitalized on the popularity of Western motifs with decorations both inside and out. The Steak Corral exhibits many of the requisite features found in a Western-themed restaurant, including unpainted board and batten siding, decorative wood shutters and other Western paraphernalia, including wagon wheels and horseshoes, and a full-size fiberglass cowboy near the main entrance.

Other Western-themed chain restaurants still in existence in Southern California include the Clearman's North Woods Inn chain, with restaurants located at 7247 Rosemead Blvd, San Gabriel; 14305 Firestone Blvd, La Mirada; and 540 N. Azusa Ave in Covina. The Clearman's brand also owns the Steak n' Stein theme restaurant at 9545 E. Whittier Blvd in Pico Rivera and 'The Boat,' which was originally a mail-service vessel serving ports between San Francisco and Alaska. In 1968, John Clearman acquired it and anchored it on Huntington Drive serve as a hamburger stand. The original has been demolished and today, a larger replica incorporating the original wheelhouse stands at 7215 N. Rosemead Blvd in San Gabriel. The Steak Corral is the only one of the above-listed restaurants that utilizes board and batten siding in its construction. The Clearman's chain, for example, favored log cabins. Tastes began to change again in the 1970s with the dawn of both the historic preservation movement and the popularity of Postmodern architecture. This led to the eventual disappearance of most themed restaurants in Southern California. The Steak Corral and Clearman's are two of the few surviving examples of the theme architecture trend.

The Steak Corral at 11605 Washington Boulevard is an intact presentation of a theme restaurant, an important chapter in the pop-culture history of the United States in the two decades following World War II. It was erected in 1965 at the tail end the era of theme restaurant construction and is the last of the nine-outlet Steak Corral chain still in existence. Its historic importance is enhanced by the loss of a majority of themed establishments in general and Western-themed restaurants in particular in greater Los Angeles. Thus, the property meets National Register Criterion A for its embodiment of the theme restaurant trend in post-war Los Angeles. In addition, the Steak Corral is a rare, intact example of a Western style themed restaurant exhibiting the style's key character-defining features, including board and batten siding, wood-framed divided light windows, and decorative elements such as horseshoes and cow horns. Therefore, the building is eligible for the National Register of Historic Places under Criterion C at the local level of significance as an example of its style and type.

## B12. References (continued).

"Clearman's Galley, 'The Boat,' Made Southern California Dining History." Press Release. Huntington Advertising & Public Relations. Nov. 17, 2008.

Hess, Alan. Googie: fifties coffee shop architecture. San Francisco: Chronicle Books, 1985.

Liebs, Chester H. Main Street to Miracle Mile: American Roadside Architecture. Baltimore: The John's Hopkins University Press, 1995.

Matchbooks and menu provided by Chris Nichols. Email correspondence. May 24, 2010.

"Museum Founders: Gene Autry, 1907-1998." Autry. [Www.theautry.org](http://www.theautry.org)

Phoenix, Charles. Southern California in the '50s: Sun, Fun and Fantasy. Santa Monica, California: Angel City Press, 2001.

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 4

\* Resource Name or #: 856 North Garfield Ave

P1. Other Identifier: Chinese Garden Restaurant

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 856 North Garfield Ave City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 5268001033

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story restaurant building is rectangular in plan and capped by a flat roof with parapet. It faces west onto Garfield Avenue. The primary (west) elevation is characterized by a by a deep canopy that projects over a wall of aluminum-framed floor-to-ceiling plate glass windows. The main entrance consists of a centrally located aluminum-framed, glazed entry door with sidelight and a transom of glass louvers. Fronting the primary elevation is a wide planter containing a dense garden of mature rubber trees, banana trees, and other subtropical flora. The garden visually buffers the restaurant from the street while providing a lush, garden like setting for diners within; however, the landscaping largely obscures the building from the street. A freestanding two-sided rear-lit plastic pole sign advertising the restaurant stands in the garden at the entry. An asphalt parking lot at the rear of the building that is shared by the shopping center leads to a secondary entrance. The restaurant's interior is relatively original with the only alterations being the removal of a portion of the original dining counter near the main kitchen entrance; removal of two wall suspended pie cases from behind the counter; and replacement of a lighting fixture replaced contemporary fixture circa 2008. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 9/16/2010



\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Mar, Jane K

\* P8. Recorded by: (Name, affiliation, address)

John English  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 1/11/2011

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 4\* NRHP Status Code 3CS\* Resource Name or #: 856 North Garfield AveB1. Historic Name: NoneB2. Common Name: Chinese Garden RestaurantB3. Original Use: RestaurantB4. Present Use: Restaurant\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

June 21, 1962: Permit issued for one-story, 3000 sq. ft restaurant. Value: \$25,000

Sept 25, 1962: Permit issued for plastic pole sign. Value: \$590

Mid-1960s: No permit located. Owner indicates storeroom addition at rear of building

Mid-1960s: Decorative Asian garden at rear of property removed.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Perry M. Neuschatz, Gerald Kaushansky b. Builder: Dreyer Const. Co. Inc.\* B10. Significance: Theme Ethnic Chinese restaurants Area MontebelloPeriod of Significance 1962 Property Type Commercial Applicable Criteria CRHR 1

The Chinese Garden Restaurant appears to be eligible for listing in the California Register under Criterion 1 for its association with the broad pattern of Chinese "Chop Suey" restaurants erected in suburban areas throughout the United States following World War II. It retains a high level of integrity and is an increasingly rare regional example that continues to exemplify this trend. It also is an important example of mid-twentieth century Chinese-American entrepreneurship given the property's continuous ownership by the Mar family since the building was erected in 1962.

In 1960, the parcel upon which the restaurant would be constructed two years later was acquired by Chinese immigrants Sam and Jane Mar who were living at the time in the Lincoln Heights neighborhood of Los Angeles. Personal interviews with co-owner Jane Mar and her daughter Macy Mar in June and July of 2010 reveal much about the history of the subject property. Having saved money and looking for an opportunity to work for themselves and start their own business, Sam and Jane Mar purchased the last undeveloped parcel in a series of one-story retail buildings that comprised a modest commercial center at Garfield Boulevard and what was then Third Street (now Via Campo). However, their plans to construct a Chinese restaurant on the parcel were delayed two years due to a lack of financing. Finally, in June 1962, a building permit was issued for the construction of a one-story, three thousand square-foot restaurant that was named the Chinese Garden. The business has continually served the area since 1962 under the ownership of the Mar family.

According to Professor Leland Saito of the University of Southern California, a specialist in ethnic studies, the fact of the subject property's continuous ownership by a Chinese-American family since the early 1960s is of some significance.[endnote 1] Specifically, Chinese immigrants to the United States in the early to middle years of the twentieth century often gravitated to several types of businesses, one of which was Chinese restaurants. The history of the Mar family and their continued association with the Chinese Garden restaurant epitomizes that cultural phenomenon. (continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

Coe, Andrew. "Chop Suey: A Cultural History of Chinese Food in the United States," Oxford Univ. Press, 2009; Orig. architectural plans; AIA Directory 1970; Bldg permits; Sanborn maps; L.A. County Tax Assessor

B13. Remarks:

(Sketch map with north arrow required)

\* B14. Evaluator: John English, ICF InternationalDate of Evaluation: 1/11/2011

(This space reserved for official comments.)

**CONTINUATION SHEET**Page 3 of 4 \* Resource Name or #: (Assigned by recorder) 856 North Garfield Ave\* Recorded by: John English, ICF International\* Date: 1/11/2011 Continuation Update

B10. Significance continued.

The Chinese Garden restaurant originally served Chinese and American food including such dishes as Chop Suey, Chow Mein, and chicken fried steak. It was popular with Chinese as well as non-Chinese customers. Over the years dishes evolved to meet individual customer preferences ("Latino customers liked their Chow Mein this way while Caucasian customers preferred their Chop Suey another way"[endnote 2]) yet the restaurant has continued to offer Cantonese style cuisine since 1962.

Current research indicates that the Chinese Garden was one of the earliest Chinese restaurants in the Montebello community. It remains an important example of a family-run Chinese restaurant that served a predominantly non-Chinese and increasingly diverse customer base over the years and is representative of ethnic entrepreneurship from the early 1960s.

According to Andrew Coe in his authoritative book on the subject, "Chop Suey: A Cultural History of Chinese Food in the United States," the origins of Chop Suey can be traced to San Francisco's Chinatown during the period of California's Gold Rush. However, its broader acceptance by western tastes occurred in New York's Chinatown during the 1880s. The popularity of Cantonese style Chop Suey restaurants increased greatly during the first two decades of the twentieth century creating what became a nationally recognized trend. After the Second World War, Chop Suey restaurants appeared in suburban communities across the United States.[endnote 3] Notes Coe,

"In the decades following World War II, Chinese restaurant owner's hung on by adapting their businesses to the to changes in the larger society. They followed Americans out of the center cities, opening eateries in new suburbs like Levittown New York, and Park Forrest Illinois. There they encountered competition from the new fast food hamburger stands, fried chicken restaurants, and pizza parlors that were catering to hungry, busy Americans. To compete, Chinese restaurants capitalized on one of their longtime strengths: the ability to sell large portions of inexpensive food."[endnote 4]

Some of these restaurants operated out of remodeled spaces within existing commercial buildings while others opened in modest, newly constructed shopping centers or along the commercial strip. Many took the form of diners or coffee shops with predominantly simple modern interior spaces featuring stainless steel kitchens, counter tops and tables of plastic laminate, vinyl booths, and ceiling mounted lighting. Usually added to this was a limited amount of applied Chinese décor such as lanterns, scrolls, and framed pictures. The subject property is one such example. Others were more highly planned, integrating abstract Chinese themes, colors schemes, and shapes into their designs that would later be identified as Chinese Modern. Others attempted to latch onto the popularity of Polynesian restaurants of the era such as Trader Vic's and Don the Beachcomber by offering exotic rum drinks with their standard Cantonese fare. In the case of the subject property, the Chinese Garden restaurant was relatively restrained in its interior décor and did not include cocktails on its menu.

Starting in the 1970s, the variety of Chinese restaurants began to increase with the introduction of cuisines from the Hunan and Szechwan regions of China. Given their distinctly different, and spicier, flavors in comparison with Cantonese style dishes (the original source of Chop Suey), these newer Chinese restaurants quickly grew in popularity often supplanting their Cantonese cousins. In the 1980s, Thai restaurants and Japanese sushi restaurants appeared in cities across America further eroding the demand for Cantonese food. As a result, by the 2000s, the number of Cantonese style Chop Suey restaurants had declined to such a point that few remained in many of the Southern California suburbs in which they had thrived 30 to 40 years prior.[endnote 5]

Given the precipitous decline of traditional Cantonese Chop Suey restaurants such as the subject Chinese Garden in Greater Los Angeles in general and Montebello in particular, the property represents a rare surviving example exhibiting a high degree of integrity. Further, the subject property has remained under continuous ownership by the original Chinese-American family since 1962 representing a tangible link between the immigrant entrepreneurial spirit of that group from the mid-twentieth century to today. As a result, the property appears eligible for listing in the National Register under Criterion A for historic associations.

The architects for the subject property were Perry M. Neuschatz AIA Associate, and Gerald Kaushansky AIA, whose offices were located at 800 South Robertson Boulevard in Los Angeles.[endnote 6] Current research suggests that Neuschatz and



**CONTINUATION SHEET**

Page 4 of 4 \* Resource Name or #: (Assigned by recorder) 856 North Garfield Ave  
 \* Recorded by: John English, ICF International \* Date: 1/11/2011  
 Continuation  Update

Kaushansky would not be considered master architects. While the building retains a high level of integrity it is not a particularly noteworthy example of modern or Chinese-Modern restaurant design from the Post World War II period. Therefore, it does not meet the criteria for listing in the National Register under Criterion C. As for eligibility under Criterion B, neither the Mar family or the architects could be considered historic personages according to National Register guidelines.

## Endnotes:

- 1 - Telephone conversation with Leland Saito, Associate Professor of sociology and American studies and ethnicity, University of Southern California, September 30, 2010
- 2 - Personal interview with Macy Mar, July 8, 2010
- 3 - Coe, Andrew, Chop Suey: A Cultural History of Chinese Food in the United States, Oxford University Press, 2009, pg. 211
- 4 - Ibid
- 5 - Ibid
- 6 - 1970 AIA Directory - [http://communities.aia.org/sites/hdoaa/wiki/American%20Architects%20Directories/1970%20American%20Architects%20Directory/Bowker\\_1970\\_N.pdf](http://communities.aia.org/sites/hdoaa/wiki/American%20Architects%20Directories/1970%20American%20Architects%20Directory/Bowker_1970_N.pdf)

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 3

\* Resource Name or #: 9122 East Washington Blvd

P1. Other Identifier: Pico Rivera Historical Museum

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9122 East Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381003900

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The former Atchison, Topeka & Santa Fe Railway Depot located at 9122 Washington Boulevard in Pico Rivera, California is a one-story, turn-of-the-twentieth century Victorian railroad depot. The north-facing building is cross-gabled in plan and capped by a side-gabled jerkinhead roof. A steeply pitched cross-gable portion is located at the building's center, forming a shallow front cross-gable. - Character-defining features of the style present in the building include the roof with multiple forms and gables, scrolled gables in the outrigger brackets on the front gable, decorative trim at the plate line, running board at the base of the building, and narrow multi-light sliding sash windows. A raised board demarcates the water table, which along with the gable peak features vertical wood siding. Narrow clapboard siding sheathes the rest of the building. Fenestration throughout the building typically consists of 16-over-4 sliding sash windows, and there is a bay window in the front gable. The primary entrance is located in the side of the front gable, sheltered beneath a one-story porch formed by a short shed roof supported by wood posts with curved brackets. The porch is affixed to the front gable, and also features a projecting three-sided north-facing bay window with 16-over-4 windows above a three-sided perforated wood screen similar to one located above the one-vehicle garage door on the west side of the depot. The wood door at the entrance is topped by a divided-light transom window. A secondary entrance at the rear of the building is recessed behind a wrought-iron gate.

\* P3b. Resource Attributes: (List attributes and codes) HP17 Railroad Depot

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010



\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1886 (Estimated) Tax Assessor

\* P7. Owner and Address:

Pico Rivera City

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 3\* NRHP Status Code 3CS\* Resource Name or #: 9122 East Washington BlvdB1. Historic Name: Atchison, Topeka & Santa Fe Railroad StationB2. Common Name: Pico Rivera Historical MuseumB3. Original Use: Railroad StationB4. Present Use: Museum\* B5. Architectural Style: Gothic Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

The building was likely constructed around 1885 or 1886. In 1973, a building permit was issued to the City of Pico Rivera to "relocate and reconstruct" the unused building at 9122 E. Washington Blvd. No other building permits were found.

\* B7. Moved?  No  Yes  Unknown Date: 1973 Original Location: SF tracks, near Serapis Ave

\* B8. Related Features:

B9a. Architect: Unknownb. Builder: Unknown\* B10. Significance: Theme Railroad Architecture Area Pico RiveraPeriod of Significance 1886 Property Type Railroad Depot Applicable Criteria 1, 2

The Santa Fe Railroad Station building is the last surviving example of an early railroad depot located in the City of the Pico Rivera. Anecdotal reports indicate that the building was completed in 1907. However, building plans exist from 1886 and 1896 and the building's architectural character indicates an earlier date of actual construction, possibly before the turn of the twentieth century. The depot remained in active freight and passenger service until the 1960s at its original location on Serapis Avenue near Slauson Avenue and Rosemead Boulevard in Pico Rivera. In 1972, it was acquired by the city and in 1973 it was moved to the current site to house the offices of the Chamber of Commerce. In 1998 the building became the home of the Pico Rivera Historical Museum.

The communities that became the City of Pico Rivera were established in the 1870s as the towns of Pico and Rivera. Located on fertile land between the Rio Hondo and San Gabriel rivers, the area became known for its citrus, avocado and walnut groves. Railroad lines were crucial to Rivera's development, the necessary link between the groves and the marketplace. The first line in the area belonged to the Southern California Railroad Company, which extended tracks out of Los Angeles towards San Bernardino, Anaheim, Orange and Riverside and placed a stop in Rivera. The company was later acquired by the Atchison, Topeka and Santa Fe Railroad, which broke the transportation monopoly of the Southern Pacific Railroad when it arrived in March of 1886. The Santa Fe slashed the price of rail tickets from towns along the Missouri River to Los Angeles, precipitating a real estate boom that came to be known as the "Boom of the Eighties." In addition to the Santa Fe, the valley was bisected by the Union Pacific around 1902 when it created a station in Pico to accommodate the farmers there. During the Boom, the competing railroad companies sited many towns and attempted to develop many existing ones.

(Continued on page 3)

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times.  
(Continued on page 3)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)

(Sketch map with north arrow required)



**CONTINUATION SHEET**Page 3 of 3 \* Resource Name or #: (Assigned by recorder) Atchison, Topeka & Santa Fe Railroad Station\* Recorded by: Meghan Potter, ICF International\* Date: 8/16/2010 Continuation Update

## B10. Significance (continued).

The Santa Fe laid out 25 towns just on the 37 miles of the eastern part of Los Angeles County. After the collapse of the boom, Rivera was considered a "ghost town," although the agriculture base developed in the area prior to the boom years appears to have helped the town weather that period of boom and bust.

During this early period, the Santa Fe depot site was used to ship both produce and people. The building was divided into three sections; one for baggage, a central ticket office, and a waiting room for passengers. A small porch outside the passenger waiting room was partially sheltered by latticework. The building retains this original latticework, which may be seen from Washington Boulevard. In the early twentieth century, due to the volume of produce produced on the surrounding farms, a separate small building nearby the depot was constructed solely to hold outgoing produce. That building has since been demolished. In the early twentieth century, packing houses much larger than the Santa Fe depot were ubiquitous sites along the railroads. They were the direct point of contact with growers for most of the activities associated with citrus production. Functions included grading, packing, storing, shipping, and other orchard services, such as selling oil for smudge pots, pruning, fumigating and spraying. The Santa Fe depot is a rare example of a diminutive building used for agricultural distribution purposes.

In 1903, additional passenger service in the area was established by the Pacific Electric Railroad, which laid one of its many branch lines to Whittier on a route that passed through the Pico and Rivera area. Despite this, the Santa Fe depot continued to serve passengers as well as freight. The PE red cars operated until 1938 alongside the Southern Pacific, which operated passenger service continuously until the 1960s. The Santa Fe Railroad Depot is not eligible for the National Register of Historic Places under Criterion C for architecture and does not meet the requirements for Criterion Consideration B: moved properties. However, it does qualify for listing on the California Register of Historical Resources under Criteria 1 and 2 and special consideration 1: moved buildings, structures or objects for its association with early transportation, agriculture and settlement and for its architectural integrity.

The building does not possess integrity of location, setting and association because it was moved from its original site adjacent to the rail line to a new one on Washington Boulevard to save it from demolition. Due to alterations, the Santa Fe Railroad Depot does not meet the higher eligibility requirements to the National Register required of moved properties. According to the CR, a moved building that is otherwise eligible may be listed in the CR if it was moved to prevent demolition and if the new location is compatible with the original character and use of the historic resource. Although the association with rail has been lost, the building's current location is somewhat comparable with the historic location in that Washington Boulevard, like the rail line, is a highly-trafficked thoroughfare used for commercial goods. In addition, the building is occupied by a local museum that documents the history of Pico Rivera, including its history of rail and agriculture.

The depot has been altered, but it does retain most of its integrity of design, materials, workmanship, and feeling. Some of the alterations are greater than 50 years of age (a date at this point has not been substantiated), and some date from 1973 when the building was retrofitted during the relocation. For instance, one of the bay doors used for loading and unloading produce has been fixed into the wall and the rear entrance, which formerly faced the tracks and through which passengers boarded the trains, has been narrowed to accommodate the addition of a closet and bathroom inside the station. These alterations preclude the building's qualification to the National Register under Criterion C and Criterion Consideration B: moved properties.

## B12. References (continued).

Cole, Martin. Pico Rivera: Where the World Began. Whittier, California: Rio Hondo College Community Services, 1981.

Dumke, Glenn S. The Boom of the Eighties in Southern California. San Marino, CA: Huntington Library, 1944. ICF

International. LA-Anaheim High Speed Rail Historic Context Statement. 2010.

Pitt, Leonard and Dale Pitt. Los Angeles A to Z: An Encyclopedia of the City and County. Berkeley: University of California Press, 1997.

"The History of the College Heights Lemon Packing House." The Packing House. [www.claremontpackinghouse.com](http://www.claremontpackinghouse.com)

# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2131 Garfield Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2131 Garfield Ave City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336013015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

2131 Garfield Avenue is large west-facing industrial building of concrete construction with a truss-supported parapeted roof, and non-original false mansard metal roofed sections. The overall Modern design is asymmetrically organized in plan and elevation. A later addition at front features continuous black anodized aluminum-trimmed windows, and is surmounted by a later false mansard metal roof. The public entrance to the building is on the south elevation, recessed from a surface parking lot and characterized by a tall, shallow mansard-like canopy. In the parking lot stands a tall pylon aligned perpendicular to the street. The pylon's deep stucco and metal lintel contains company signage. With the exception of a narrow grass turf setback area along the public sidewalk, tall black steel security fencing encloses the remainder of the parcel. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1954 (Factual) Building Permit

\* P7. Owner and Address:

Marounian, Krikor & Silva Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 2131 Garfield Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1955: Addition. Cost: \$105,000

1975: Addition. Cost: \$150,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Stiles O. Clements

b. Builder: Geo. W. Carter Co.

\* B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1960

Property Type Industrial

Applicable Criteria N/A

The 1954 building permit indicates that Cold Metal Products Co. was the original owner. The architect was Stiles Clements. The builder was Geo. W. Carter Co.

As with other industrial and commercial buildings in this area, this concrete building, now housing a container-making plant, is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property retains only a low level of design integrity due to additions in 1955 and 1975, which included so many substantial alterations that its original appearance is unrecognizable. The structure's architect was Stiles O. Clements. Clements (1883 - 1966) was a famous and prolific architect of many Los Angeles buildings and renowned for his Art Deco and Streamline Moderne buildings exemplified by the extant El Capitan, Mayan and Wiltern theatres in Los Angeles and the Samson Uniroyal Tire Factory, 1930, a manufacturing and warehouse facility adaptively converted for use as a major Southern California multi-outlet retail facility.

The versatile Clements, who trained at the École des Beaux-Arts, Paris, also designed landmark commercial and public buildings, including the Richfield Tower in downtown Los Angeles (demolished). Clements designed two commercial/light industrial buildings within the subject area in his late career. While a crisp example of a Modernist aesthetic applied to an industrial building type, 6825 East Washington Boulevard is not an excellent representative of the Modern architectural style and is not representative of his earlier outstanding work. The subject property, 2131 Garfield Ave., no longer retains design integrity and does not meet the criteria for significance required for federal, state or local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2136 Garfield Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2136 Garfield Ave City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app APN(s): 6336003047

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The west-facing subject building, originally a large manufacturing/warehouse building and now housing a commercial furniture importing firm, is constructed of reinforced concrete. The Vernacular Modern building is surmounted by a truss-supported rolled composition-sheathed roof that features some skylight elements that peek out above the deep, flat parapet, a key feature of the primary elevation. Below that parapet the façade is organized into the entrance on the south and a long expanse of windows screened from view by fixed vertically-aligned louvers on the north. The entrance, a metal framed glass door with glass surround, is accessed from a tall porch sheltered by a flat-roofed cantilevered canopy that projects out roughly four feet and extends across perhaps one-quarter of the façade on the north and about 12 feet beyond the building envelope on the south, shielding a truck bay from public view. The entrance also features a full-height slump stone decorative wall treatment, additionally seen on the low wall at the base of the façade running the expanse of the structure along Garfield Avenue. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1954 (Factual) Building Permit

\* P7. Owner and Address:

Merritt, Robert J Co Trust Et Al

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR, Metropolitan Transportation Authority, Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 2136 Garfield Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
 Construction Date: 1954

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Jack H. Macdonald

b. Builder: Jack H. Macdonald

\* B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1954

Property Type Industrial

Applicable Criteria N/A

The 1954 building permit indicates that Coty Company Inc. was the original owner. The architect was Jack H. Macdonald. The builder was Jack H. Macdonald.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, now containing a one-story furniture importing facility that was formerly a manufacturing plant and warehouse, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement including architect/builder Jack H. MacDonald (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2216 Garfield Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2216 Garfield Ave City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336004005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

2136 Garfield Avenue is a large one-story industrial building of reinforced concrete construction with a patterned concrete block integral planting box at the base of the front and west side walls. It features a truss-supported roof with skylight monitors that rise just above the parapet wall. The building pivots at its northwest corner in acknowledgement of its location at the corner of two busy thoroughfares. The entry is located at this northwest corner and is accessed by a tall concrete porch, partially sheltered by a cantilevered canopy that extends along a portion of the south wall with a return around the north corner wall. Tall vertically-aligned display windows penetrate the south wall south from the entrance atop a tall integral planter. Further south is a second entrance screened by a separate cantilevered canopy. A tall concrete block wing wall and concrete ramp define this portion of the façade. A variety of continual bands of windows are key design elements. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1953 (Estimated) Tax Assessor

\* P7. Owner and Address:

Garfield Developments Ltd

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 2216 Garfield Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Original permit not available

1975: Wall sign. Cost: \$1,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Commerce

Period of Significance 1953

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story industrial building now used as a commercial venue as a furniture outlet, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2041 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2041 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336012014

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

A series of three very low-pitched front-gabled roof elements surrounded by a low parapet crowns this large one-story Modern industrial building. Of concrete construction, the building is distinguished by the use of Roman Brick for cladding and a decorative wall that projects north from the primary (east) elevation near the entrance. A ribbon of metal-framed windows sheltered by an elongated cantilevered canopy distinguishes the façade. Most notable is the building's main entrance area, which is comprised of Roman brick walls, a broad cantilevered porch roof supported by steel posts, and an aluminum-framed glazed entry door with flanking plate glass windows and transoms. Clipped hedges and ivy soften the elongated façade near the sidewalk. Freight openings occupy the south end of the building, with a plan that is L-shaped at that location. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1955 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* **Resource Name or #:** 2041 Saybrook AvenueB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* **B5. Architectural Style:** Modern\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

1959: Addition. Cost: \$79,600

1967: Addition. Cost: \$7,500

1967: Addition. Cost: \$67,500

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**B9a. Architect: F. O. Bigelowb. Builder: O. K. Earl Jr.\* **B10. Significance:** Theme Industrial DevelopmentArea CommercePeriod of Significance 1955Property Type IndustrialApplicable Criteria N/A

The 1955 building permit indicates that Saybrook Corp. was the original owner. The architect was F. O. Bigelow. The builder was O. K. Earl Jr.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a large industrial building exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect F.O. Bigelow or builder O.K. Earl Jr., landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of a utilitarian industrial building. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Peter Moruzzi, ICF InternationalDate of Evaluation: 10/29/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2117 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2117 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336012041

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This very large property consists of two parcels and several buildings. The adjacent parcel, APN 6336012042, runs along Covette Street. Each of the buildings is utilitarian in design, of reinforced concrete construction and capped by either a flat roof with parapet or truss roof. Fenestration, where present, consists of metal-framed fixed windows. Some entrances and freight openings are sheltered by cantilevered canopies. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1967 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 2117 Saybrook AvenueB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Utilitarian\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1967\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: L. A. Wallisb. Builder: Not Listed\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1967Property Type IndustrialApplicable Criteria N/A

The 1967 building permit indicates that National Starch was the original owner. The architect was L. A. Wallis. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing several industrial buildings exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect L.A. Wallis, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of a utilitarian industrial building. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF InternationalDate of Evaluation: 10/29/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2117 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2117 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336012042

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This very large property consists of two parcels and several buildings. The adjacent parcel, APN 6336012041, primarily faces Saybrook Avenue. This utilitarian building is of concrete block construction and without any windows visible from the public right-of-way. The roof is flat with a slight parapet. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1955 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 2117 Saybrook AvenueB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1962: Addition/Alteration. Cost: \$40,000

1963: Addition/Alteration. Cost: \$22,000

1963: New Building. Cost: \$20,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: F. Lowtherb. Builder: Wm. P. Neil\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1955Property Type IndustrialApplicable Criteria N/A

The 1955 building permit indicates that Rohr Aircraft Corp. was the original owner. The architect was F. Lowther. The builder was Wm. P. Neil.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a nondescript utilitarian industrial building exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect F. Lowther and builder William P. Neil, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of a utilitarian industrial building. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF InternationalDate of Evaluation: 10/29/2010

(This space reserved for official comments.)





# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2211 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2211 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336012027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof with parapet, this one-story vernacular modern industrial building is of concrete construction. Natural rock veneer ornaments the areas near pedestrian entrances. Fenestration consists of a band of metal framed fixed windows along the primary (east) elevation. A thin, cantilevered concrete canopy shelters both the windows and the primary entrance, which is located on the building's southeast corner and accessed via concrete steps. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1963 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 2211 Saybrook AvenueB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1980: Alteration/Addition. Cost: \$10,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: L. W. Phelpsb. Builder: Ted R. Cooper Co.\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1963Property Type IndustrialApplicable Criteria N/A

The 1963 building permit indicates that M. W. Brainard was the original owner. The architect was L. W. Phelps. The builder was Ted R. Cooper Co..

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story vernacular modern industrial building exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including M.W. Brainard, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect L.W. Phelps and builder Ted R. Cooper Co., landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the vernacular modern style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF InternationalDate of Evaluation: 10/29/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2253 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2253 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336012028

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof with parapet, this large one-story vernacular modern industrial building is of concrete construction. Metal-framed windows are obscured by security bars on all elevations. Two entrances punctuate the building. One is located near the southeast corner and is accessed via concrete steps. A decorative concrete block wall on the west side of the steps extends past the façade for dramatic effect. The entry door is flanked on both sides by plate glass windows fronted by security bars. The other pedestrian entrance is located near the center of the building and its associated windows are shielded by a perforated concrete screen. Red brick accents and natural block veneer decorate the primary (east) elevation at various points. Landscaping consists of concrete block planters containing clipped hedges that front the building, several trees, and a grass lawn. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1962 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* **Resource Name or #:** 2253 Saybrook Avenue

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* **B5. Architectural Style:** Vernacular Modern

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Erected in 1962

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: David Witherly

b. Builder: Carpenter And Smallwood

\* **B10. Significance:** Theme Industrial Development

Area Commerce

Period of Significance 1962

Property Type Industrial

Applicable Criteria N/A

The 1962 building permit indicates that Keystone was the original owner. The architect was David Witherly. The builder was Carpenter And Smallwood.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story vernacular modern industrial building exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect David Witherly and builder Carpenter & Smallwood, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the vernacular modern style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Peter Moruzzi, ICF International

**Date of Evaluation:** 10/29/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 2313 Saybrook Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 2313 Saybrook Avenue City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336011006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof with parapet, this large one-story vernacular modern industrial building is clad in red brick. The building's main entrance is located near the south end of the primary (east) elevation and consists of a several steel-framed, multi-pane fixed and casement windows and an entry door sheltered by a cantilevered canopy. A natural rock-covered entry wall is perpendicular to the east elevation. A row of freight opening occupies the north elevation. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg southwest 10/26/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1955 (Factual) Tax Assessor

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/29/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 2313 Saybrook AvenueB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Vernacular Modern\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1955\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: F. Lowtherb. Builder: Wm. P. Neil\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1955Property Type IndustrialApplicable Criteria N/A

The 1955 building permit indicates that Stephen F. Whitman was the original owner. The architect was F. Lowther. The builder was Wm. P. Neil.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story vernacular modern industrial building exhibiting a high level of integrity, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Stephen F. Whitman, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect F. Lowther and builder William P. Neil, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the vernacular modern style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF InternationalDate of Evaluation: 10/29/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6711 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6711 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as appro  
APN(s): 6336003046

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Located on a corner lot, this large Vernacular Modern commercial warehouse building is one story in height and is constructed of tilt-up concrete slab construction, with a rectangular plan. The roof appears to be a barrel shaped composition roof, with possible wood or steel truss structure. The windows are rectangular and square with metal frames. The southwest corner of the building is diagonally clipped, with a projecting horizontal flat lower roofs and stone veneer siding, and is where the retail store's recessed main entrance is located. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

National Washington Boulevard

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 6711 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: WarehouseB4. Present Use: Warehouse\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1957: Addition. Cost: \$25,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Donald R. Warrenb. Builder: Wm. Simpson\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1955Property Type IndustrialApplicable Criteria N/A

The 1955 building permit indicates that Hunting - Roberts Co. was the original owner. The architect was Donald R. Warren. The builder was Wm. Simpson.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story warehouse, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Donald R. Warren and builder William Simpson, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style.

Los Angeles-based civil engineer and California Institute of Technology alumnus Donald R. Warren was part of the design team of noted architects Paul R. Williams and Adrian Wilson, a joint venture responsible for the buildings for the Roosevelt Naval Base at Terminal Island in Long Beach in 1942. Warren also did notable private projects such as the Art Gallery for the J. Paul Getty Ranch, 1945, and later worked with architects Pereira & Luckman and Welton Becket & Associates on the redevelopment of Bunker Hill in Los Angeles. He was also responsible for the design of the commercial building at 6850 E. Washington Blvd. While noted for his collaborative abilities with architects practicing in the Modern style, demonstrated in his own design of the simple but competent subject property, it is not an outstanding example of his work, primarily devoted to engineering.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)

(Sketch map with north arrow required)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6737 East Washington Blvd

P1. Other Identifier: Interstate Tire Distributor

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6737 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336003045

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Vernacular Modern commercial warehouse building is one story in height and is constructed of tilt-up concrete slab construction, with two interlocking building sections in an L-shaped plan. There are three tall garage bay openings, with roll-up metal garage doors, located on the west side of the south primary elevation, and two garage openings with doors on the east elevation. The main entry is recessed with an extended overhang, stone veneer door surrounds, and stone veneer planters. A series of windows, placed low in the stucco-clad wall of the south and part of the east elevations, are rectangular in steel frames and are each flanked by a group of closely arranged small vertical metal columns that are the height of the windows. A later warehouse addition was added to the north end of the building on the west-half side. The roofs appear to be flat composition roofs. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
SE elev, lkg northW 7/22/2010

\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1956 (Factual) Building Permit

\* P7. Owner and Address:  
Vaughn, Donald B Trust

\* P8. Recorded by: (Name, affiliation, address)  
David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 6737 East Washington BlvdB1. Historic Name: Standard Metals CorpB2. Common Name: Interstate Tire DistributorB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1961: Wall sign. Cost: \$600

1975: Wall sign. Cost: \$2,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: R. Lichtib. Builder: Robert E. Gee\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1956Property Type IndustrialApplicable Criteria C

The 1956 building permit indicates that Standard Metals Corp. was the original owner. The architect was R. Lichti. The builder was Robert E. Gee.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story facility originally for handling metals and now housing a tire distributor, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect R. Lichti or builder Robert E. Gee, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6800 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6800 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336004017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Modern commercial building is one story in height and appears to be constructed of steel-frame construction with a rectangular plan. The roof appears to be flat and is composition roofing, except for the recessed building entry area which has two protruding corrugated metal roofs. The primary north elevation has brick and natural rock veneer exterior wall surfaces, with wood doors and aluminum frame windows located in the recessed main entry area. Located to the right of the building is a wall with perforated concrete stylized square blocks. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Cbi Terminal Co

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* **Resource Name or #:** 6800 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Commercial Office BuildingB4. Present Use: Commercial Office Building\* **B5. Architectural Style:** Modern\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)Construction Date: 1962\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**B9a. Architect: Quinton Engineers Ltd.b. Builder: Menke - Gateway Co.\* **B10. Significance:** Theme Commercial DevelopmentArea CommercePeriod of Significance 1962Property Type CommercialApplicable Criteria N/A

The 1962 building permit indicates that Menke - Gateway Co. was the original owner. The architect was Quinton Engineers Ltd.. The builder was Menke - Gateway Co.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story commercial building, exhibits a high level of integrity. However, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Quinton Engineers Ltd or builder Menke - Gateway Co., landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6801 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6801 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336003019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a Vernacular Modern commercial one-story warehouse building with a rectangular plan. It is steel frame construction whose wall surfaces are clad with brick veneer. There is an offset pop-out on the primary south elevation defining the slightly raised main entry. The pop out's east and west elevations are clad in brick veneer, while the north is spanned by aluminum frame doors and windows, separated from metal-framed clerestories above with a shallow plane of brick veneer. The west elevation has a continuous row of horizontal aluminum frame windows at mid-level height. The corner parcel also contains a large area for parking. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Local 37 Of Bakery Confectionery

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* **Resource Name or #:** 6801 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: WarehouseB4. Present Use: Warehouse\* **B5. Architectural Style:** Vernacular Modern\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

1967: Wall sign. Cost: \$500

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**B9a. Architect: Not Listedb. Builder: John M. Stahl\* **B10. Significance:** Theme Commercial DevelopmentArea CommercePeriod of Significance 1960Property Type CommercialApplicable Criteria N/A

The 1960 building permit indicates that John M. Stahl was the original owner. The architect was Marshall E. Lind. The builder was John M. Stahl.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story manufacturing, warehouse, and front office facility, now housing a labor union, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including owner/builder John M. Stahl, the original owner (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style.

Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6820 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6820 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336004018

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a Modern commercial warehouse building that is one story in height and is constructed of tilt-up concrete slab construction. Now boarded up, it has a square plan. The roof appears to be barrel shaped and clad with composition sheeting, most likely supported by a wood or steel truss support system. The primary north elevation is horizontally organized into two concrete planes, one at ground level and the other a parapet, that separate a continuous length of tall aluminum-framed windows grouped in threes, capped by a thin projecting lintel. This overall organization is delineated by thin vertical fins protruding from the textured wall surface. The main entry is raised, with metal stairs and a concrete porch sheltered with a projecting roof overhang supported by six steel posts. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Sino Sun Group Inc

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 6820 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1962\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Ted R. Cooperb. Builder: Ted R. Cooper\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1962Property Type IndustrialApplicable Criteria N/A

The 1962 building permit indicates that Charles and Eve Wilson were the original owners. The architect was Ted R. Cooper. The builder was Ted R. Cooper.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story industrial building, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Charles and Eve Wilson, the original owners (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect/builder Ted R. Cooper, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)





# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6825 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6825 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336003053

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This late Modern south-facing commercial warehouse building is one story in height and is constructed of stucco-clad tilt-up concrete slab construction with a rectangular shaped plan. The centered main entry is recessed with a niche with articulated vertical panels above the extended flat metal overhang, with metal stairs and railings. The main entry doors and windows are aluminum frame and sash, and other windows on the west elevation are rectangular in steel frames. There is raised side entry door, with concrete steps, on the west elevation. The roof appears to be a flat composition roof. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Capalbo, Ruth Co Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 6825 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1961: Sign. Cost: \$900

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Stiles O. Clementsb. Builder: Donald F. Shaw\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1961Property Type IndustrialApplicable Criteria N/A

The 1960 building permit indicates that Ditto Corporation was the original owner. The architect was Stiles O. Clements. The builder was Donald F. Shaw.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a two-story warehouse and manufacturing facility, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP) and does not appear to be associated with the lives of people important in the past (Criterion B, NRHP).

The structure's architect was Stiles O. Clements. Clements (1883 - 1966) was a famous and prolific architect of many Los Angeles buildings and renowned for his Art Deco and Streamline Moderne buildings exemplified by the extant El Capitan, Mayan and Wilmetts theatres in Los Angeles and the Samson Uniroyal Tire Factory, 1930, a manufacturing and warehouse facility adaptively converted for use as a major Southern California multi-outlet retail facility. The versatile Clements, who trained at the École des Beaux-Arts, Paris, also designed landmark commercial and public buildings, including the Richfield Tower (demolished). Clements designed two commercial/light industrial buildings within the subject area, in his late career. While a crisp example of a Modernist aesthetic applied to an industrial building type, the subject property, 6825 East Washington Blvd., is not representative of his earlier outstanding work and his other industrial design in the area at 2131 Garfield Ave. no longer retains design integrity. As a result, the subject property does not appear to be associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP) and

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)

(Sketch map with north arrow required)



# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6849 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6849 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336003066

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This late Modern south-facing commercial warehouse building is one story in height and is constructed of tilt-up concrete slab construction with a rectangular shape plan. The main entry appears to be located on the western half of the primary south elevation, obscured by a tall perforated metal screen, approximately one story in height, attached to the building by light steel beams that surrounds the southwest half of the building's west and south elevation. The screen obscures a long band of metal-framed windows on this western end. The east end is unfenestrated except for one small porthole window. There is also a band of nine steel casement windows located in the upper wall of the east elevation. The roof appears to be barrel shaped and has composition roofing. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1956 (Factual) Building Permit

\* P7. Owner and Address:

Stanton, Thomas A & Linda L

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* **Resource Name or #:** 6849 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Industrial Building\* **B5. Architectural Style:** Vernacular Modern\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)Construction Date: 1956\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**B9a. Architect: Wm. M. Taggartb. Builder: J. H. Macdonald\* **B10. Significance:** Theme Industrial DevelopmentArea CommercePeriod of Significance 1956Property Type IndustrialApplicable Criteria N/A

The 1956 building permit indicates that John M. Stahl was the original owner. The architect was Wm. M. Taggart. The builder was J. H. Macdonald.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one story building housing a dying and washing facility, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including John M. Stahl, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect J.H. MacDonald, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6850 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6850 East Washington Blvd City Commerce Zip 90040

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6336004019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Modern north-facing commercial building is one-story in height and is constructed of tilt-up concrete construction with a T-shaped plan. There appears to be two main entries on the primary north elevation. The main entry located to the west half of the building has an extended roof height with an overhang roof extension supported by six columns. A second smaller roof extension is located about the aluminum doors and windows. On the east-half of the building, the main entrance, with aluminum doors and windows, is obscured by a concrete and metal frame lattice work pop-out extension. There appears to be a temporary/portable storage structure centered in between the two main entrances, seen on the north elevation. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Moran, Ralph H

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**Page 2 of 2\* NRHP Status Code 6Y\* Resource Name or #: 6850 East Washington BlvdB1. Historic Name: NoneB2. Common Name: NoneB3. Original Use: Industrial BuildingB4. Present Use: Commercial Office Building\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1965: New Mechanical Building. Cost: \$56,300

1966: Double face sign. Cost: \$4,500

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Donald R. Warrenb. Builder: Unknown\* B10. Significance: Theme Industrial DevelopmentArea CommercePeriod of Significance 1965Property Type IndustrialApplicable Criteria N/A

The 1965 building permit indicates that Danfoods Co. was the original owner. The architect was Donald R. Warren. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, originally containing a one-story food facilities plant and front office, exhibits a moderate level of integrity based on 1965 additions and other possible changes to the façade. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP) and does not appear to be associated with the lives of people important in the past (Criterion B, NRHP).

Los Angeles-based civil engineer and California Institute of Technology alumnus Donald R. Warren was part of the design team of noted architects Paul R. Williams and Adrian Wilson, a joint venture responsible for the buildings for the Roosevelt Naval Base at Terminal Island in Long Beach in 1942. Warren also did notable private projects such as the Art Gallery for the J. Paul Getty Ranch, 1945, and later worked with architects Pereira & Luckman and Welton Becket & Associates on the redevelopment of Bunker Hill in Los Angeles. He was also responsible for the design of the commercial building at 6711 E. Washington Blvd. While noted for his collaborative abilities with architects practicing in the Modern style, demonstrated in his own design of the simple but competent subject property, it is not an outstanding example of his work, primarily devoted to engineering. As a result, the subject property does not appear to be associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP) and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # 067562  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 936 South Greenwood Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 936 South Greenwood Ave City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352027006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Set within the midst of a large asphalt-paved truck yard, the subject building is an undistinguished residentially scaled, one-story gable-front utilitarian bungalow sited parallel to Washington Boulevard to the south. It features a moderately-pitched gable roof with overhanging, boxed eaves that project slightly from the wall line. The building is of frame construction with non-original lace textured stucco cladding. Vertically-aligned replacement sliding sash vinyl windows are in a loosely symmetrical placement on the front façade, and the entrance is accessed through the far right bay. Rooftop HVAC equipment is in full view and signage of unsympathetic design has been installed on the upper fascia. A large non-original metal shed building with a floor-to-ceiling-height drive-through opening abuts the building at the rear side, while cyclone fence and gate (partially screened by a hedge) secure these buildings and the rear three-quarters of the property. The subject property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1936 (Factual) Tax Assessor

\* P7. Owner and Address:

Nighswonger, William O Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 936 South Greenwood Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1936

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Millie Severson Inc.

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1936

Property Type Industrial

Applicable Criteria N/A

The 1974 building permit indicates that Carrier Service Inc. was the original owner. The architect was not listed. The builder was Millie Severson Inc. In 1990, the property was given a 6Y NRHP status code, which means that it was determined ineligible for the National Register by consensus through the Section 106 process; however, it was not evaluated for California Register or local listing at that time.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a small freestanding undistinguished building, probably a supporting warehouse, that has been substantially altered, continues to exhibit a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property continues to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 944 South Greenwood Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 944 South Greenwood Ave City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352027005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Originally dating from 1940, this heavily remodeled one-story real estate office building is an amalgam of Ranch Style and Neo-Spanish Revival elements—The Neo-Spanish Revival elements likely dating from the 1970s period. The building is of frame construction with vertical board and stucco cladding and has its gable end to the street. Its moderately steep-pitched roof is sheathed with asphalt shingles. The entrance is located along the north side facing the parking lot, and is accessed from an at-grade porch roofed by a shed-roof extension of the main roofline. A Neo-Spanish screening wall with ramped edges and features a large arched opening enclosed with wrought iron grille work and vertically-aligned patterned concrete panels that enlivens the primary elevation. Dense evergreen shrubbery and small trees border the front and parking lot sides of the building, and an approximately 10-foot tall pole sign adjoins the driveway. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1940 (Estimated) Tax Assessor

\* P7. Owner and Address:

Nighswonger, William O Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B.Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 944 South Greenwood Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Neo-Spanish Revival, Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1940

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1940

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a heavily remodeled one-story real estate office, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Neo-Spanish Revival. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B.Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

# PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 1020 South Greenwood Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 1020 South Greenwood Ave City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352007058

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This modest west-facing one-story Ranch-influenced residence of frame construction with overlap board siding has a low-pitched side-gabled roof that features closely cropped eaves. Four bays wide and asymmetrically organized, the entrance, a later wood door with a brick sill, is located in the third bay. It is accessed from a low concrete slab porch that is sheltered by an extension of the main roofline above the northmost three bays. The doorway is obscured by a new steel security door, and the windows have replacement double-hung aluminum sash. The porch also contains a mechanical air-conditioning unit. The property, which retains a moderate level of design integrity, is enclosed by cyclone fencing. It is now probably used for commercial purposes.

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1938 (Estimated) Tax Assessor

\* P7. Owner and Address:

1020 South Greenwood Avenue Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1020 South Greenwood Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Unknown

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1938

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Montebello

Period of Significance 1938 Property Type Residential Applicable Criteria N/A

The subject property, containing a nondescript one-story bungalow, a remainder residential property located in a now commercial and industrial area, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Craftsman architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 938 South Vail Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 938 South Vail Ave City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6353014006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Originally constructed in 1954, this south-facing Chevron gas station consists of a one-story office/convenience store building and a tall one-story, flat-roofed structure that shelters the gasoline pump islands. The pumping island shelter appears to be of recent date (c1995) and of contemporary design, while the office/convenience store building was apparently remodeled in the Neo-Spanish Revival style during the late-1970/1980s period, and features roughcast concrete block construction with a faux-mansard Spanish tile roof. A tall, internally-illuminated pylon sign stands near of the corner of the property and identifies the business. While the office exhibits a moderate level of integrity, the property as a whole exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1954 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hassan &amp; Sons Inc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 938 South Vail Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Eclectic, Neo-Spanish Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1954

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1954 Property Type Commercial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a gas station, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 123 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 123 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352025066

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This currently vacant 1966 north-facing building appears to be a former Taco Bell restaurant, and is designed in the Neo-Mission Revival style favored by Taco Bell franchises during the 1960s and early 1970s period. It is one-story, and is of partially reinforced tan-colored concrete brick construction detailed to resemble adobe brick. The small building features an over-scaled roof parapet with a scalloped profile (espadaña), with a circular, open roundrel centered toward the top. A mission tile-clad shed roof of moderate pitch extends outward from the parapet wall towards Washington Boulevard. Three identical semi-circular-headed window openings (currently boarded over with plywood), trimmed with red brick, are arranged symmetrically across the façade. A planter with a low concrete brick border runs the full width of the building, with entrance occurring from the side. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1966 (Factual) Building Permit

\* P7. Owner and Address:

Velasquez, Greg R Trust Et Al

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

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HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 123 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Vacant

\* B5. Architectural Style: Neo-Mission Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1966

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: A B C Builders

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1966

Property Type Commercial

Applicable Criteria N/A

The 1966 building permit indicates that Meyer Frankel was the original owner. The architect was not listed. The builder was A B C Builders.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, a vacant one-story building probably containing a former Taco Bell restaurant, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Neo-Mission Revival architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 400 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 400 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352026055

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

400 Washington Boulevard is a one-story frame/stucco liquor store in a straight-forward rendering of the 1950s Modern style. Occupying a corner location, the south-facing structure is set back from the two streets to accommodate a wrap-around surface parking lot. Its key architectural elements include the nearly floor-to-ceiling height plate glass windows (with clear anodized aluminum frames), lava rock veneer cladding below the windows and also used for building trim, and a flat cantilevered canopy that extends across the façade. The building's medium-height fascia has an internally-illuminated metal box sign affixed at one corner above the entrance. This sign appears to be non-original to the store. Other later alterations include an approximately 30-foot tall billboard that is directly affixed to the side wall. A neon-illuminated pole sign, likely original to the building, occupies the front street corner of the property. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Manookian, Alfred &amp; Helen Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 400 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1957

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story liquor store on a corner lot, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 405 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 405 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352024043

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The north-facing subject building dates from 1966 and is designed in the Modern style. It is one-story, of frame/stucco construction, and is surmounted by a flat parapeted roof. The stucco treatment has been updated and has an inappropriate texture. A cantilevered canopy of matching frame/stucco construction extends out from the building and across the front façade and a portion of the side wall. The top line of the canopy follows a raking line terminating in a peak at the northwest corner of the building but that is lower than the parapet behind it. The rake serves to animate the building's largely utilitarian overall design treatment. The entrance of metal-framed glass doors is located at this corner, flanked by full-height fixed sash windows. Chatsworth stone cladding also embellishes the façade's east end. A free standing pole sign sited along the front street edge of the parking lot, and which reads "Sparkle Cleaners," appears original to the property. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Roh, Su Huan &amp; Cha Bok

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 405 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: H. R. Barden

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that Joe Perez was the original owner. The architect was not listed. The builder was H. R. Barden.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story retail laundry facility in the Modern style, exhibits a moderate level of integrity based on changes to the cladding. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Joe Perez, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property builder H.R. Barden, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 410 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 410 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352026032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

410 Washington Boulevard, which appears to have been substantially remodeled within the last decade, shows the influence of the Neo-Formalist style. Occupying a corner lot, the large building is a shallow L in plan, with its narrower stem facing Washington Boulevard. Housing a community center, the south-facing façade of this two-story building with rectangular plan is asymmetrically organized and five bays across. Its walls are characterized by shallow-set individual horizontally oriented black-tinted glass fixed/sliding sash windows. The entrance is located under an off-center tall concrete porch that is roofed above (at the second floor roof level) and supported by two square piers clad with stone veneer. A boldly articulated cornice extends across the façade and is characterized by a tall blind fascia band. The property is enclosed by a concrete block/steel security fence perimeter wall that incorporates narrow piers surmounted by metal/glass lantern-like lighting fixtures. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP13 Community Center/Social Hall\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1968 (Factual) Building Permit

\* P7. Owner and Address:

Armenian Cultural Foundation

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* **Resource Name or #:** 410 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mixed Use Building

B4. Present Use: Mixed Use Building

\* **B5. Architectural Style:** Neo-Formalist

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Construction Date: 1968

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: Unknown

b. Builder: D.c. Leneve

\* **B10. Significance:** Theme Commercial Development

Area Montebello

Period of Significance 1968

Property Type Commercial

Applicable Criteria N/A

The 1968 building permit indicates that Conference Con. Inc. was the original owner. The architect was not listed. The builder was D.C. Leneve.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-story community center, exhibits a low level of integrity based on extensive alterations to the cladding and to the fenestration, possibly others. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Neo-Formalist architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 420 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 420 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352026067

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large rectangular plan one-story manufacturing/warehouse building in the Modern style is of reinforced concrete construction with red brick veneer decorative sheathing. Its front façade is seven bays across, divided into equal-sized rectangular-shaped panels that are defined by a grid-like concrete/steel super frame. Most of the panels are blind with smooth concrete surfaces. Others have red brick veneer infill. One of the bays features an exit doorway with paired metal doors (detailed so as to be flush with the surrounding wall surface). This doorway appears to be a later addition, and is accessed by a concrete dais with steps on one end and a ramp on the other end. The primary entrance occurs from the side elevation directly from the property's surface parking lot area. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1963 (Estimated) Tax Assessor

\* P7. Owner and Address:

Armenian Cultural Foundation

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 420 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1963

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1963

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a large one-story industrial warehouse, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 500 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 500 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352029012

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

500 Washington Boulevard is a one-story south-facing retail store with a low-raking, gable-front roofline of steel post and beam/reinforced concrete block construction. The front façade is asymmetrically organized, comprising six window bays and a medium-sized blind wall expanse. The entrance is accessed through the first glass bay, off-center, through paired clear anodized aluminum doors that may be original to the building. The window treatment consists of a floor-to ceiling height window wall that is defined by a continuous horizontal mullion transected by vertical mullion members. This glazing wall is inset slightly from the blind wall plane on the west, and is sheltered above by an extension of the roofline. The property retains a relatively high degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Ruelas, Armando &amp; Maria D

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 500 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Illegible

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1960 Property Type Commercial Applicable Criteria N/A

The 1960 building permit indicates that H. J. Wolf was the original owner. The architect was not listed. The builder's name was illegible.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story front-gabled, glass, steel and concrete Modern commercial retail building, exhibits a relatively high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including H.J. Wolf, the original owner (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 501 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 501 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352023041

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This two-story north-facing rectangular plan warehouse and front office building in the Modern style is of frame/stucco construction with decorative concrete block wall elements. The street-front volume is taller than the larger one-and-a-half story warehouse behind it, and the design of the primary elevation is asymmetrically organized. Here the first and second floors have different window and wall treatments – the second-floor windows consisting of individual, vertically-oriented aluminum sash windows set flush to the stucco-clad exterior wall surface; the first floor fenestration consisting of nearly full-height bronze anodized fixed sash windows contrasted with concrete block wall sections. An off-center, full height panel of decorative concrete block extending just above the flat parapet defines the inset entrance, comprising metal-framed glass doors. The building is set back from Washington Boulevard, accommodating a shallow planting area comprised of lawn and a flower bed planted with evergreen shrubbery and trees. That portion of the planter closest to the windows has been enclosed with tall steel security fencing and is sheltered above by the slight cantilevering out of the building's second floor. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
NE elev, lkg southwest 7/22/2010\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1966 (Factual) Building Permit\* P7. Owner and Address:  
Git Partners Llc\* P8. Recorded by: (Name, affiliation, address)  
Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 501 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1966

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Illegible

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1966

Property Type Industrial

Applicable Criteria N/A

The 1966 building permit indicates that D And L Investment was the original owner. The architect was not listed. The builder's name was Illegible.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a large industrial warehouse with a taller front office in the Modern style, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 524 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 524 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app  
APN(s): 6352029024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

524 Washington Boulevard is a small, south-facing one-story restaurant of frame/stucco construction that features a stack bond brick half-height front wall surmounted by continuous aluminum sash windows, some fixed, some operable. The primary elevation is asymmetrically organized, with the off-center entrance accessed through a solitary clear anodized aluminum door that may be original to the building. The doorway is flanked on one side by a large two-thirds-height plate glass window. A flat parapeted roof surmounts the building, above which rises a tall frame/stucco enclosure screening the rooftop HVAC equipment, an inappropriate alteration. An aluminum canopy with a raking front face further embellishes the roofline. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Estimated) Tax Assessor

\* P7. Owner and Address:

Full House Real Investment Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 524 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1960 Property Type Commercial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story freestanding fast-food restaurant, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 701 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

- \* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles
- b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.
- c. Address 701 Washington Blvd City Montebello Zip 90640
- d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN
- e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352008021

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large one-story north-facing industrial/warehouse building in the Modern style is of reinforced concrete construction. The walls are chiefly blank and consist of shallow-incised vertically aligned panel patterning. The more distinctive architectural elements are concentrated in the area adjoining the corner entrance to the building. The east-facing entry is accessed from a low slightly raised porch inset under a cantilevered rooflet projecting just beyond the building envelope on the north and east. This entrance porch is screened by a patterned decorative concrete block wall. Outrigger features tie the cantilevered canopy that shelters the porch to the front wall line and serves – along with a small full-height expanse of natural rock veneer cladding— to further enliven the architectural treatment. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Mission Linen Supply

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B.Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* **Resource Name or #:** 701 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* **B5. Architectural Style:** Modern

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: Unknown

b. Builder: Carpentle And Smallwood Inc.

\* **B10. Significance:** Theme Industrial Development

Area Montebello

Period of Significance 1962

Property Type Industrial

Applicable Criteria N/A

The 1962 building permit indicates that Keystone Development Co. was the original owner. The architect was not listed. The builder was Carpentle and Smallwood Inc.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a large one-story warehouse in the Modern style, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Carson Anderson, B.Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 720 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 720 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352028011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

720 Washington Boulevard occupies a narrow, deep parcel and is improved with a large surface parking lot and three separate south-facing buildings. Closest to the street is a diminutive one-story, shed-roofed office of frame/wood-sided construction. The front wall is three bays across and symmetrically organized. The centrally-placed entrance is flanked on each side by tall, matching, nearly three-quarters-height fixed sash windows. Approximately 25 feet behind this building is a second residential-scaled Minimal Traditional building of frame/stucco construction. It features a side-gabled roofline (with a cross-gabled roofed addition at the rear) and an exterior brick chimney on at least one of the two gable ends. Behind this building is a large one-story tilt-up concrete building with a centrally-placed drive-through bay that has a roll-down door. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1967 (Factual) Building Permit

\* P7. Owner and Address:

Tewasart, Suthin &amp; Suraphi Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B.Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 720 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mixed Use Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1967

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Robert A. Miller

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1967 Property Type Commercial Applicable Criteria N/A

The 1967 building permit indicates that Robert A. Miller was the original owner. The architect was not listed. The builder was Robert A. Miller.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject commercial property, containing three separate buildings including a concrete warehouse and converted single-family house, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Robert A. Miller, the original owner/builder (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B.Lamprecht, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 740 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 740 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352028034

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The subject building is a 1960s-era automated car wash facility on a corner lot. It is one story, with a long frontage along Washington Boulevard, and is set back from the street to accommodate a narrow landscape buffer planted with evergreen shrubbery. Seven approximately 25-foot tall field stone piers (placed perpendicular to the street frontage) divides the car wash frontage into eight bays. Each of the stone piers is capped with a large metal/colored-glass lantern. The piers support a continuous standing seam metal canopy (painted with wide blue and white striping) that features a raking edge along the front façade. The operations office for the carwash occurs beneath the metal canopy. This office appears to be of concrete block masonry construction and is of utilitarian design. A 25-foot pole sign, which appears to be original to the car wash, occurs at the front street corner of the property. The property retains a relatively high degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

SW elev, lkg northeast 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Lohran, Matt J &amp; Mary

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, b. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 740 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1965

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Rheem Mfg

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1965

Property Type Commercial

Applicable Criteria N/A

The 1965 building permit indicates that Hams and Chewoian were the original owners. The architect was not listed. The builder was Rheem Mfg.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a 1960s-era car wash facility, exhibits a relatively high level of integrity. However, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Hams and Chewoian, the original owners (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, b. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 801 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 801 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352007054

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

801 Washington Boulevard is a multiple-use commercial-residential building with first-floor retail uses and second-floor office and residential units. L-shaped in plan, the building wraps around a small surface parking lot on two sides. It is of frame/stucco construction with a complex roofline featuring both flat/ parapeted roof sections as well as low-pitched hip roof sections. Although originally constructed in 1958 in the Late Moderne style, the façade on the retail portion of the building appears to have been updated c1990, while the second-floor portion and rear wall of the building document how the building looked originally. Nearly floor-to-ceiling height plate glass windows with clear anodized aluminum trim identify the retail stores. Aluminum tripartite operable sash windows are visible at the second-floor office level and appear to be original. A short, canted roof-like awning enlivens the wall of the ground-level retail portion of the building at the base of the upper fascia. The property retains minimal design integrity, as it is not readily identifiable as a 1950s resource.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
NE elev, lkg southwest 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both1958 (Estimated) Tax Assessor

\* P7. Owner and Address:

Nomura, Jay T Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 801 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Mixed Use Building

\* B5. Architectural Style: Vernacular Modern, Late Moderne

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1958

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1958 Property Type Commercial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-story mixed use building substantially altered from its original Late Moderne appearance, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Late Moderne architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 809 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 809 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352007053

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large industrial property contains at least two buildings; however, the only one visible from the public right-of-way is a two-story utilitarian structure capped by a flat roof. The building appears to be constructed of concrete block. Fenestration consists of metal framed glazing. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1939 (Estimated) Tax Assessor

\* P7. Owner and Address:

Nomura, Jay T Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 809 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1939

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1939

Property Type Industrial

Applicable Criteria N/A

This large parcel contains at least one large utilitarian building that does not exhibit any elements of architectural merit as required for listing in the National Register, California Register or a local register of historic places. In addition, no other important historic associations were found during the current survey process. As a result, the property does not appear eligible for designation at any level under any criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 812 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 812 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352027011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Westrux International is a large one-story industrial/warehouse building in the Vernacular Modern style and is of reinforced concrete construction. It sits on a large parcel adjoined by surface parking lots on two sides. The wall treatment on the primary elevation consists of tripartite groupings of ribbon windows placed high on the wall. Each tripartite window bay is separated from one other by shallow piers. A tall, continuous, ribbed metal band extends across the front façade and along the side elevations at roof level. It serves to partially screen rooftop HVAC equipment while expressing the corporate colors and logo. A wood and metal mobile building of recent date provides overflow office space and abuts the building on one side. The property retains a relatively low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Kenney Holdings Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

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\* NRHP Status Code 6Y

\* Resource Name or #: 812 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development Area Montebello

Period of Significance 1957 Property Type Commercial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing an undistinguished industrial servicing and warehouse facility, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 817 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 817 Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352007052

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This medium-sized, north-facing, one-story medical office building is of brick construction, and of utilitarian design, with a flat/parapeted roof. The primary elevation is asymmetrically organized, with a very shallow set back from the street that accommodates the two very narrow raised-bed brick planters that flank the offset building entrance. The entry is accessed through a wide doorway flanked with full-height fixed-sash windows that feature bronze anodized aluminum trim. The doorway is accessed by two low concrete steps. A grouping of three narrow, vertically-aligned windows, protected by security bars, penetrates the front exterior wall at the western end. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1968 (Estimated) Tax Assessor

\* P7. Owner and Address:

York Properties Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 817 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1968

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1968

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story medical office building clad in brick, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 825 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 825 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352007051

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

825 Washington Boulevard is a one-story Modern style two-tenant office building of concrete block and frame/stucco construction. The design is strongly aligned horizontally and is asymmetrically organized, with a flat roof characterized by a low parapet at front and no parapet on the rear three-quarters of the building. The roof cantilevers out to shelter the entire primary elevation. The entry is accessed through two separate entrances reached by low concrete stoops. Bronze anodized fixed sash windows and a stock hardware store paneled wooden door have replaced the originals. Two sun screens of decorative concrete block and shallow planters found in both brick raised-bed and at-grade configurations serve to enliven the façade. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1963 (Factual) Building Permit

\* P7. Owner and Address:

York Properties Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

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**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 825 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1963

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Don Payse

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1963

Property Type Commercial

Applicable Criteria N/A

The 1963 building permit indicates that Jack K. Hetzler was the original owner. The architect was not listed. The builder was Don Payse.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story medical office building in the Modern style, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 829 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 829 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352007050

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The subject property is improved with two rectangular plan buildings of matching design and in the Spanish Colonial Revival style. The larger main building closest to the street appears to be a residence that was converted for business use. Its roof profile is characterized by a hip roof to the east with a side-gabled volume to the west. The rear building, which sits at the back of the driveway serves as a garage and storage space. Both are one-story, of frame/stucco construction, and surmounted by medium-pitch hipped roofs. The stucco has been resurfaced with a coarser-grained stucco of inappropriate texture, and the original roofing (probably mission tile or pan tile) has been replaced with rough-cast vinyl shingling. The primary entrance is accessed through an inset center bay sheltered by a shed-roofed roof extension. Semicircular-headed windows penetrate the two large flanking bay projections. Although the remainder of the property appears to be paved with asphalt, two small flower beds display topiaried shrubbery and palm trees. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1940 (Estimated) Tax Assessor

\* P7. Owner and Address:

Nichols, Dale W &amp; Mary F Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

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**BUILDING, STRUCTURE, AND OBJECT RECORD**

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\* NRHP Status Code 6Y

\* Resource Name or #: 829 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1940

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1940

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a single-family house and garage converted to commercial use, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 840 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 840 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6352027008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

840 Washington Boulevard is a one-story south-facing industrial building of utilitarian design, and is of concrete block/frame construction. The rectangular plan structure is surmounted by a flat parapeted roof but also features a false skirt roof at the front that is sheathed with asphalt shingling. The building is set back approximately 20 feet from the street, and the property is enclosed by a tall black steel security fence. Windows and the entrance door on the front façade have been replaced. The property retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
 1960 (Estimated) Tax Assessor

\* P7. Owner and Address:

Manousadjian, David & Arpine

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
 ICF International  
 811 W 7th Street, Suite 800  
 Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
 Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

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\* NRHP Status Code 6Y

\* Resource Name or #: 840 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1960

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing an undistinguished one-story industrial utilitarian building, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 844 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 844 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6352027007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a low-pitched front-gabled roof, this Vernacular Modern one-story building is primarily used to shelter commercial vehicles of which several are parked at the rear of the property. Of wood frame construction and open on its north and south elevations, the building includes a small office portion on its west end. A gravel driveway leads to the building, which features a large Magnolia tree in its front yard. The property exhibits a moderate to high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg northwest 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Bustamante, Angel &amp; Julie Trust

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/13/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 844 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial

B4. Present Use: Commercial

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Prematy (sp?) Const. Co.

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1960

Property Type Commercial

Applicable Criteria N/A

The 1960 building permit indicates that Ray and Dorthy Bell were the original owners. The architect was not listed. The builder was Prematy (sp?) Const. Co. The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a modest vehicle shelter and office space, exhibits a moderate to high level of integrity. As a unexceptional example of the Vernacular Modern style as applied to a commercial building, the property does not meet the criteria for significance required for federal, state or local designation. Specifically, it does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Ray and Dorothy Bell, the original owners (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/13/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1129 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 1129 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6353017006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

1129 Washington Boulevard is a small one-story utilitarian frame/stucco commercial building with a flat parapeted roof. Surface parking lots abut the rear and the west sides of the building – the west parking lot incorporating a series of approximately 20 steel bollards to protect the building from vehicular contact. The front façade of the building is symmetrically organized and three bays wide. The entry is accessed at grade through the center bay that contains paired clear anodized aluminum doors with a fixed-sash transom above. Two vertically-aligned plate glass windows surmount a low wall of later brick veneer, which also trims the overall window/door unit. This composition is below a blind parapet and a streamlined stainless steel canopy that projects out less than 12 inches from the building face. Black steel security grilles have been installed across the front facade. Other alterations include the internally illuminated replacement box signs affixed to the building's upper fascia and rooftop security light standards of incompatible design. The property retains a moderate degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1951 (Estimated) Tax Assessor

\* P7. Owner and Address:

Min Kyu Bae

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

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\* NRHP Status Code 6Y

\* Resource Name or #: 1129 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1951

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1951

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a nondescript one-story liquor store, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1220 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 1220 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6353012006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This south-facing Modern style office/industrial building is of reinforced concrete construction. In plan, it is very large rectangular volume behind a smaller, yet still large, volume perpendicular to it and fronting Washington Boulevard. This building features a two-story pavilion of narrow depth at front that gives the building a long box-like appearance when viewed from the street. The design is symmetrically organized and is surmounted by a flat parapeted roof. The main entrance is accessed at grade through the center bay from a walkway parallel to yet screened by shrubbery from the street. Set at least 7 feet above grade, a narrow ribbon-like band of steel frame windows extends through the entrance area (as transom lights) across the entire façade as a long line, sharpened by a very shallow projecting canopy above this band. A tripartite grouping of cantilevered parabolic roofs forms a canopy over the entrance. The tripartite treatment of the canopy is echoed above in the tripartite patterned concrete block panels on the second-floor wall face. Four equidistant box-shaped exterior light fixtures of matching design project out from the wall line of the upper fascia. The property retains a high degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

R L R Investments Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1220 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: C And L Const.

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1960

Property Type Industrial

Applicable Criteria N/A

The 1960 building permit indicates that Valley Motors was the original owner. The architect was not listed. The builder was C and L Const.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a very large Modern industrial facility and warehouse, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1400 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 1400 Washington Blvd City Montebello Zip 90640  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6353012003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

1440 Washington Boulevard is a two-story south-facing reinforced concrete manufacturing building surmounted by a wooden bow-trussed roof sheathed with rolled composition roofing material. Located on an L-shaped lot wrapping a corner property, this utilitarian building is one of several smaller and connecting buildings behind the street side structure. Its primary elevation is three bays wide, with the entry accessed at grade through the center bay's deeply inset doorway that is sheltered above by a boxy cantilevered canopy with a shallow projection. Paired groupings of nine-light steel industrial sash, paired vertical score marks, and an applied field stone veneer decoration at the entrance enliven the straightforward design. Two tall drive-through bays with roll-up metals doors provide access into the building on the side elevation. Evergreen shrubbery in a narrow at-grade planter borders the front/front corners of the building. The building retains a moderate degree of design integrity – alterations including the installation of security bars and the redesigned canopy above the entrance.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Addis Properties Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1400 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1953

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1957

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-story reinforced concrete building of solid and competent utilitarian design, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1436 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 1436 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353012001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story north-facing utilitarian fuel service station consists of a small office/store building and a fuel island. The building is rectangular in plan, with an exterior stucco surface, flat roof, and aluminum storefront windows and doors. Some original windows appear to still exist and are composed of four-pane fixed steel frame and muntin windows, with a short protruding or overhang above. Sheltering the fuel island is a large canopy supported by four square posts that appears to be newer construction and covers two slightly raised concrete islands that contain a total of four primary pumps with eight fueling stations. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Bonami Inc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1436 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Pasco Steel Corp.

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that Signal Oil Co. was the original owner. The architect was not listed. The builder was Pasco Steel Corp.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a gas station with a fuel island and a small one-story office, exhibits a low level of integrity following alterations to the original 1962 structure. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a potential historic property. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1541 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

- \* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles
- b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.
- c. Address 1541 Washington Blvd City Montebello Zip 90640
- d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN
- e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353015007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a large one-story utilitarian warehouse. The lightweight steel-framed north-facing building is rectangular in plan, with corrugated metal walls and a low pitched front gable metal roof. There are two metal roll-up garage doors located on the north elevation, east and west ends. The site is used as a commercial business for buying and recycling metals and has multiple rectangular metal bins located at the rear of the site for storing these recycled metals. There appears to be a small car repair shop in front of the warehouse's middle north elevation, along Washington Boulevard. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Lee, David &amp; Mei C

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* **Resource Name or #:** 1541 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* **B5. Architectural Style:** Utilitarian

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: Unknown

b. Builder: Card Construction (sp?)

\* **B10. Significance:** Theme Industrial Development

Area Montebello

Period of Significance 1962

Property Type Industrial

Applicable Criteria N/A

The 1962 building permit indicates that Global Equipment was the original owner. The architect was not listed. The builder was Card Construction (sp?).

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story utilitarian warehouse, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required by an eligible historic property. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 1505 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 1505 Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353015010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story Vernacular Modern commercial building is L-shaped in plan and has a composition flat roof with a short mansard shingled roof on the north elevation. The exterior is clad with stucco. A small gable roof protrudes from the mansard roof over the main entrance at mid length of the building. The parcel has a large parking area with a metal fence and sliding metal gate along Washington Blvd. Used for metal recycling, the property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Yoon, Jake J & Sue M Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1505 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Illegible

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1960

Property Type Commercial

Applicable Criteria N/A

The 1960 building permit indicates that R. W. Wardell was the original owner. The architect was not listed. The builder's name was illegible.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story metal recycling facility, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including R.W. Wardell, the original owner (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 1528 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 1528 Washington Blvd City Montebello Zip 90640

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353014008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

There are two separate vernacular buildings on this parcel, with a large area for truck parking. The first is highly utilitarian and located to the south of the site, along Washington Boulevard, and is a small one-story office building, square in plan, with a composition flat roof and a smooth stucco exterior surface. The windows appear to be aluminum single-hung type. The second utilitarian one-story building is located to the northeast of the site and is situated on a raised concrete slab with concrete steps and concrete block foundation wall. The footprint of the building is square in plan, with a composition shingle gable roof with exposed rafter ends, and stucco exterior surface. Window type is unknown due to windows being obscured by the metal security bars, and one window on the northwest elevation appears to have been boarded-up or in-filled. An extended metal corrugated roof porch, supported by four square posts, has been added to the southwest elevation. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1965 (Estimated) Tax Assessor

\* P7. Owner and Address:

Magna &amp; Margna Inc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1528 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1951

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Montebello

Period of Significance 1965

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing two small one-story utilitarian buildings on a large parcel, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a potential historic property. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 1537 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 1537 Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353015008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This long, thin parcel contains a north-facing one-story utilitarian steel frame structure with corrugated metal walls and a flat corrugated metal roof. The site, which also has concrete block wall fronted by a metal security fence, is used as a commercial business for buying metals, and has large rectangular metal bins on site for storing these metals and plastics. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Huberman, Joseph & Riva

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1537 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme \_\_\_\_\_ Area Montebello  
Period of Significance 1949 Property Type Industrial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story metals warehouse, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a potential historic property. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 1625 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 1625 Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6353015022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a very large Vernacular Modern commercial warehouse building composed of three interlocking building sections in an irregular plan. The structure of the three sections appears to be tilt-up concrete slab construction, with three loading dock bay openings and roll-up doors located to the southeast end and two openings and doors to the northwest end of the primary northeast elevation along Washington Boulevard. In addition, a lower height rectangular pop-out office space, with tall vertical picture windows, corbel stone veneer and side door entrances, is attached to the primary northeast elevation. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1969 (Factual) Building Permit

\* P7. Owner and Address:

Falcinella, Elmo J Co Trust Et Al

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 1625 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1969

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Commerce Const. Inc.

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1969

Property Type Commercial

Applicable Criteria N/A

The 1969 building permit indicates that Burke Co. (sp?) was the original owner. The architect was not listed. The builder was Commerce Const. Inc.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a large one-story warehouse, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the vernacular architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6866 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6866 East Washington Blvd City Montebello Zip 90640  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6336004037

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a very large Modern north-facing commercial warehouse, located on the east, connected via an interstitial public entry to a front-office/administration volume, located on the west. The building straddles two cities, Commerce and Montebello, and two parcels, APN 633600036 (Commerce), where the front office and administration are located, and APN 633600037 (Montebello), where the warehouse is located. The primary north elevation's design is presented as a series of elongated full-height planes of textured concrete, with a full-height longer horizontal opaque wall of textured concrete or terracotta block on the east designating the warehouse, and an offset, public entrance and office area on the west. The main entry, demarked on the east by a low concrete wall extending north to the street, features a prominent, projecting overhang with a flat roof that is supported by two stucco-clad square concrete columns, somewhat obscured by large foliage. The entry is accessed by a short flight of broad concrete steps divided by a metal railing. The entry's walls feature a full-height panel of textured concrete flanked by a full-height glass wall that includes a metal-framed glass entrance door. The façade also has a lower wall that extends west from the west-most column and acts to separate public and private landscaping. This wall is characterized by alternating sections of delicately perforated concrete and textured concrete block. The property exhibits a very high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010



\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1958 (Estimated) Tax Assessor

\* P7. Owner and Address:

Moran, Ralph H

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6866 East Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1958

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Montebello

Period of Significance 1958

Property Type Commercial

Applicable Criteria N/A

The building permit indicates that no original owner was listed. The architect was not listed. The builder was not listed. Since this is part of the 1958 building extending into APN 6336004036, it may be presumed that the original owner was the Orchard Realty Co., the architect was John Rex, and the builder Donald F. Shaw.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a Modern building accommodating a warehouse and front office/administration, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6738 Bollenbacher Dr

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 6738 Bollenbacher Dr City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6370023030

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable on hipped roof with dormers
- Entrance: altered, wood and glass door
- Windows: altered, vinyl
- Related features: newly applied wood surrounds, grassy yard with mature growth bushes, stucco clad and decorative metal fence bounding the property line
- Style: elements of the Ranch
- Character defining features present: front-gable dormers, low-pitched side-gable on hipped roof, rectangular plan
- Character defining features not present: applied wood elements, wood frame double-hung windows
- Status: substantially altered: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
 1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Westamerica Bank Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
 ICF International  
 811 W 7th Street, Suite 800  
 Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)  
 Reconaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6738 Bollenbacher Dr

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 255 parcels within Tract 16120 that was subdivided in 1947 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 16120 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 16120 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1947 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance. As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7001 Bonnie Vale Pl

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7001 Bonnie Vale Pl City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381003033

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- - Stories: 1
- Construction: wood frame
- Cladding: smooth stucco
- Roof: side-gable
- Entrance: wood and glass
- Windows: altered, aluminum sliding
- Related features: water table, bands of windows with a wood surround, grassy yard with mature growth bushes and trees
- Style: elements of the Minimal Traditional
- Character defining features present: wood and glass door, bands of windows, water table
- Character defining features not present: wood frame windows
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1952 (Estimated) Tax Assessor

\* P7. Owner and Address:

Bravo, Ramon

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7001 Bonnie Vale Pl

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1952

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1952

Property Type Residential

Applicable Criteria N/A

Unlike most residential tracts in Pico Rivera that share Washington Boulevard as a boundary, the 17 parcels that face onto Bonnie Vale Place appear to be part of a much older subdivision, namely, the easterly portion of the Guirado Tract in the Rancho Paso de Bartolo Viejo and the beginning portion of the E.H. Boyd Tract. Unfortunately, original tract maps that would have provided clarity to the Tax Assessor's tract description were unavailable. Another unusual feature of the subdivision is the nature of Bonnie Vale Place, a cul-de-sac that bisects the tract which, according to the Tax Assessor's map, was carved out of the "front" portions of all 17 parcels. Again, it is not definitive when any of this occurred; however, the dates of construction for the dwellings that occupy the parcels range from 1948 to 1954. Note that one parcel, located on the northeast corner of the tract at 9122 Washington Boulevard, contains the old Pico Rivera railroad depot that was relocated to this site. Given the dearth of information on the early history of the subdivision an assessment of its built environment is required to determine the significance of the residential grouping. A field survey reveals that the dwellings reflect either the Minimal Traditional or Ranch styles of architecture both of which were popular at the time. However, due to substantial alterations to a majority of residential properties within the small grouping, such as the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the subdivision has been severely compromised. Although the development history of the subdivision does indeed differ from that of other tracts that were subdivided and improved after World War II, the lack of overall physical integrity of the residential grouping reduces its architectural quality and distinction such that it does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6738 Candace Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6738 Candace Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6370021027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: smooth stucco, board and batten
- Roof: cross-gable
- Entrance: obscured from view
- Windows: altered, vinyl
- Related features: brick veneer water table, board and batten siding located in the front gable end,
- Style: Ranch
- Character defining features present: medium-pitched cross-gable roof, stucco and wood cladding
- Character defining features not present: wood frame windows
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rodriguez, Elsa

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6738 Candace Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 255 parcels within Tract 16120 that was subdivided in 1947 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 16120 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 16120 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1947 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance. As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 6739 Candace Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6739 Candace Ave City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6370020001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, clapboard wood siding
- Roof: cross gable
- Entrance: obscured from view
- Windows: vinyl
- Related features: exposed rafter tails and overhanging eaves, grassy lawn
- Style: Ranch
- Character defining features present: wood siding, overhanging eaves and exposed rafter tails, medium-pitched cross-gable roof
- Character defining features not present: wood frame windows, standard stucco
- Status: exhibits important character defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Geer, Kenneth D

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6739 Candace Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1949 Property Type Residential Applicable Criteria N/A

The subject property represents one of 255 parcels within Tract 16120 that was subdivided in 1947 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 16120 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 16120 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1947 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6772 Citronell Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 6772 Citronell Ave City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6378029001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: smooth stucco and wood-lap siding
- Roof: hipped
- Entrance: altered, metal security door
- Windows: altered, vinyl
- Related features: attached garage, front porch with corner column support wood siding veneer cladding front section of façade, grassy lawn with mature growth bushes, exposed rafter tails and overhanging eaves
- Style: Minimal Traditional
- Character defining features present: stucco and wood cladding, hipped roof, minimal ornamentation
- Character defining features not present: wood frame windows
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gamez, Roberto C

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6772 Citronell Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 50 parcels within Tract 12165 that was subdivided in 1949 by owners Richard and Elizabeth M. Kornhauser, Paul W. Garvey, and E. Kline Stickney. All of the parcels were improved with one-story single-family residences in 1949 except for six adjacent parcels (Lots 45-50) located on the southeast corner of the tract (between Lemoran Avenue, Washington Boulevard and Passons Boulevard) that were set aside for commercial development. Field research reveals that three large buildings are located in the tract's commercial area: a Verizon switching facility built circa 1970, a Warehouse Shoe Sale store constructed in 2006, and a City of Pico Rivera Parks and Recreation Department building erected circa 1955. Tract 12165 contains a historically consistent grouping of Minimal Traditional style residences erected in 1949 that embody the response to the need for middle class housing in Pico Rivera in the early years following World War II. In addition, the tract is representative of how commercial development occurred in portions of new subdivisions that were targeted for such uses. Due to substantial alterations to a majority of residential properties within the grouping, such as the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. As relates to the commercial portion of the tract, the construction of three large buildings over several decades does not provide a clear picture of the original development of the area in 1949 when Tract 12165 was built out. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance. As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6773 Citronell Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6773 Citronell Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378026019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: side-gable
- Entrance: altered, metal security door
- Windows: altered, aluminum sliding
- Related features: grouped windows, front porch extensions with corner wood support, wood siding within gable ends, grassy lawn with mature shrubs, concrete block and decorative concrete screen fence bounding the main façade boundary
- Style: elements of the Minimal Traditional
- Character defining features present: stucco and wood siding, medium-pitched side-gable roof, grouped windows, minimal ornamentation
- Character defining features not present: wood frame windows
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Reynoso, Roberto & Elena

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6773 Citronell Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 50 parcels within Tract 12165 that was subdivided in 1949 by owners Richard and Elizabeth M. Kornhauser, Paul W. Garvey, and E. Kline Stickney. All of the parcels were improved with one-story single-family residences in 1949 except for six adjacent parcels (Lots 45-50) located on the southeast corner of the tract (between Lemoran Avenue, Washington Boulevard and Passons Boulevard) that were set aside for commercial development. Field research reveals that three large buildings are located in the tract's commercial area: a Verizon switching facility built circa 1970, a Warehouse Shoe Sale store constructed in 2006, and a City of Pico Rivera Parks and Recreation Department building erected circa 1955. Tract 12165 contains a historically consistent grouping of Minimal Traditional style residences erected in 1949 that embody the response to the need for middle class housing in Pico Rivera in the early years following World War II. In addition, the tract is representative of how commercial development occurred in portions of new subdivisions that were targeted for such uses. Due to substantial alterations to a majority of residential properties within the grouping, such as the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. As relates to the commercial portion of the tract, the construction of three large buildings over several decades does not provide a clear picture of the original development of the area in 1949 when Tract 12165 was built out. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance. As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6768 Cord Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6768 Cord Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6379033001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: altered, wood door
- Windows: altered, vinyl
- Related features: attached garage with original door, removed bay on the projecting section of the garage wing, grouped windows, brick veneer water table, brick and decorative metal fence bounding the property, grassy lawn
- Style: Minimal Traditional
- Character defining features present: medium-pitched roof with overhanging eaves, stucco cladding
- Character defining features not present: original primary entrance door, wood frame double-hung windows
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Robles, Frank G

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6768 Cord Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 245 parcels within Tract 12553 that was subdivided in 1949 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 12553 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 12553 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1949 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6769 Cord Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6769 Cord Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6379034015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, flagstone veneer
- Roof: cross-gable
- Entrance: altered, metal security door
- Windows: altered, aluminum sliding
- Related features: flagstone veneer water table, wood siding in the front facing gable end, small grassy lawn and concrete driveway
- Style: Minimal Traditional
- Character defining features present: medium-pitched cross-gable roof, wood siding in the gable end, L-shape plan
- Character defining features not present: wood frame windows, original garage and primary entrance doors
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Aguirre, Manuel

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6769 Cord Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1949 Property Type Residential Applicable Criteria N/A

The subject property represents one of 245 parcels within Tract 12553 that was subdivided in 1949 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 12553 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 12553 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1949 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6739 Keltonview Dr

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6739 Keltonview Dr City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6370023001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gabled
- Entrance: recessed beneath projecting front porch roof; metal security door
- Windows: altered; vinyl
- Related features: grassy front lawn, wrought iron fence
- Style: Ranch
- Character-defining features: minimal ornamentation, side gable and hipped roof, front porch
- Character-defining features not present: original wood framed windows, original door, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South and east elevs, lkg northwest 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hernandez, Elvira

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6739 Keltonview Dr

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1950 Property Type Residential Applicable Criteria N/A

The subject property represents one of 255 parcels within Tract 16120 that was subdivided in 1947 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 16120 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 16120 represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected between 1947 and 1950 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7007 Kilgarry Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7007 Kilgarry Ave City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381005010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: non-original wood double doors
- Windows: altered; vinyl
- Related features: grassy front lawn, shrubs, tree, concrete block retaining walls and planter boxes, faux Doric columns
- Style: elements of the Minimal Traditional
- Character-defining features: one story
- Character-defining features not present: original wood windows and door, standard stucco finish, original entrance area
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg southwest 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gotuzzo, Heidi

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7007 Kilgarry Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the replacement of the entrance area with incompatible elements. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6773 Lemoran Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6773 Lemoran Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378029016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: sheltered by front porch roof
- Windows: altered; vinyl
- Related features: grassy front lawn, concrete block fence
- Style: elements of the Minimal Traditional
- Character-defining features: hipped roof, minimal ornamentation, front porch
- Character-defining features not present: standard stucco finish, original wood windows
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Fernandez, Alice Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6773 Lemoran Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 50 parcels within Tract 12165 that was subdivided in 1949 by owners Richard and Elizabeth M. Kornhauser, Paul W. Garvey, and E. Kline Stickney. All of the parcels were improved with one-story single-family residences in 1949 except for six adjacent parcels (Lots 45-50) located on the southeast corner of the tract (between Lemoran Avenue, Washington Boulevard and Passons Boulevard) that were set aside for commercial development. Field research reveals that three large buildings are located in the tract's commercial area: a Verizon switching facility built circa 1970, a Warehouse Shoe Sale store constructed in 2006, and a City of Pico Rivera Parks and Recreation Department building erected circa 1955. Tract 12165 contains a historically consistent grouping of Minimal Traditional style residences erected in 1949 that embody the response to the need for middle class housing in Pico Rivera in the early years following World War II. In addition, the tract is representative of how commercial development occurred in portions of new subdivisions that were targeted for such uses. Due to substantial alterations to a majority of residential properties within the grouping, such as the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. As relates to the commercial portion of the tract, the construction of three large buildings over several decades does not provide a clear picture of the original development of the area in 1949 when Tract 12165 was built out. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 6752 Lindsey Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 6752 Lindsey Ave City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378026008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: clapboard
- Roof: side gabled
- Entrance: not visible
- Windows: mix of vinyl and original wood frame fixed
- Related features: grassy front lawn
- Style: Minimal Traditional
- Character-defining features: minimal ornamentation, low pitched hipped roof
- Character-defining features not present: original wood windows
- Status: exhibits a moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated) Tax Assessor

\* P7. Owner and Address:

Munoz, Alfred A Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6752 Lindsey Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1948

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 32 parcels within Tract 15026 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the earliest dwelling was erected in 1948 with houses constructed every year until 1954 when the small subdivision had been completely built out. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 15026 represents a historically consistent grouping of Minimal Traditional style single-family residences erected between 1948 and 1954 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and the addition of second stories to some of the dwellings, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 6744 Loch Alene Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 6744 Loch Alene Ave City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378024016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 2
- Construction: wood frame
- Cladding: standard stucco
- Roof: Cross gable with side gable on addition
- Entrance: recessed with pent supported on metal pillars
- Windows: altered, vinyl
- Related features: grass lawn; specimen tree; chain link fence; flower and shrub planting
- Style: Minimal Traditional
- Character defining features present: front gable and chimney, minimal ornamentation
- Character defining features not present: original windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hernandez, Sergio & Guadalupe

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6744 Loch Alene Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 31 parcels within Tract 14841 that was subdivided in 1947 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the earliest dwelling was erected in 1948 with houses constructed every year until 1955 when the small subdivision had been completely built out. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14841 represents a historically consistent grouping of Minimal Traditional style single-family residences erected between 1948 and 1955 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and the addition of second stories to some of the dwellings, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the addition of a second story. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7003 Loch Alene Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7003 Loch Alene Ave City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6381003008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: not visible
- Windows: altered, aluminum sliders
- Related features: tree and shrubs, metal perimeter fence
- Style: Minimal Traditional
- Character defining features present: hipped roof, stucco finish, minimal ornamentation
- Character defining features not present: original windows, standard stucco finish
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Suarez, Dolores

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7003 Loch Alene Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 31 parcels within Tract 14841 that was subdivided in 1947 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the earliest dwelling was erected in 1948 with houses constructed every year until 1955 when the small subdivision had been completely built out. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14841 represents a historically consistent grouping of Minimal Traditional style single-family residences erected between 1948 and 1955 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and the addition of second stories to some of the dwellings, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum sliders and the application of non-original rough textured stucco finish to exterior elevations. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9751 Lochinvar Dr

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9751 Lochinvar Dr City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003012

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco and specialty siding
- Roof: cross gabled
- Entrance: not visible
- Windows: altered, vinyl
- Related features: mature landscaping
- Style: Ranch
- Character defining features present: roof form, specialty siding
- Character defining features not present: original windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Saenz, Gilbert &amp; Frances

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9751 Lochinvar Dr

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1957 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7004 Pico Vista Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7004 Pico Vista Rd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: gabled
- Entrance: non-original
- Windows: altered, vinyl
- Related features: grassy lawn, wrought iron perimeter fence
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish, minimal ornamentation
- Character defining features not present: original windows, standard stucco finish
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Sirimitr, Vilaiporn

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7004 Pico Vista Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1957 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7010 Pico Vista Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7010 Pico Vista Rd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383003014

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
  - Stories: 1
  - Construction: wood frame
  - Cladding: rough textured stucco; board and batten on garage
  - Roof: side gable with double front gables; scalloped bargeboards on garage and residence
  - Entrance: obscured
  - Windows: altered, aluminum sliders
- Related Features: faux dovecote, lawn, topiary trees, exterior brick chimney
- Style: Ranch
  - Character Defining Features Present: roof form, L-shaped plan, board and batten siding, exterior brick chimney
  - Character Defining Features Not Present: original windows, standard stucco finish
  - Status: exhibits a moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Torres, Sergio

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7010 Pico Vista Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1957 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum sliding windows and the application of non-original rough textured stucco finish to exterior elevations. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7014 Pico Vista Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7014 Pico Vista Rd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383003015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
  - Stories: 1
  - Construction: wood frame
  - Cladding: rough textured stucco; board and batten on garage
  - Roof: side gable with double front gables; scalloped bargeboards on garage and residence
  - Entrance: not visible
  - Windows: altered, vinyl
- Related Features: faux dovecote, lawn, exterior brick chimney
- Style: Ranch
  - Character Defining Features Present: roof form, L-shaped plan, board and batten siding, exterior brick chimney
  - Character Defining Features Not Present: original windows, standard stucco finish
  - Status: exhibits a moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzalez, Elsa

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7014 Pico Vista Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1957 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7024 Pico Vista Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7024 Pico Vista Rd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383003017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco; wide clapboard siding on garage
- Roof: side gable with double front gables
- Entrance: not visible
- Windows: original steel-framed multi-pane casements

Related Features: diamond patterned wood screen in front of garage windows, mature landscaping

- Style: Ranch
- Character Defining Features Present: roof form, L-shaped plan, wide clapboard siding
- Character Defining Features Not Present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzales, Guadalupe A Trust

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7024 Pico Vista Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1957 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, the dwelling exhibits a high level of integrity. However, as an example of the Ranch style the house does not rise to level of significance required for designation under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: Rio Hondo Bridge

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address Rio Hondo Bridge City Pico Rivera Zip 90661

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app APN(s):

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The Rio Hondo Bridge, No. 53C0156 in the Caltrans Historic Bridge Inventory, Local Agency Bridges, crosses the Rio Hondo River and the Rio Hondo Bike Path .5 miles west of Paramount Boulevard in Pico Rivera. Constructed in 1951 by Caltrans (then the Division of Highways) and widened and extended in 1959, it carries vehicular and pedestrian traffic along Washington Boulevard. The bridge is approximately .75 miles long and carries four lanes of traffic, two lanes in each direction separated by a concrete divider. Supported by two canted reinforced piers with concrete seat abutments, the overcrossing also has a steel window railing. The property appears to have been largely unmodified since its 1959 alteration and exhibits high integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP11 Engineering Structure\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southeast 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual)

\* P7. Owner and Address:

Caltrans

\* P8. Recorded by: (Name, affiliation, address)

Barbara Lamprecht, Andrew Bursan  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: Rio Hondo Bridge

B1. Historic Name: Rio Hondo Bridge 53C0156

B2. Common Name: None

B3. Original Use: Bridge B4. Present Use: Bridge

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Constructed in 1951  
Widened/Extended 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
Rio Hondo River

B9a. Architect: Bridge Department Of The Division Of Highways b. Builder: Bridge Department Of The Division Of Highways

\* B10. Significance: Theme Transportation Area Pico Rivera  
Period of Significance 1959 Property Type Bridge Applicable Criteria N/A

The status of the Rio Hondo Bridge 53C0156 as listed in the August 2010 Inventory for Historical Significance, Local Agency Bridges, as "not eligible for the NHRP." This evaluation does not change its status. The bridge does not appear to meet the criteria for listing in the National Register of Historic Places. It is not significant under Criterion A in the area of transportation in the context of commercial and industrial development in the Pico Rivera or surrounding communities and did not make an important contribution to the area's transportation history. There are no known associations with significant persons under Criterion B. Under Criterion C in the area of engineering, this prestressed concrete bridge is representative of a very common type of structure constructed by the Bridge Department in the early 1950s, reflecting a major expansion of suburban development throughout the region. The bridge was altered and widened in 1959, reflecting the region's pace of growth. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Caltrans Historic Bridge Inventory

B13. Remarks:

\* B14. Evaluator: Barbara Lamprecht, Andrew Bursan, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

(Sketch map with north arrow required)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8335 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 8335 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6348026026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multiple-family residence
- Stories: 2
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: metal security door to passageway
- Windows: aluminum
- Related features: decorative metal screens, grassy lawn with hedges, several trees
- Style: Vernacular Modern
- Character defining features present: low pitched roof, shallow eaves, stucco finish, minimal ornamentation
- Character defining features not present: standard stucco finish
- Status: exhibits a moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Estimated) Tax Assessor

\* P7. Owner and Address:

Koneru, Kumar

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8335 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence

B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1959 Property Type Residential Applicable Criteria N/A

The subject property represents one of 245 parcels within Tract 12553 that was subdivided in 1949 by Walter Bollenbacher and Louis L. Kelton. The two builders were notably prolific with many of their projects given the Allied Gardens moniker. There were Allied Gardens in Van Nuys, Reseda, Compton, Rosecrans, and the so-called Whittier citrus belt in which the subject tract is located. Indeed, it was not long before the citrus groves would give way to residential development such that its previous agricultural history would be relegated to the distant past. Later, Tract 12553 would be annexed to the City of Pico Rivera.

Bollenbacher and Kelton are typical of the well-financed large-scale developers operating in Southern California following World War II who were responsible for all aspects of a new residential project, from subdividing the land and providing street improvements to constructing the houses, then marketing, arranging financing, and selling them. Tract 12553 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1949 that embody the response to the need for middle class housing in east Los Angeles County in the years after World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated builders does not differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish. Because of this modification the property no longer represents a good example of the Vernacular Modern architectural style as applied to an apartment building. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 8423 Washington Blvd

P1. Other Identifier: Luau Manor

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 8423 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app APN(s): 6370030015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multi family residence
- Stories: 2
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: very low pitched hip
- Entrance: appears original
- Windows: aluminum
- Related features: extensive original landscaping, Luau Manor name on signboard, metal screens over windows
- Style: Vernacular Modern
- Character defining features present: roof form, stucco finish, aluminum windows, building name, landscaping
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1960 Tax Assessor

\* P7. Owner and Address:

Tabash, Edward Z

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/1/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8423 Washington Blvd

B1. Historic Name: Luau Manor

B2. Common Name: Luau Manor

B3. Original Use: Multi-Family Residence

B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1960

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1960

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 102 parcels within Tract 19509 that was subdivided in 1956 by a consortium of numerous investors. Of the numerous parcels within the subdivision, those facing Washington Boulevard, such as the subject property, were assigned for use as apartment buildings or for commercial uses. The subject multi-family dwelling retains a high level of physical integrity; however, the building represents an unexceptional example of the Vernacular Modern style as applied to an apartment building. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 8/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8535 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 8535 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6370021001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains an east-facing Vernacular Modern mini strip mall consists of two one-story buildings and a parking lot. The building to the west, with a shallow L-shape plan, has a flat composition roof fronted by a clay tile mansard roof over the multiple store fronts. The exterior wall surface is stucco and the storefront fenestrations consist of aluminum storefront windows and doors. The second building, a donut shop located at the corner of Washington Boulevard and Phaeton Avenue, is square in plan with a composition roof and surrounding parapet. The donut shop features a deep projecting parapet clad in stucco. Below that is a surround of glass in metal frames around all four sides, below which is located a exterior countertop with a tapered base. The underside of the overhang features a folded-plate pattern of glass and stucco. The building to the west with multiple stores exhibits a moderate level of integrity due to later alterations, and the building located at the corner of the property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1964 (Factual) Building Permit

\* P7. Owner and Address:

Marinos, Tim &amp; Helen Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8535 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1964

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Fred White Realty

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1964

Property Type Commercial

Applicable Criteria N/A

The 1964 building permit indicates that Fred White Realty was the original owner. The architect was not listed. The builder was Fred White Realty.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a strip mall comprising two one-story buildings, exhibits a moderate to high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8737 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 8737 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6370025009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Vernacular Modern south-facing commercial building is one story in height located on a corner lot. The structure is steel frame construction with a rectangular shape plan. The roof is a flat composition roof with deep surrounding parapet, closely held to the wall surface. The main entrance is recessed, sheltering bank ATM machines and an entrance of aluminum frame doors and windows. The exterior wall surface is stucco with a portion of natural rock veneer located to the west end of the primary south elevation and part of the west elevation. There is a carport roof extension, supported with square columns, on the west elevation, accommodating a car drive-up ATM machine. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 (Factual) Building Permit

\* P7. Owner and Address:

United Calif Bk Realty Corp

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

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DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8737 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1956

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Merrill W. Baird b. Builder: Unknown

\* B10. Significance: Theme Commercial Development Area Pico Rivera

Period of Significance 1956 Property Type Commercial Applicable Criteria N/A

The 1956 building permit indicates that California Bank was the original owner. The architect was Merrill W. Baird. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one story bank building, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Merrill W. Baird, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9033 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9033 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378019052

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Modern south-facing commercial building is two stories in height and is steel frame construction with a rectangular plan. The roof is flat with composition sheeting, and has a projecting roof overhang surrounding the four sides of the building. The primary elevation has eleven steel posts that extend from the ground to meet the bottom of the overhang where they are aligned along its center line. Windows and doors on the ground floor are vertical in orientation comprised of bands of aluminum-framed windows, while the bands of smaller windows on the second floor are square aluminum frame. The exterior wall surface is stucco with the exception of the south and part of the east elevations, where a mid course of stucco paneling separates the ground and upper story windows. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Mackel, Lawrence O

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9033 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
1975: Remodel. Cost: \$30,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Lorand West

b. Builder: Feldman Const.

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1965

Property Type Commercial

Applicable Criteria N/A

The 1965 building permit indicates that Ronald Binder was the original owner. The architect was Lorand West. The builder was Feldman Const.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-story office building in the mid-century Modern style, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Ronald Binder, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Lorand West and builder Feldman Construction, landscape history, or engineering achievement (Criterion C, NRHP). While a sound example of the Modernist architectural style, it lacks the overall architectural quality, distinction, and rarity required for significance under this criterion. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9049 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9049 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378019053

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Vernacular Modern south-facing commercial building has two heights, one-story and one story. It is wood frame construction with a rectangular shape plan with five bays. The four on the east are evenly spaced and separated by stone veneer pilasters, and the fifth defining the entrance on the west, is marked by projecting, flanking piers clad in stone veneer. The taller portion is located at rear of the building at the north end. The roofs are flat composition with a surrounding parapet. The recessed entrance is slightly elevated with concrete steps and characterized by aluminum frame windows and entry doors, while the eastern bays are fronted by a continuous planter. There are glass-block windows which run atop of the main window openings, but appear to have been in-filled. The exterior wall surfaces are stucco, with stone veneer used for the walls, planters, and square posts supporting the entry porch roof overhang. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Shneidman, Harriet M Co Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9049 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1965

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Daniel L. Dworsky

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1965

Property Type Commercial

Applicable Criteria N/A

The name of the original owner found on the 1965 building permit was Illegible. The architect was Daniel L. Dworsky. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property exhibits a moderate level of integrity based on some alterations to the façade over time. Although designed by a master architect, Dan Dworsky, FAIA, it is not one of his important designs, and does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP). While the property was designed by an architect of note, it is not one of his distinguished designs, and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style or of Mr. Dworsky's work. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9055 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9055 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6378019037

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This south-facing Modern commercial building is one story in height and is set deeply into its corner lot. It has a rectangular plan and appears to be brick construction. The roof is a folded-plate pattern and is covered with composition shingles. The primary south elevation has aluminum store front windows and doors for two commercial businesses. A projecting upward angled porch roof extension, part of the folding-plate roof pattern, extends over the store entries on the west side of the façade, and is supported by six round steel column posts. A large metal sign is located in the parking lot in front of the primary elevation. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1958 (Factual) Building Permit

\* P7. Owner and Address:

Torbati, Daniel & Talia

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9055 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1958

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Mackintosh And Mackintosh

b. Builder: Robert Chuckrow Const. Co.

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1954

Property Type Commercial

Applicable Criteria N/A

The 1958 building permit indicates that G. R. Kinney Corporation was the original owner. The architect was Mackintosh and Mackintosh. The builder was Robert Chuckrow Const. Co.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story commercial building unusual in its folded roof pattern, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Mackintosh & Mackintosh and builder Robert Chuckrow Construction Co., landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9107 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9107 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6378020026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large Modern funerary complex consists of two connected volumes, one one-story and a two-and-a-half story chapel. It is of wood-frame construction with a U-shaped plan. The taller volume consists of the west-facing main chapel, located at the south end of the parcel along Washington Boulevard and oriented to Carron Drive. It is characterized by a low-pitched front-gable roof and upper walls that are canted and clad in wood shingles. Below, a rectangular perimeter wall clad in brick veneer, approximately one story in height, projects beyond the angled upper walls, supporting their ends. Above the brick wall, the upper portion of the primary elevation, also the main entrance, consists of a series of angled windows flanking a centered plane of unornamented stucco. The one-story connecting building to the chapel has gable roofs with overhangs, wood shingles, and stucco exterior wall surfaces. There is a black top parking area to the north and northwest of the parcel, brick planters, and a tall brick pier capped in a flat concrete roof with a broad overhang, located in the southwest corner of the property and centered in the walkway leading to the chapel. The chapel exhibits a high level of integrity, while the property, which has had major additions, exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both1952 (Factual) Building Permit

\* P7. Owner and Address:

Morrow, D Douglas Co Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9107 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1963: Addition. Cost: \$55,000.

1971: Addition. Cost: \$20,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: M. C. Ensign

b. Builder: Illegible

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1960

Property Type Commercial

Applicable Criteria N/A

The 1952 building permit indicates that Angustana Lutheran Church was the original owner. The architect was M. C. Ensign. The builder's name was illegible. Standard research did not provide any information on architect M.C. Ensign.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, originally containing a church now used as a funerary complex with the addition of supporting buildings on the north end of the property, exhibits a moderate to high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect M.C. Ensign, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9214 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9214 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381005001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco, vertical wood siding, brick water table
- Roof: hipped
- Entrance: metal security door
- Windows: wood frame double hung sash; wood frame fixed
- Related features: front lawn, white picket fence bounds the property line
- Style: elements of Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: standard stucco finish
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Arias, Esther

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9214 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9220 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9220 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381005002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 2
- Construction: wood frame
- Cladding: textured stucco
- Roof: multiple gables
- Entrance: recessed
- Windows: vinyl
- Related features: grassy front lawn with succulents
- Style: Neo-Spanish Colonial Revival/Mediterranean Revival
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Serna, Andrew D

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9220 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction date: 1950

Completely Remodeled circa 2009

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, the dwelling has been completely remodeled such that it no longer exhibits any aspects of its original architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9228 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9228 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381005003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: not visible
- Windows: altered, vinyl
- Related features: grassy front lawn, concrete block and metal fence bounding the property line
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated) Tax Assessor

\* P7. Owner and Address:

Tovar, Rodrigo &amp; Maria R

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9228 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1948

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9236 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9236 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6381005004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, brick veneer
- Roof: side-gable with front gable portion
- Entrance: altered, non-original door
- Windows: altered, fixed glass in original wood frames
- Related features: grassy front lawn, round brick-lined planter in center of lawn with tree and shrubs
- Style: Minimal Traditional
- Character defining features present: wood frame windows, low-pitched roof, brick
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Flores, Ruben G &amp; Sylvia B

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9236 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9244 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9244 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381005005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: standard stucco
- Roof: hipped
- Entrance: recessed, accessed via porch
- Windows: original wood frame fixed and double hung sash
- Related features: grassy front lawn, port cochere leads to rear garage
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, wood frame double-hung windows, standard stucco finish
- Character defining features not present: none
- Status: possesses all aspects of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1953 (Estimated) Tax Assessor

\* P7. Owner and Address:

Cortez, Mary A

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9244 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1953

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1953

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9252 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9252 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381005006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: standard stucco and wood lap water table
- Roof: hipped
- Entrance: recessed
- Windows: original wood frame double hung sash
- Related features: grassy front lawn, several mature trees
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, low-pitched hipped roof, standard stucco finish, wood lap siding, wood frame double-hung windows
- Character defining features not present: none
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Figueroa, Richard & Cynthia

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9252 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9260 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9260 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381005007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: standard stucco
- Roof: side-gable
- Entrance: recessed, non-original door
- Windows: altered, vinyl
- Related features: grassy front lawn, U-shaped driveway, several mature trees
- Style: elements of the Ranch
- Character defining features present: horizontal profile
- Character defining features not present: wood frame double-hung windows, applied wood decorations
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hernandez, Reynaldo & Frances O

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9260 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional and Ranch style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9266 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9266 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381005008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: altered, aluminum and fixed in original wood frames
- Related features: grassy front lawn with hedges in raised brick planter beds, light on pole by walkway, pole supporting roof over recessed entryway
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Zavala, Salvador A & Patricia A

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9266 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9274 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9274 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381005009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: original wood frame double hung sash
- Related features: grassy front lawn with boxwood hedges and large shrubs and ornamental pines, light on pole
- Style: elements of the Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, recessed entrance
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Sanchez, Thomas R & Cathy C

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9274 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 51 parcels within Tract 14100 that was subdivided in 1948 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the majority of the dwellings were erected between 1948 and 1950 with a wide range of construction dates from 1951 to 1957 for the remainder of the properties. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14100 represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected between 1948 and 1957 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9300 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9300 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381006019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Vernacular Modern north-facing commercial strip mall building is one-story in height and is of wood frame construction with an L-shaped plan. It has a cross-gabled roof with composition shingles. The exterior wall surface is sheathed in stucco, painted stone, and brick veneer and is punctuated with aluminum store front windows and doors. There is a deep fascia board supporting the signage for the various retail stores along the lower edge of the gable roof. The property has a small parking lot in front the storefronts along Washington Boulevard. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Hartwell, Beatrice V Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9300 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Robert Hall

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that Robert M. Knowles was the original owner. The architect was Robert Hall. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story strip mall building, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Robert M. Knowles, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Robert Hall, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9316 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9316 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6381006025

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This unusual parcel, a flag lot facing Washington Boulevard with a secondary access on Passons Boulevard, wraps around a vacant corner lot. There are two one-story utilitarian buildings, apparently unrelated, on the site.

The northwest building is rectangular in plan with a flat roof and parapet, and has a secondary attached structure clad in corrugated metal panels fronting Washington Boulevard. This utilitarian building's walls, stucco-clad concrete block, are unrelieved by openings except for the offset entrance with wood doors and a canvas canopy. It exhibits a moderate level of integrity.

The southeast building, influenced by the Craftsman style, is square in plan with a low-pitched gable roof with composition sheeting, extended overhangs, and three tapered steel beams, also exposed. The building appears to be wood frame construction and has a shear wall located on the southwest end of the building. The exterior wall surface appears to be stucco with wood frame and sash store and transom windows that are boarded up on both the northeast and primary southeast elevation along Passons Boulevard. There is a metal sign in a vertical orientation located on the roof, stating "The Living Room." The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1954 (Factual) Building Permit

\* P7. Owner and Address:

9332 Washington Llc Et Al

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9316 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mixed Use Building

B4. Present Use: Mixed Use Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1961: Addition. Cost: \$7,400.

1982: Addition. Cost: \$30,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Ray W. Johnson

b. Builder: Roy Way

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1954

Property Type Commercial

Applicable Criteria N/A

The 1954 building permit indicates that Mr. L. D. Thomason was the original owner. The architect was Ray W. Johnson. The builder was Roy Way.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing two one-story buildings, one utilitarian, the other apparently a former restaurant and now boarded up, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including L.D. Thomason, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Ray W. Johnson or builder Roy Way, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of either the utilitarian or Craftsman architectural styles. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9317 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9317 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6378029801

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This light industrial Modern commercial building houses telecommunication equipment. The south-facing building is two stories in height and is steel frame construction with a short L-shaped plan. The roof is flat with composition sheeting. The exterior wall surface is brick veneer with stucco vertical columns and upper horizontal roof line. There are two large louvered vents on the south elevation, along Washington Boulevard, and a pop-out at the east end of the building. Behind the building, at the northwest corner, there is a concrete platform and security cage for large air cooling equipment which has air ducts from the outside mechanical units to the top of the building's roof. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

Southelev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Gte Calif Inc

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9317 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1965

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: John Norobak

b. Builder: Pass Const. Co.

\* B10. Significance: Theme Industrial Development

Area Pico Rivera

Period of Significance 1965

Property Type Industrial

Applicable Criteria N/A

The 1965 building permit indicates that General Telephone Co. was the original owner. The architect was John Norobak. The builder was Pass Const. Co.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a two-story light industrial building, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect John Norobak or builder Pass Construction Co., landscape history, or engineering achievement (Criterion C, NRHP); and this utilitarian building lacks the overall architectural quality and distinction. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9434 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9434 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6383001001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: vinyl
- Roof: hipped
- Entrance: metal security door, original door, accessed via front porch with wheelchair ramp
- Windows: altered, Vinyl
- Related features: grassy front lawn with mature shrubs, several trees, wheelchair ramp
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation
- Character defining features not present: standard stucco finish, wood frame windows
- Status: Exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gilbride, Jean H

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9434 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original vinyl cladding. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9437 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9437 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6379034024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story south-facing utilitarian commercial store consists of a store building and a car drive through lane. The building is square in plan with a alternating higher and lower composition roofs. An angled, higher level roof extension, defining the entrance, is square in plan and located at the southwest corner supported by three square posts sheltering the entrance and outdoor area below. The exterior wall surface is smooth stucco with brick veneer and masonry block with some projecting block. The building is characterized by aluminum storefront windows and doors. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1953 (Estimated) Tax Assessor

\* P7. Owner and Address:

Moriarty, Thaddeus J Jr Co Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9437 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1953

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Pico Rivera

Period of Significance 1953

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a small one-story retail store in a utilitarian style, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of utilitarian building. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9438 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9438 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6383001002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, stone veneer water table
- Roof: gable-on-hip
- Entrance: metal security door
- Windows: original wood frame double hung sash; metal security bars
- Related features: grassy front lawn
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched gable-on-hip roof, wood frame double-hung windows
- Character defining features not present: standard stucco finish covering entirety of exterior surfaces
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Perez, Yolanda

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9438 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish to exterior surfaces, natural rock veneer to the water table, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9444 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9444 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6383001003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed; metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with palms in raised brick planter beds; several trimmed trees set in lawn
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Jauregui, Jesus I

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9444 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria..

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9450 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9450 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 6383001004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed; metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with palms in raised brick planter beds; several trimmed trees set in lawn
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

La Osa, Ariel J &amp; Jacqueline

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9450 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, the installation of a metal security door in front of the entrance, and the replacement of original porch posts with turned wood posts. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9454 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9454 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383001005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, natural rock veneer
- Roof: gable-on-hip
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with palms in raised brick planter beds; mature tree
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Marquez, Oscar

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9454 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9502 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9502 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383001006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, wood lap accents
- Roof: side-gable
- Entrance: not visible
- Windows: altered, vinyl
- Related features: grassy front lawn, mature trees
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Puertas, Juan

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9502 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9508 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9508 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383001007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable with large front-gable dormer
- Entrance: recessed; accessed via front porch
- Windows: altered, vinyl within non-original openings
- Related features: grassy front lawn with hibiscus and rose bushes, fountain ringed by walkway, porch completely enclosed with round arched openings and iron security bars
- Style: elements of the Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original porch
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzalez, Alberto G

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9508 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the replacement of original porch elements with arched openings and metal bars. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9512 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9512 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383001008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: slightly recessed; non-original wood door
- Windows: altered, vinyl within non-original openings
- Related features: grassy front lawn, non-original brick porch landing
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Cervantes Juana

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9512 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a non-original front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9515 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9515 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379033017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 2
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with palms, columns supporting porch roof, one-room second story addition
- Style: elements of the Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original one-story configuration
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg northwest 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Ramos, Blanca

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9515 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, on 5/17/2007 the property was given a 6Y NRHP status code, which means that it was determined ineligible for the National Register by consensus through the Section 106 process; however, it was not evaluated for California Register or local listing at that time. During the current evaluation, numerous alterations were identified including the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the addition of a second story. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9518 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9518 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383001009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, natural rock veneer
- Roof: hipped
- Entrance: not visible
- Windows: altered, vinyl
- Related features: grassy front lawn with palms, columns supporting porch roof, one-room second story addition
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Quintero, Vicente

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9518 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish and natural rock cladding, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9524 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9524 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383001010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with palms, columns supporting porch roof, one-room second story addition
- Style: elements of the Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Muller, Sergio E

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9524 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9528 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9528 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383001011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with rose bushes, columns supporting porch roof
- Style: elements of the Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Deutsche Bank Trust Co Americas Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9528 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9529 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9529 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032029

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped, side-gabled
- Entrance: metal security door
- Windows: altered, vinyl and aluminum sliding
- Related features: grassy front lawn with palms, columns supporting porch roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
South & west elevs, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both  
1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Jackson, Irene Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9529 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl and aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9534 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9534 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383001012

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn, posts supporting porch roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Ascencio, Bertha

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9534 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9535 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9535 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032028

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, flagstone veneer water table
- Roof: hipped and gable on hip
- Entrance: metal security door
- Windows: wood frame fixed and diamond patterned
- Related features: grassy front lawn with mature tree and bushes, attached carport
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: standard stucco finish
- Status: exhibits most of the style's character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gutierrez, Dolores Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9535 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish and the installation of a metal security door in front of the entrance. Although the property exhibits a sufficient level of integrity to represent the style it does not rise to a level of architectural significance required for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9541 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9541 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gabled
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn with shrubs
- Style: elements of the Ranch
- Character defining features present: medium-pitched side-gable roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Van Meter, Michael &amp; Donna Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9541 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9602 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9602 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, flagstone veneer, vertical boards
- Roof: hipped with shallow eaves
- Entrance: metal security door
- Windows: wood framed double hung sash
- Related features: grassy front lawn
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, hipped roof, wood frame windows
- Character defining features not present: standard stucco finish
- Status: exhibits most of the style's character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rodriguez, Jose E

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9602 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9603 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9603 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gable and hipped
- Entrance: non-original wood door
- Windows: altered, vinyl
- Related features: grassy front lawn, arched porch opening
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation
- Character defining features not present: wood frame double-hung windows, standard stucco finish, unaltered front porch area
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Tlatenchi, Maria

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9603 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and new surrounds, the application of non-original rough textured stucco finish, the modification of the front porch to include an arched opening, and the installation of a new front door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9606 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9606 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, natural rock veneer water table
- Roof: side-gable with front-gable portion
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn
- Style: elements of the Ranch
- Character defining features present: minimal ornamentation
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southwest 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Moran, Fernando &amp; Martha M

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9606 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional and Ranch architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9609 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9609 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032025

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, natural rock veneer
- Roof: hipped
- Entrance: not visible
- Windows: altered, vinyl within non-original openings
- Related features: grassy front lawn with palms
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, stucco finish
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Cuellar, Maria

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9609 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish and natural rock veneer to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9612 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9612 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: grassy front lawn, detached garage, front porch
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, stucco finish
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzalez, Fausto Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9612 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9613 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9613 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stone veneer
- Roof: hipped with non-original clay tiles
- Entrance: recessed
- Windows: altered; vinyl
- Related features: grassy front lawn with palms and shrubs, attached garage with hipped clay tile roof
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, minimal ornamentation, asphalt roof shingles
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Garcia, Juan A

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9613 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original natural rock cladding, and the replacement of asphalt roof shingles with clay tiles. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9618 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9618 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco, stone veneer
- Roof: gable-on-hip
- Entrance: not visible
- Windows: aluminum in original frames
- Related features: grassy front lawn with palms, columns supporting porch roof, original wood balustrade
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched gable-on-hip roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Vivas, Maria

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9618 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rock veneer, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9619 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9619 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032023

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: brick veneer
- Roof: hipped
- Entrance: metal security door
- Windows: altered; aluminum
- Related features: grassy front lawn with bushes, columns supporting porch roof, large garage with hipped roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof,
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
4/1/2010\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1949 (Estimated) Tax Assessor\* P7. Owner and Address:  
Gonzalez, Antonio Sr Co Trust\* P8. Recorded by: (Name, affiliation, address)  
Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9619 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish and brick veneer, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9624 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9624 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: non-original wood door
- Windows: altered; aluminum in original frames; one original wood window
- Related features: grassy front lawn with palms, front porch with metal balustrade
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hernandez, Adrian O

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9624 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9625 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9625 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped, U-shaped
- Entrance: recessed
- Windows: altered; aluminum
- Related features: grassy front lawn with palms, columns supporting porch roof, enclosed one-car garage
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door, original garage door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Provencio, Melford F Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9625 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9628 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9628 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco, stone veneer, asbestos siding
- Roof: hipped
- Entrance: recessed
- Windows: altered; aluminum in original window openings
- Related features: grassy front lawn with shrubs, detached garage
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, front porch
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Garcia, Marina C

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9628 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rock veneer and asbestos siding to exterior elevations. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9644 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9644 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, wood siding around central windows
- Roof: side gabled
- Entrance: metal security door
- Windows: altered; vinyl
- Related features: grassy front lawn
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Arreola, Fernando V &amp; Adriana M

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9644 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9645 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9645 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032018

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: gable-on-hip
- Entrance: recessed; non-original wood door
- Windows: altered; vinyl
- Related features: grassy front lawn with palms, oversized non-original columns supporting porch roof, porte-cochere supported by oversized Doric columns
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Flores, Ignacia

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9645 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, the installation of a new front entry door, and the replacement of original roof support posts with Doric columns. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9650 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9650 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: non-original wood door
- Windows: altered; vinyl
- Related features: grassy front lawn with palms in raised brick planter beds, columns supporting porch roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, front porch
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Loya, Fernando U Sr

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9650 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9651 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9651 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1 and 2
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: metal security door
- Windows: altered; vinyl
- Related features: grassy front lawn with shrubs, stone veneer and wrought iron fence, carport, second story rear addition
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door, minimal ornamentation
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Turner, Maureen &amp; Steven

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9651 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1949 Property Type Residential Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, the installation of a new front entry door, and the addition of a second story to the dwelling. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9656 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9656 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: gable-on-hip
- Entrance: metal security door
- Windows: wood frame double hung sash
- Related features: grassy front lawn, columns supporting porch roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, wood frame double-hung windows
- Character defining features not present: standard stucco finish, original front door
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Reyes, Vivian E

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9656 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a relatively high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9657 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9657 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross gabled with hipped roof garage
- Entrance: metal security door
- Windows: altered; aluminum
- Related features: grassy front lawn with palms, columns supporting porch roof, large carport with hipped roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched roof,
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Galindo, Yolanda Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9657 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9700 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9700 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002012

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, vertical wood siding
- Roof: side gabled
- Entrance: metal security door
- Windows: altered; vinyl
- Related features: grassy front lawn with shrubs, columns supporting porch roof, large carport with hipped roof
- Style: Ranch
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Serrato, Javier P & Martha I

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9700 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional and Ranch architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9706 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9706 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003018

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco, wood in gable peak
- Roof: cross-gabled
- Entrance: recessed
- Windows: mostly wood frame sashes; one vinyl window
- Related features: grassy front lawn with hedges, columns with decorative screens supporting porch roof
- Style: Minimal Traditional
- Character defining features present: wood decorative elements, medium-pitched gabled roof, wood frame double-hung window
- Character defining features not present: all original windows
- Status: displays important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Lopez, Jose G &amp; Ramona G

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9706 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of one original wood window with vinyl. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9716 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9716 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco; brick veneer; wood lap siding
- Roof: side-gable
- Entrance: recessed
- Windows: altered; vinyl
- Related features: grassy front lawn with palms, clay tile roof
- Style: elements of the Ranch
- Character defining features present: medium-pitched side-gable roof, horizontal plan, dovecote
- Character defining features not present: wood frame double-hung windows, standard stucco finish, porch, decorative wood elements, original roof materials
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1958 (Estimated) Tax Assessor

\* P7. Owner and Address:

Lopez, Lawrence & Mary Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9716 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1958

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1958

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the replacement of original roof materials with clay tiles. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9722 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9722 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: vertical board and batten; rough textured stucco
- Roof: cross-gabled
- Entrance: metal security door
- Windows: wood frame, diamond paned
- Related features: grassy front lawn with shrubs, decorative fascia board, dovecote
- Style: Ranch
- Character defining features present: medium-pitched gabled roof, diamond paned windows, attached garage, dovecote, carved bargeboards
- Character defining features not present: none
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1956 (Estimated) Tax Assessor

\* P7. Owner and Address:

Estrada, Juan & Elvira Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9722 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1956

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Pico Rivera

Period of Significance 1956 Property Type Residential Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a relatively high level of physical integrity. However, the building represents an unexceptional example of the Ranch style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9728 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9728 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383003003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco; vertical board and batten-like siding
- Roof: cross-gable with front gable garage
- Entrance: not visible
- Windows: not visible
- Related features: variety of shrubs and cactus plants; decorative fascia, dovescote
- Style: Ranch
- Character defining features present: medium-pitched gabled roof, decorative wood elements, attached garage
- Character defining features not present: standard stucco finish
- Status: exhibits a moderate to high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1958 (Estimated) Tax Assessor

\* P7. Owner and Address:

Magdaleno, Arthur &amp; Annie Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9728 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1958

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1958

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a relatively high level of physical integrity. However, the building represents an unexceptional example of the Ranch style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9634 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9634 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gabled
- Entrance: non-original wood door; recessed
- Windows: altered, vinyl
- Related features: grassy front lawn, brick veneered columns supporting front entrance shelter
- Style: Ranch
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Uriarte, Marilu

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9634 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional and Ranch architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9635 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9635 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032020

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped, cross-gabled
- Entrance: not visible
- Windows: altered; vinyl in non-original openings
- Related features: grassy front lawn; garage wall and front-gabled front porch have been enclosed
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched roof
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door, original front porch
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Us Bank National Association Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9635 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows in non-original openings, the application of non-original rough textured stucco finish, and the enclosure of the original front porch. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9640 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9640 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383002008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: hipped
- Entrance: accessed via front porch
- Windows: original wood frame double hung sash
- Related features: grassy front lawn with trees, columns supporting porch roof
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, wood frame double-hung windows, original front door
- Character defining features not present: none
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Lesinsky, Andrew D

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9640 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a relatively high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9641 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9641 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6379032019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco and vertical wood siding
- Roof: hipped
- Entrance: non-original wood door
- Windows: altered; vinyl
- Related features: grassy front lawn with trees, columns supporting porch roof, original wood balustrade
- Style: Minimal Traditional
- Character defining features present: minimal ornamentation, medium-pitched hipped roof, front porch
- Character defining features not present: wood frame double-hung windows, standard stucco finish, original front door
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Songer, Denise M

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9641 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 189 parcels within Tract 15524 circa 1949 (the maps for this tract were not available). All of the parcels were improved in 1949 with single-family residences designed in the Minimal Traditional architectural style popular at that time. The tract represents a historically consistent grouping of Minimal Traditional style residences that embody the response to the need for middle class housing in East Los Angeles County in the years following World War II. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9734 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9734 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, horizontal boards
- Roof: cross-gable with front gable garage
- Entrance: recessed
- Windows: wood framed diamond paned sash
- Related features: shrubs, small amount of grass; decorative wood elements
- Style: Ranch
- Character defining features present: medium-pitched gabled roof, decorative wood elements, attached garage, irregular plan
- Character defining features not present: standard stucco finish
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 (Estimated) Tax Assessor

\* P7. Owner and Address:

Dixon, Esther J

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9734 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1956

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1956

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a relatively high level of physical integrity. However, the building represents an unexceptional example of the Ranch style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 9738 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 9738 Washington Blvd City Pico Rivera Zip 90660  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: vertical board and batten siding; stucco
- Roof: cross-gable with front gable garage
- Entrance: metal security door
- Windows: altered; vinyl
- Related features: grassy front lawn; shrubs; decorative shutters, round brick planter in lawn
- Style: Ranch
- Character defining features present: medium-pitched gabled roof, decorative wood elements, attached garage, L-shaped plan
- Character defining features not present: original wood frame windows
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Perez, Mary L Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9738 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1957

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, on 1/24/2007 the property was given a 6Y NRHP status code, which means that it was determined ineligible for the National Register by consensus through the Section 106 process; however, it was not evaluated for California Register or local listing at that time. During the current evaluation, alterations were identified including the replacement of original wood fenestration with vinyl windows and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9744 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 9744 Washington Blvd City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6383003006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: horizontal wood siding; rough textured stucco
- Roof: cross-gabled
- Entrance: not visible
- Windows: altered; vinyl
- Related features: grassy front lawn with shrubs, brick chimney
- Style: Ranch
- Character defining features present: medium-pitched cross-gable roof, attached garage
- Character defining features not present: wood frame double-hung windows, standard stucco finish
- Status: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Barba, Alma R &amp; Marco A

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9744 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1957

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 9750 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 9750 Washington Blvd City Pico Rivera Zip 90660

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 6383003007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, board and batten siding
- Roof: cross-gable
- Entrance: metal security door
- Windows: mix of original steel casement and vinyl sliding sashes
- Related features: grassy lawn with shrubs; brick chimney
- Style: elements of the Ranch
- Character defining features present: medium-pitched gabled roof, decorative wood elements
- Character defining features not present: L-shaped plan, standard stucco finish, attached garage
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East &amp; north elevs, lkg southwest 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Medina, Rita V

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 9750 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1957

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 55 parcels within Tract 22232 that was subdivided in 1956 by Mercury Estates under the ownership of Arnold D. Feuerstein, James M. Feuerstein, Lloyd Orian Miller, and Rhoda B. Miller. All of the parcels were improved with single-family residences between 1956 and 1958 in the Ranch style of architecture. Tract 22232 represents a historically consistent grouping of dwellings that embody the response to the need for middle class housing in Pico Rivera in the late 1950s. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not appear to differ substantially from that of other similar subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8028 Boer Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 8028 Boer Ave City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001028

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multi-family residence
- Stories: 2
- Construction: wood frame
- Cladding: stucco
- Roof: hipped
- Entrance: altered, metal security door
- Windows: aluminum sliding window
- Related features: horizontal wood veneer, small front lawn with mature growth bushes and trees
- Style: Vernacular Modern
- Character defining features present: minimal ornamentation, rectangular plan, hipped roof with overhanging eaves, applied wood veneer
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Estimated) Tax Assessor

\* P7. Owner and Address:

Morcos, Makram A &amp; Nelly Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8028 Boer Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence

B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Santa Fe Springs

Period of Significance 1959 Property Type Residential Applicable Criteria N/A

The subject property appears to be a portion of the Rancho Santa Gertrudes that was subdivided circa 1916; however, the two-story Vernacular Modern style apartment building that occupies the parcel was erected in 1959. The building represents one of a handful of similar multi-family residences within the tract that were constructed that same year. Architecturally, the subject property is not a noteworthy example of the Vernacular Modern style to appear eligible for individual listing under National Register, California Register or local criteria.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Vernacular Modern style as applied to a multi family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 8030 Boer Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 8030 Boer Avenue City Santa Fe Springs Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001029

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multi-family residence
- Stories: 2
- Construction: wood frame
- Cladding: stucco
- Roof: hipped
- Entrance: altered, metal security door
- Windows: aluminum sliding windows
- Related features: horizontal wood veneer, small front lawn
- Style: Vernacular Modern
- Character defining features present: minimal ornamentation, rectangular plan, hipped roof with overhanging eaves, applied wood veneer
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 9/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1959 Tax Assessor

\* P7. Owner and Address:

8030 Boer Limited Partnership

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/7/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8030 Boer Avenue

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Santa Fe Springs

Period of Significance 1959 Property Type Residential Applicable Criteria N/A

The subject property appears to be a portion of the Rancho Santa Gertrudes that was subdivided circa 1916; however, the two-story Vernacular Modern style apartment building that occupies the parcel was erected in 1959. The building represents one of a handful of similar multi-family residences within the tract that were constructed that same year. Architecturally, the subject property is not a noteworthy example of the Vernacular Modern style to appear eligible for individual listing under National Register, California Register or local criteria.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Vernacular Modern style as applied to a multi family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/7/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8032 Boer Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 8032 Boer Avenue City Santa Fe Springs Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8178001030

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multi-family residence
- Stories: 2
- Construction: wood frame
- Cladding: stucco
- Roof: low-pitched hipped
- Entrance: not visible
- Windows: aluminum sliding window
- Related features: horizontal wood veneer, front lawn with mature growth bushes
- Style: Vernacular Modern
- Character defining features present: minimal ornamentation, rectangular plan, hipped roof with overhanging eaves, applied wood veneer
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 9/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 Tax Assessor

\* P7. Owner and Address:

Salamone, Robert Sr Trust

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/7/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8032 Boer Avenue

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence

B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Santa Fe Springs

Period of Significance 1959 Property Type Residential Applicable Criteria N/A

The subject property appears to be a portion of the Rancho Santa Gertrudes that was subdivided circa 1916; however, the two-story Vernacular Modern style apartment building that occupies the parcel was erected in 1959. The building represents one of a handful of similar multi-family residences within the tract that were constructed that same year. Architecturally, the subject property is not a noteworthy example of the Vernacular Modern style to appear eligible for individual listing under National Register, California Register or local criteria.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Vernacular Modern style as applied to a multi family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/7/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 8034 Boer Avenue

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 8034 Boer Avenue City Santa Fe Springs Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001036

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: multi-family residence
- Stories: 2
- Construction: wood frame
- Cladding: stucco
- Roof: hipped
- Entrance: altered, metal security door
- Windows: aluminum sliding
- Related features: horizontal wood veneer, small front lawn with mature tree
- Style: Vernacular Modern
- Character defining features present: minimal ornamentation, rectangular plan, hipped roof with overhanging eaves, applied wood veneer
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 9/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1959 Tax Assessor

\* P7. Owner and Address:

Flores Development Co Inc

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/7/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8034 Boer Avenue

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Santa Fe Springs

Period of Significance 1959 Property Type Residential Applicable Criteria N/A

The subject property appears to be a portion of the Rancho Santa Gertrudes that was subdivided circa 1916; however, the two-story Vernacular Modern style apartment building that occupies the parcel was erected in 1959. The building represents one of a handful of similar multi-family residences within the tract that were constructed that same year. Architecturally, the subject property is not a noteworthy example of the Vernacular Modern style to appear eligible for individual listing under National Register, California Register or local criteria.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Vernacular Modern style as applied to a multi family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/7/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8013 Norwalk Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 8013 Norwalk Blvd City Santa Fe Springs Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8178004009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The subject building is a small shopping center that was originally constructed in 1962 but that has been heavily remodeled. One story, flat-roofed, and L-shaped in plan, the building is in the Neo-Spanish Revival Style—this appearance likely dating from the late 1980s period. False pyramidal hipped roof elements sheathed with mission tile adorn the roofline at the building's corners. Textured stucco cladding, clear anodized aluminum shop fronts, and the highly articulated treatment of the upper fascia wall, with its fillet-profile moldings and cornice elements, are the primary identifying architectural features. The building retains a low degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg southwest 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Cefalia, Joseph Et Al

\* P8. Recorded by: (Name, affiliation, address)

Barbara Lamprecht, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 9/14/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8013 Norwalk Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Neo-Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: James Cefelia

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that James Cefelia was the original owner. The architect was not listed. The builder was James Cefelia.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, a heavily modified strip mall, does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of any architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Barbara Lamprecht, Peter Moruzzi, ICF International

Date of Evaluation: 9/14/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8028 Sorensen Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 8028 Sorensen Ave City Santa Fe Springs Zip 90670  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8169003044

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large, one-story, light industrial building is located on an irregular lot whose footprint wraps around the southeast corner lot of Washington Boulevard and Sorensen Avenue. The north-facing rectangular plan structure is of concrete block construction with a utilitarian, Modernist-influenced design, surmounted by a flat parapeted roof. Set back from the front property line to accommodate a small surface parking lot, the subject building, which is occupied by at least two commercial tenants, is loosely symmetrical in organization. Its façade, angled parallel to the boulevard, is characterized by walls of scored soldier course brick veneer sheltered by a projecting bold concrete frame system comprising columns supporting a large spandrel, groups of large rectangular plate glass windows (with clear anodized aluminum frames), and decorative full-height lava rock accent cladding at the corners of the front façade. The entrance is accessed through a paired door opening centered on the façade that is framed above and on the sides by a concrete surround of four joists supporting a flat concrete roof, somewhat influenced by Craftsman architecture. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1966 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gm6 Investment Properties Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8028 Sorensen Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern, Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1966

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1966

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a tall one-story concrete building housing both offices and commercial retail services, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11130 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11130 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This Modern north-facing commercial building is one story in height and is tilt-up concrete slab construction with a rectangular plan. The roof is flat with composition sheeting, and has a projecting roof overhang pop-out at the end of the building. The primary north elevation has eight L-shaped square steel post-brackets which begin at the ground level and then act as beam to support the corrugated metal roof canopy overhang that shelters an open walkway that widens below the pop-out, marking the entrance. The continuous full-height storefront windows and sliding entry doors are comprised of aluminum frame and sash. The exterior wall surfaces are paint over concrete except for the primary elevation, which has a stone textured surface. There is a large parking area to the north of the building. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1958 (Factual) Building Permit

\* P7. Owner and Address:

Franklin Family Partnership Lp

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11130 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1958: Pole sign. Cost: \$5,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: George V. Novikoff

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1958

Property Type Commercial

Applicable Criteria N/A

The 1958 building permit indicates that Safeway Stores Inc. was the original owner. The architect was Geo. Novikoff. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, a one story glass, textured concrete and steel structure that contained a supermarket now used for similar retail, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP) and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style.

Research indicates that George Novikoff was a mid-century architect and engineer specializing in Southern California shopping centers when the post-war building type was new, often teaming with well-known developers such as Earnest Hahn and equally well-known architects such as Armet & Davis. Novikoff was a noted local architect who also designed commercial buildings at 2085 Garfield Ave. and 2201 Yates Ave. While he was accomplished in the Modern style as applied to commercial and light industrial buildings, the subject property is not an outstanding representative of his work in the Modern style.

As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11208 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11208 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a Vernacular Modern two-story commercial north-facing bank building that appears to be wood frame or steel frame construction with a rectangular plan. The roof is flat with composition sheeting, surrounding parapet, and a pop-up roof area located at the south end that is most likely used as an elevator mechanical equipment room. The primary south elevation has a stucco exterior surface, recessed main entry with protruding roof overhang, and aluminum frame windows and doors. The east elevation has a tall one-and-a-half story aluminum frame window. The west elevation has a pop-out carport for a drive up ATM machine that is located at the southwest corner of the building. There is a good amount of parking area on the parcel, a corner lot. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Bank Of America

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11208 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1972: Sign. Cost: \$3,600.

1973: Alteration. Cost: \$55,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Contiental Service Co.

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1955

Property Type Commercial

Applicable Criteria N/A

The 1955 building permit indicates that Bank of America was the original owner. The architect was Continental Service Co.. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, a two-story bank building constructed in stucco-clad concrete, exhibits a moderate level of integrity, primarily associated with a substantial renovation in 1973. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11230 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11230 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178001016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a Modern one-story commercial tire center store building that suggests the influence of the Googie style in its design. The building is of steel post and beam construction with a long rectangular plan. It has a slightly pitched composition roof. Steel piers on the east side of the building are clad in natural rock veneer below the stucco-clad roof line that narrows to a thin projecting overhang on the west elevation, the primary façade. The west and south elevations have aluminum storefront windows and doors with six car garage bays with metal roll-up doors located at the south end of the west elevation. There is a generous amount of parking on this parcel. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Ohio National Life Ins Co

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11230 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Modern, Googie

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1955

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: S. H. Jarback

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1955

Property Type Commercial

Applicable Criteria N/A

The 1955 building permit indicates that Firestone Tire and Rubber Co. was the original owner. The architect was S. H. Jarback. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a narrow one-story building influenced by the Googie style and housing tire center, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect S.H. Jarback, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11236 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11236 Washington Blvd City Santa Fe Springs Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8178001054

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Located to the north of the narrow wedge-shaped parcel is a small one-story vernacular north-facing building in the Vernacular Modern style. The freestanding building, currently a shrimp shop, has a narrow rectangular plan and flat composition roof with a surrounding mansard roof clad in wood shingles. The exterior wall surface is rough textured stucco and the large windows punctuating the primary façade are rectangular with wood frames. There is an elevated rectangular metal sign supported by a round metal post column north of the building. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1969 (Factual) Building Permit

\* P7. Owner and Address:

Kuei Feng Wu

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11236 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1969

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Jand Inc.

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1969

Property Type Commercial

Applicable Criteria N/A

The 1969 building permit indicates that Joseph Inglese was the original owner. The architect was not listed. The builder was Jand Inc.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a small one-story stucco-clad building, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including John Inglese, the original owner (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11330 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11330 Washington Blvd City Santa Fe Springs Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8178001045

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This corner lot parcel contains a north-facing modest strip mall consisting of three primary elements: an elongated Vernacular Modern storefront with a mansard-like parapet on the east end of the property, a middle portion – also Vernacular Modern in style – featuring a flat roof with parapet and a deep canopy sheltering a commercial space and bar, and a small recessed Googie style donut shop capped by an angled shed roof. The eastern portion of the building is clad in both textured stucco and vertical boards and consists of a restaurant and retail store, the latter of which has metal framed storefront windows. The center section contains non-original aluminum-framed storefront windows and a windowless cocktail bar clad in natural rock veneer. An original metal and plastic sign advertises “The Embers” atop the parapet. - Character-defining features of the Googie style donut shop include its angled shed roof with canted cornice and deep overhanging eaves, and floor to ceiling storefront windows. A large paved parking area surrounds the building on three sides. Overall, the property exhibits a moderate to high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 (Factual) Building Permit

\* P7. Owner and Address:

C G P Management Co

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11330 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern Goochie

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1956

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Coleman Haines

b. Builder: Gold Star Builders

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1956

Property Type Commercial

Applicable Criteria N/A

The 1956 building permit indicates that John H. Dilts was the original owner. The architect was Coleman Haines. The builder was Gold Star Builders. Standard research did not yield any information about architect Coleman Haines.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a multi-faceted strip mall, bar and a fast food restaurant influenced by the Goochie, exhibits a medium to high level of integrity. However, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including John H. Dilts, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Coleman Haines or Gold Star Builders, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Goochie architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11530 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11530 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169011019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Influenced by the English Revival style, this one-story restaurant is capped by a combination Mansard and flat roof with parapet. Exterior surfaces are clad in multi-colored brick veneer and vertical wood siding. A shed-like extension of the main roof that shelters the primary (north) elevation is supported by square brick columns. The rectangular building is highlighted by an adjacent jerkinhead roofline and glass wall that face the street. The façade is punctuated by large metal frame windows. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1965 (Factual) Building Permit

\* P7. Owner and Address:

Sterling Foods Inc

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11530 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Restaurant

B4. Present Use: Restaurant

\* B5. Architectural Style: English Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1964

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: F. E. Macdonald, Jr.

b. Builder: Bridgeport Const.

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1965

Property Type Commercial

Applicable Criteria N/A

The 1964 building permit indicates that Peterson and Blank were the original owners. The architect was F. E. Macdonald, Jr. The builder was Bridgeport Construction Company. F. E. MacDonald Jr. was a structural engineer who often designed factories in the Modernist style, sometimes employing innovative materials and technologies. He also collaborated with postwar Modernist architects experimenting with structural steel in residential designs. Research revealed that most of MacDonald's work was located in and around the Santa Clarita Valley.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story restaurant, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Peterson and Blank, the original owners (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the English Revival architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11642 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11642 Washington Blvd City Santa Fe Springs Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8169005001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains two large one-story north-facing wood frame utilitarian buildings influenced by the Vernacular Modern style. It houses a body shop and ceramic tile facility. Rectangular in plan, both buildings have a stucco finish and a flat roof with shallow parapet. The fenestration of the ceramic tile facility features large metal frame windows. The body shop is asymmetrically divided and two bays wide, and is punctuated by a large garage door and a small pedestrian entrance. The property exhibits a moderate level of integrity due to later cladding and façade alterations.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

G Herman &amp; Sons Inc Et Al

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11642 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
1963: Machine Shop. Cost: \$7,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: J. R. Anderson

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Santa Fe Springs

Period of Significance 1964

Property Type Industrial

Applicable Criteria N/A

The 1962 building permit indicates that W. L. Simmons was the original owner. The architect was J. R. Anderson. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the subject area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing two large one-story wood frame utilitarian buildings influenced by the Vernacular Modern style, exhibits a moderate level of integrity based on possible cladding and fenestration alterations. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including W.L. Simmons, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect J.R. Anderson, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11664 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11664 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169005019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a north-facing one-story electronic store building designed in the Vernacular Modern style. It is set back from the street with a shallow parking lot fronting the building. Exterior surfaces are clad in a stucco finish, capped by a flat roof with metal coping. The rectangular building is asymmetrically divided and has multiple bays wide featuring one section with a shallow, projecting flat canopy that shelters the primary entrance and surrounding glass storefront. The façade is punctuated by plate glass and also contains a series of horizontal windows, now boarded. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1963 (Factual) Building Permit

\* P7. Owner and Address:

Rahm, Alonzo &amp; Kathleen Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11664 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1963

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Perrin Const.

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1964

Property Type Commercial

Applicable Criteria N/A

The 1963 building permit indicates that Certified Leasing was the original owner. The architect was not listed. The builder was Perrin Const.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the subject area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing an undistinguished one-story rectangular commercial building, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11668 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11668 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169004002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This north-facing property is a one-story commercial strip mall designed in the Vernacular Modern style. Rectangular in plan, the building is clad in brick veneer and has a flat roof with metal coping. Above the full-height store windows running almost the length of the primary elevation, a projecting, slightly angled canopy comprised of extruded stucco extends along the primary façade, composed of T-111 siding. The façade is punctuated by large plate glass metal frame windows. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1970 Tax Assessor

\* P7. Owner and Address:

Stone ,ann L &amp; William F Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11668 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1971: Addition. Cost: \$28,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1970

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one story retail strip mall, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local Designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11720 Washington BlvdP1. Other Identifier: Forever Tile\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11720 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169004003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a north-facing one-story showroom building designed in the Vernacular Modern style. Rectangular in plan, it is divided into three connecting sections. The front section displays a tall false façade with a stucco finish and a flat roof with metal coping. Behind stands an attached one-story front-gable building with overhanging eaves. The rear section is a large, tall one-story utilitarian building clad with a low-pitched roof and siding of corrugated metal. The property exhibits a low level of integrity based on possible later alterations to the primary facade.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1951 (Factual) Building Permit

\* P7. Owner and Address:

Lally, Lawrence Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11720 Washington Blvd

B1. Historic Name: None

B2. Common Name: Forever Tile

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1951

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Alfred And George Murray

\* B10. Significance: Theme Industrial Development

Area Santa Fe Springs

Period of Significance 1951

Property Type Industrial

Applicable Criteria N/A

The 1951 building permit indicates that Alfred and George Murry were the original owners. The architect was not listed. The builder was Alfred And George Murry.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing an aggregate of three attached volumes of varying heights, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Alfred and George Murray, the original owners (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11750 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11750 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169004016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a north-facing one-story building designed in the Vernacular Modern style that is located behind the body shop at 11746 Washington Boulevard. Exterior surfaces are clad in a stucco finish and capped by a flat roof with metal coping. The rectangular building is asymmetrically divided and five bays wide, featuring a cantilevered roof above the primary entrance. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) \_\_\_\_\_

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Estimated) Tax Assessor

\* P7. Owner and Address:

Jbk S Investments Llc

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11750 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: \_\_\_\_\_

B4. Present Use: Industrial Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Santa Fe Springs

Period of Significance 1957

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing two low-rise freestanding buildings located behind the street-front body shop, exhibits a moderate level of integrity due to a range of alterations since 1957. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11758 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11758 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169004017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This north-facing property contains a small one-story commercial building designed in the Vernacular Modern style. Exterior surfaces are clad in a rough textured stucco finish, capped by a flat roof with parapet. A belt course projects into a canopy, sheltering the angled corner primary entrance that is flanked by full-height projecting pilasters clad in a rock veneer. The rectangular building is asymmetrically divided and three bays wide. The façade is punctuated by large non-original metal frame windows. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual) Building Permit

\* P7. Owner and Address:

Jbk S Investments Llc

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11758 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Barodanal Engineering Co.

b. Builder: Barodanal Engineering Co.

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1959

Property Type Commercial

Applicable Criteria N/A

The 1959 building permit indicates that Barodanal Engineering Co. was the original owner, architect and builder.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, a small one-story building located on a corner, exhibits a moderate level of integrity due to apparent alterations in cladding and fenestration. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11770 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11770 Washington Blvd City Santa Fe Springs Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169004011

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The exterior of this mid-century one-story gas station building has been altered later to reflect a post-Modern appearance. Its exterior surfaces are clad in a rough stucco finish. The facility, which faces northeast, is capped by a large mansard roof with wood shingles on the upper third of the angled mansard, otherwise clad in stucco, a treatment that is a later alteration. The primary façade features full-height metal windows flanking the centered French doors, also glass and metal. The building stands behind a large parking lot, which includes a contemporary metal structure that shelters the gas pumps. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

G &amp; M Oil Co Inc

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11770 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1968: Alteration. Cost: \$12,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: E. H. Haaker

b. Builder: California Sl. & Const.

\* B10. Significance: Theme Commercial Development

Area Santa Fe Springs

Period of Significance 1960

Property Type Commercial

Applicable Criteria N/A

The 1960 building permit indicates that Richfield Oil Corporation was the original owner. The architect was E. H. Haaker. The builder was California Sl. and Const.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a gas station, parking lot and covered gas pumps, exhibits a moderate level of integrity based on later alterations. It does not meet the criteria for significance required for federal, state or local recognition. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect E.H. Haaker or builder California SLT and Const., landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 5100 East Beverly Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 5100 East Beverly Blvd City Unincorporated Los Angeles Zip 90022

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 5248004032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

5100 E. Beverly Boulevard is a one-story, 1950s-era hamburger stand of frame/stucco construction. The utilitarian building's original setback from Beverly Boulevard is now occupied by an outdoor dining patio space sheltered by an aluminum roof supported on poles non-original to the property. An essentially flat roof surmounts the building, highlighted by white lattice-fence screening of incongruous design that was installed to partially conceal the rooftop HVAC equipment. Steel security fencing has been installed on the side and rear wall of the restaurant to incorporate outdoor storage space as part of the building. What is likely to be the original 1950s-era pole business sign survives at the front east corner of the building. This property exhibits a low level of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

NE elev, lkg southwest 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Takehana, Ralph

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 5100 East Beverly Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1955

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: H. E. Prescott

b. Builder: Unknown

\* B10. Significance: Them Commercial Development

Area Los Angeles

Period of Significance 1955

Property Type Commercial

Applicable Criteria N/A

The 1955 building permit indicates that P. J. Rotunno was the original owner. The architect was H. E. Prescott. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story hamburger restaurant of indeterminant style, exhibits a low level of integrity and does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 5114 East Beverly Blvd

P1. Other Identifier: \_\_\_\_\_

- \* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles
- b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.
- c. Address 5114 East Beverly Blvd City Unincorporated Los Angeles Zip 90022
- d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN
- e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 5248004031

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This commercial building is one-story, of utilitarian design and frame/stucco construction, and is surmounted by a flat parapeted roof. The building, housing a restaurant, is set back from Beverly Boulevard to accommodate a small surface parking area at front. The property exhibits a low level of design integrity (viz., re-stuccoing, security bars).

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1947 (Factual) Building Permit

\* P7. Owner and Address:

Takehana, Ralph

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 5114 East Beverly Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1947

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Robert Weiss

b. Builder: D. Levene

\* B10. Significance: Them Commercial Development

Area Los Angeles

Period of Significance 1947

Property Type Commercial

Applicable Criteria N/A

The 1947 building permit indicates that Mr. Russell Mason was the original owner. The architect was Robert Weiss. The builder was D. Levene. Standard research did not provide any information on architect Robert Weiss.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a small, nondescript one-story utilitarian commercial building, exhibits a low level of integrity and does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 5142 East Beverly Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 5142 East Beverly Blvd City Unincorporated Los Angeles Zip 90022  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 5248004023

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

"Bob's Freeze" is an example of roadside-oriented restaurant architecture from the 1950s period. It is one story and of frame/stucco construction, surmounted by a flat parapeted roof that cants slightly outward. The façade is asymmetrically organized, the building being comprised of a larger indoor dining section with nearly floor to ceiling eight windows (also angled outward as they approach the roofline) and a smaller open air walk-up take-out window. A veneer of Permastone clads the area below the canted windows, together forming the wall that defines the restaurant's dining room. The roofline has a boxy profile and cantilevers out approximately 4 feet to shelter to entire front and side walls of the building. Thick steel pipes provide structural support to the canopy overhang at its two front corners. The property retains a moderate level of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1948 (Estimated) Tax Assessor

\* P7. Owner and Address:

Oh, Han K & Sook J

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 5142 East Beverly Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Restaurant

B4. Present Use: Restaurant

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Original permit not available.  
1974: New office. Cost: \$8,000

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Not Listed

b. Builder: Not Listed

\* B10. Significance: Them Commercial Development

Area Los Angeles

Period of Significance 1948

Property Type Commercial

Applicable Criteria N/A

This building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story freestanding example of roadside-oriented restaurant architecture of the 1950s, exhibits a moderate level of integrity. It does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 5150 East Beverly Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 5150 East Beverly Blvd City Unincorporated Los Angeles Zip 90022  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 5248004022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

The subject automobile service building is one story, of utilitarian design, and of concrete block/frame construction with replacement stucco exterior sheathing. The Beverly Boulevard façade is asymmetrically organized and consists of a large showroom section adjoined on the west by drive through bays that retain their original 1950s-era roll down wood-metal-glass doors. A key identifying feature is the replacement black anodized aluminum fixed-sash store front windows (showroom) – a portion of which step out slightly from the building's wall line. A flat parapeted roof surmounts the building. The property appears to retain a moderate level of design integrity (viz., stuccoing, replacement windows and frames).

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010



\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Salomon, Jose L &amp; Irma V Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* **Resource Name or #:** 5150 East Beverly Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* **B5. Architectural Style:** Utilitarian

\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)

Construction Date: 1955

\* **B7. Moved?**  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* **B8. Related Features:**

B9a. Architect: Unknown

b. Builder: D. C. Levene

\* **B10. Significance:** Them Commercial Development

Area Los Angeles

Period of Significance 1955

Property Type Commercial

Applicable Criteria N/A

The 1955 building permit indicates that Rod Curet was the original owner. The architect was not listed. The builder was D. C. Levene.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story automotive retail and tire center, exhibits at best a moderate level of integrity that does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks overall architectural quality and distinction. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 6909 East Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 6909 East Washington Blvd City Unincorporated Los Angeles Zip 90040  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6336003065

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This large Vernacular Modern south-facing commercial warehouse building is one story in height and is constructed of tilt-up concrete slab construction with a rectangular shape plan. The roof appears to be flat with composition sheathing. The building is clad in blind concrete panels articulated with a vertical score line that defines each bay. The more animated, horizontally oriented main entrance is located at the southeast corner. It features bands of almost full-height metal-framed windows separated by stout square pilasters clad in natural rock veneer, a treatment that is carried through the first bay on the east. The same veneer clads a low planter in front and a flanking half-height wall section. The L-shaped entrance area also features a deep projecting metal fascia with a corrugated, textured finish and stucco underside. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1969 Tax Assessor

\* P7. Owner and Address:

Socransky, Isadore

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 6909 East Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Warehouse

B4. Present Use: Warehouse

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1969

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Not Listed

b. Builder: Not Listed

\* B10. Significance: Them Industrial Development Area Los Angeles

Period of Significance 1969 Property Type Industrial Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a large industrial warehouse, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 605 Overcrossing At Washington Blvd.

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 605 Overcrossing At Washington Blvd. City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app APN(s): \_\_\_\_\_

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Part of the 605 Freeway in Whittier, CA, the 605 Overcrossing travels over Washington Boulevard and is approximately 155 feet in length. The overcrossing currently has twelve lanes of vehicular traffic, including four with north bound traffic, four with south bound traffic, and four lanes for on/off ramps. It is supported by nine reinforced concrete piers which sit on a median on Washington Boulevard and has steel window railings along the overcrossing. The overcrossing appears to have been widened over the years to accommodate increased lanes on the 605 Freeway.

\* P3b. Resource Attributes: (List attributes and codes) HP11 Engineering Structure

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

Circa 1965 (Estimated)

\* P7. Owner and Address:

Caltrans

\* P8. Recorded by: (Name, affiliation, address)

Barbara Lamprecht, Andrew Bursan  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 605 Overcrossing At Washington Blvd.

B1. Historic Name: 605 Overcrossing at Washington Blvd.

B2. Common Name: None

B3. Original Use: Overcrossing B4. Present Use: Overcrossing

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1965

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:  
Washington Boulevard below

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Transportation Area Whittier  
Period of Significance \_\_\_\_\_ Property Type Overcrossing Applicable Criteria N/A

This overcrossing does not appear to meet the criteria for listing in the National Register of Historic Places. It is not significant under Criterion A in the area of transportation in the context of commercial and industrial development in the Whittier area or surrounding communities and did not make an important contribution to the area's transportation history. There are no known associations with significant persons under Criterion B. Under Criterion C in the area of engineering this prestressed concrete overcrossing is a representative of a very common type of structure constructed by Caltrans' Bridge Department in the 1960s, reflecting a major expansion of suburban development throughout the region. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:  
Caltrans Historic Bridge Inventory

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Barbara Lamprecht, Andrew Bursan, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7945 Appledale Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7945 Appledale Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped and cross-gable
- Entrance: altered, metal security door
- Windows: altered, aluminum sliding
- Related features: recessed front porch, exterior chimney, attached one-car garage with wood door, small grassy front lawn, newly constructed metal fence bounding the primary elevation
- Style: elements of the Ranch
- Character defining features present: attached garage
- Character defining features not present: L-shape plan, wood frame windows, dovecote, decorative wood elements
- Status: substantially altered: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev., lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Kono, Bryan

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7945 Appledale Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7946 Appledale Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7946 Appledale Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020037

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gable
- Entrance: altered, metal security door
- Windows: altered, aluminum sliding
- Related features: applied fieldstone veneer, brick exterior chimney, grassy front lawn with small shrubs line the façade and a mature lemon tree
- Style: elements of the Ranch
- Character defining features present: water table, cross-gable roof
- Character defining features not present: wood frame windows, decorative wood elements, dovecote, L-shape plan
- Status: substantially altered: lacks integrity of design, materials, or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Marinos, Tim & Helen Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7946 Appledale Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7951 Appledale Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7951 Appledale Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTMs, etc. as app  
APN(s): 8170001001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: altered, wood door
- Windows: wood frame, altered vinyl
- Related features: projecting bay window, exterior brick chimney, small grassy front yard with mature growth trees and bushes, wood picket fence lining the parcel boundary
- Style: elements of the Minimal Traditional
- Character defining features present: wood frame windows, medium-pitched side-gable roof, minimal ornamentation
- Character defining features not present: original door and windows.
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Mercado, Sergio & Nancy M

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7951 Appledale Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7963 Calobar Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7963 Calobar Ave City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: side-gable
- Entrance: altered, metal security door
- Windows: altered, vinyl
- Related features: exterior brick chimney, front porch with corner support, grassy lawn with bushes
- Style: Minimal Traditional
- Character defining features present: medium-pitched side-gable roof, stucco cladding
- Character defining features not present: wood frame double-hung windows
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Perez, Eugene &amp; Lisa

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7963 Calobar Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7972 Calobar Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7972 Calobar Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170022001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gable
- Entrance: obscured from view
- Windows: altered, vinyl
- Related features: attached one-car garage, front porch with corner column support, grassy lawn with mature bushes lining the façade, cyclone fence bounding the property line
- Style: Minimal Traditional
- Character defining features present: attached garage, medium-pitched cross gable roof, living and garage wings
- Character defining features not present: smooth stucco, wood frame double-hung windows, applied decorative wood elements,
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Osuna, Arturo & Yvette

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7972 Calobar Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7971 Crowndale Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7971 Crowndale Ave City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
APN(s): 8170022026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, rock veneer
- Roof: cross-gable
- Entrance: obscured from view
- Windows: wood frame, double-hung
- Related features: converted garage to living area, flag stone veneer, grassy lawn with mature trees and small shrubs
- Style: Elements of Ranch
- Character defining features present: medium-pitched cross-gable roof with slightly overhanging eaves, wood frame windows, porch, L-shape plan
- Character defining features not present: living and garage wing, wood siding and/or smooth stucco, applied wood elements
- Status: moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Molina, Margaret G

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7971 Crowndale Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rock veneer and the replacement of the garage with another room. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7976 Crowndale Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7976 Crowndale Ave City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as appro  
 APN(s): 8170025001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: smooth stucco and wood siding
- Roof: hipped, gable-on-hipped
- Entrance: altered, metal security door
- Windows: wood frame
- Related features: recessed porch with corner wood support, wood siding veneer within the porch section, double-hung and picture windows, wood surrounds, overhanging eaves, grassy lawn with a mature tree, concrete driveway, rear garage building
- Style: elements of the Minimal Traditional
- Character defining features present: wood frame double-hung and fixed windows, wood surrounds, stucco and wood siding, hipped roof with overhanging eaves, grouped windows
- Character defining features not present: none.
- Status: exhibits important character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzalez, Enrique J Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7976 Crowndale Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 206 parcels within Tract 14441 that was subdivided in 1949 by D.E. Turner & Associates. The tract represents a historically consistent grouping of Minimal Traditional and Ranch style single-family residences erected in 1949 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

The subject property retains a high level of physical integrity. However, the building represents an unexceptional example of the Minimal Traditional style as applied to a single family residence. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7834 Danby Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 7834 Danby Ave City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8176014001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side-gable
- Entrance: obscured from view
- Windows: wood frame
- Related features: projecting bay window, field stone water table, picture windows, decorative bargeboard, grassy lawn with manicured bushes
- Style: Minimal Traditional
- Character defining features present: medium-pitched side-gable roof with overhanging eaves, decorative bargeboard, wood frame double-hung and picture windows
- Character defining features not present: smooth stucco and/or wood siding
- Status: exhibits important character defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Razo, Salvador B Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7834 Danby Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish. Because of this modification the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7837 Danby Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7837 Danby Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176012035

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: altered, metal security door
- Windows: altered, vinyl and wood frame
- Related features: front porch with wood supports, metal balustrade, grouped windows, exterior brick chimney
- Style: Minimal Traditional
- Character defining features present: wood frame windows, medium-pitched hipped roof with overhanging eaves, minimal ornamentation
- Character defining features not present: smooth stucco cladding, wood frame double-hung windows
- Status: exhibits a moderate level of integrity due to the lack of one or more key character-defining features

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Olalde, Javier O

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7837 Danby Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12426 Lambert Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12426 Lambert Rd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168018046

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This tall one-story east-facing steel-and-wood frame utilitarian industrial building and warehouse has a rectangular plan with five bays, a flat roof, and parapet. The wide panels between the steel columns defining each bay are stucco-clad. The primary elevation's entrance of two metal frame glass doors. It occupies the middle bay and is sheltered by a three-sided surround, an alteration, comprising a projecting flat canopy approximately 3 feet deep that is supported by stucco-clad walls of the same depth. Each façade bay is characterized by a centered pair of inset windows set relatively low into the panel. The upper portion is a 6-light awning window atop a fixed 3-light window, probably steel and original. The entrance is accessed from a parking lot in front of the structure, separated from the lot by a thin strip of modest landscaping. The rear of the building features a small centered addition with a gable metal roof. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 (Factual) Tax Assessor

\* P7. Owner and Address:

Fuller, Jim Trust

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12426 Lambert Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: J. L. Peterson

b. Builder: Murray E. Latoon (sp?)

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1957

Property Type Industrial

Applicable Criteria N/A

The building permit indicates that Roy K. Cole and C. C. Cole were the original owners. The architect was J. L. Peterson. The builder was Murray E. Latoon (sp?). Standard research did not reveal any information about architect J.L. Peterson or builder Murray E. Latoon (sp?).

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story storage and warehouse facility, exhibits a moderate level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, Peter Moruzzi, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12429 Lambert Rd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12429 Lambert Rd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170034003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco and wood shingle
- Roof: hipped
- Entrance: metal security door
- Windows: original wood windows
- Related features: grassy front lawn, shrubs and hedges, tree
- Style: Minimal Traditional
- Character-defining features: low-pitched hipped roof, stucco finish, minimal ornamentation
- Character-defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1953 (Estimated) Tax Assessor

\* P7. Owner and Address:

Lokken, Pat

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12429 Lambert Rd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1953

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown b. Builder: Unknown

\* B10. Significance: Theme Residential Development Area Whittier

Period of Significance 1953 Property Type Residential Applicable Criteria N/A

The subject property occupies a portion of Putnam's subdivision of the Cole Tract that was subdivided in the early part of the 20th century. The elongated parcel contains four dwellings of which only one is visible from the public right-of-way. That building is a one-story Minimal Traditional style residence erected in 1953. Architecturally, the visible dwelling, while exhibiting a high level of integrity, is not a noteworthy example of the Minimal Traditional style to appear eligible for individual listing under National Register Criterion C. In addition, no information was uncovered regarding the dwelling's original occupants to indicate significance under Criterion B or historic associations, Criterion C. As a result, the property does not appear eligible for the National Register under any criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12433 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12433 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170034004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof with parapet, this one-story utilitarian commercial building is of concrete block construction with a primary west-facing elevation sheathed in diagonal wood boards. The property, which is currently fenced off and inaccessible, appears to have experienced alterations to its fenestration - consisting of narrow windows fronted by metal security bars - and a boarded-up entrance sheltered by a non-original porch canopy. The building exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual)

\* P7. Owner and Address:

Coast Plaza Doctor's Hospital

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12433 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: E. H. Ridderdan

b. Builder: Stafford Corp.

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1959

Property Type Commercial

Applicable Criteria N/A

The 1959 building permit indicates that Stafford Corp. was the original owner. The architect was E. H. Ridderdan. The builder was Stafford Corp. Standard research revealed no substantive information about E.H. Ridderdan.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story commercial building, exhibits a low level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder, including architect E.H. Ridderdan and Stafford Corporation the builder, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 5136 East Beverly Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 5136 East Beverly Blvd City Unincorporated Los Angeles Zip 90022  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 5248004024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

5136 E. Beverly Boulevard is a one-story, 1950s-era retail building originally of Vernacular Modern design. It faces northeast. Divided into two store-front bays, it is of frame/stucco construction, surmounted by a flat parapeted roof. The extremely tall upper fascia wall and the canted, banded stucco treatment that frames the store fronts both above and on the sides are the key identifying design elements. The upper fascia wall was apparently rebuilt and now features replacement T1-11 wood paneling. In addition, red colored Mexican ceramic tile of incompatible design has been installed on the window bulkheads. The property exhibits a low level of design integrity (viz., redesigned upper fascia, tile work, security bars).

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Factual) Building Permit

\* P7. Owner and Address:

Leyva, Candelaria Trust Et Al

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
 ICF International  
 811 W 7th Street, Suite 800  
 Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 5136 East Beverly Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1948: Store room. Cost: \$3,300

\* B7. Moved?  No  Yes  Unknown Date \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Jack R. Gonzales

\* B10. Significance: Them Commercial Development

Area Los Angeles

Period of Significance 1948

Property Type Commercial

Applicable Criteria N/A

The 1948 building permit indicates that Jack R. Gonzales was the original owner. The architect was not listed. The builder was Jack R. Gonzales.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-bay, one-story infill building with a substantially altered facade, exhibits a low level of integrity and does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. As a result, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code \_\_\_\_\_

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds**P1. Other Identifier:**\*P2. Location:  Not for Publication  Unrestricted\*a. County Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Whittier Date 1981 T 2S; R 11W; \_\_\_ ¼ of Sec ; \_\_\_ B.M.

c. Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

d. UTM: (give more than one for large and/or linear resources) Zone \_\_\_\_\_; \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data:

The resource is located in the in the Monterey Forebay. It is situated in the City of Pico Rivera, California, less than 0.25-miles to the west of the I-605, approximately 200 feet southwest of Whittier Boulevard, and is bounded by Pico Vista Road to the west and by Washington Boulevard to the south.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The San Gabriel Coastal Spreading Grounds (SGCSG) comprise a 128-acre water conservation facility that diverts water from the San Gabriel River. The SGCSG consists of one desilting basin, three spreading basins, one canal, one pump station, several diversion structures, and the unlined San Gabriel River channel (**Photograph 1**). Water from the river channel first enters the spreading grounds through headworks and flows into a desilting basin where suspended solids in the water can settle out. After passing through the desilting basin, water flows through the intake canal. From the intake canal, water can be diverted into Basin 1 through two rectangular concrete box culverts. The culverts have slide gates on the intake that can be used to regulate flow into Basin 1.

(See Continuation Sheet)

\*P3b. Resource Attributes: (List attributes and codes) HP22. Lake/River/Reservoir\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Photograph 1, overview of SGCSG, View to South (LACPW website, 2012)

\*P6. Date Constructed/Age and Sources:

Historic  Prehistoric  Both  
1938 / Los Angeles County  
Department of Public Works

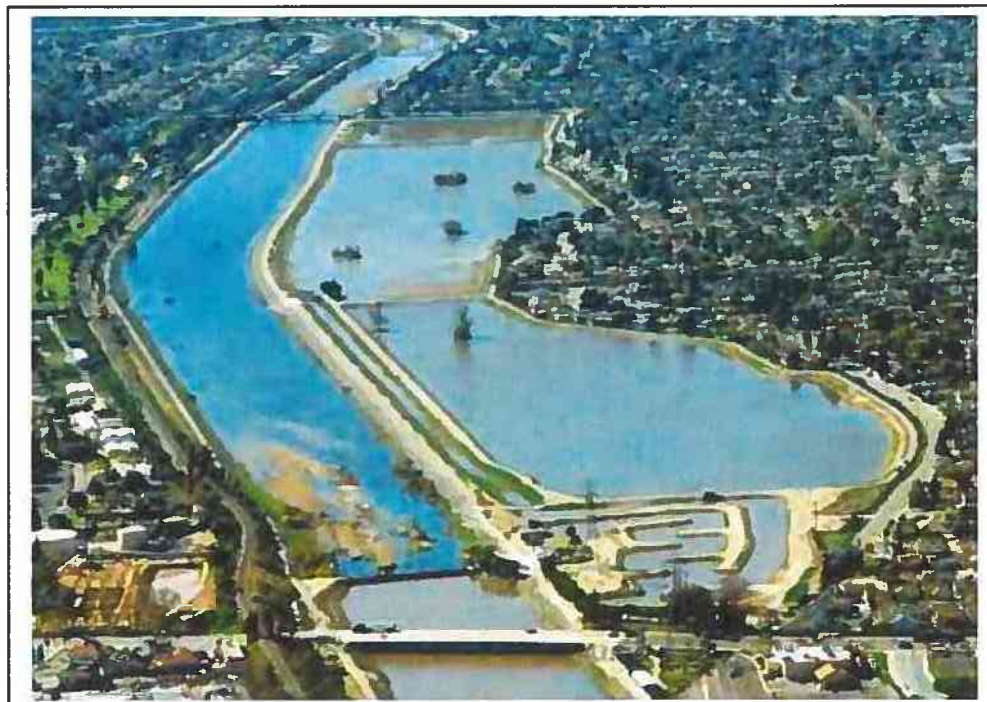
\*P7. Owner and Address:

Los Angeles County Department of  
Public Works (LACDPW)  
900 S. Fremont Avenue  
Alhambra, CA 91803

\*P8. Recorded by:

Jill Gibson, AECOM  
1420 Kettner Blvd  
San Diego, CA

\*P9. Date Recorded: December 18,  
2012

\*P10. Survey Type: (Describe) Intensive\*P11. Report Citation: Phase I Cultural Resources Investigation, 001B Turn-Out Structure

\*Attachments: NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  Archaeological Record  
 District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  Photograph Record  
 Other (list) \_\_\_\_\_

DPR 523A (1/95)

\*Required Information

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

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\*NRHP Status Code 6Z \_\_\_\_\_

\*Resource Name or # San Gabriel Coastal Spreading GroundB1. Historic Name: UnknownB2. Common Name: San Gabriel Coastal Spreading GroundsB3. Original Use: Spreading Grounds B4. Present Use: Spreading Grounds\*B5. Architectural Style: Utilitarian\*B6. Construction History: (Construction date, alteration, and date of alterations) 10 Spreading Grounds constructed in 1938; desilting basin, control station, 1967; replacement of dams, C.1980s; reconfiguration of 10 Spreading Grounds into 3 Spreading Grounds, 1991\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

Dams, Diversion Structures, Pump Houses, Feeding CanalB9. Architect: b. Builder: US Army Corps of Engineers\*B10. Significance: Theme Water Conveyance Area San Gabriel River, Los Angeles County, CaliforniaPeriod of Significance 1938 Property Type Spreading Grounds Applicable Criteria N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Constructed in 1938, SGCSG is a water conservation facility used to recharge groundwater in the greater Los Angeles area. The facility is part of the San Gabriel River Conservation System, which features 5 large dams and 4 spreading ground facilities. The conservation system is part of the overall Los Angeles County Flood Control System.

In a thematic study on large federal dams, the U.S. Bureau of Reclamation found that the Los Angeles County Flood Control System is potentially significant on a national level for its impact on the history and development of one of the nation's most important metropolitan areas (Billington 2006). However, the SGCSG does not appear to independently meet the criteria for listing in the National Register of Historic Places (NRHP) or the California Register of Historical Resources (CRHR) primarily due to lack of integrity.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: See Continuation Sheet

B13. Remarks:

\*B14. Evaluator: Jill Gibson\*Date of Evaluation: December 18, 2012

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

See Location Map

Page 3 of 15

\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

**Description (cont.):**

When the water surface elevation in the intake canal exceeds the elevation of the oblique spillway downstream of the intake to Basin 1, water will flow over the spillway and down the intake canal towards the Mines Avenue pump station and the intake to Basin 2. From there water can either be pumped to Rio Hondo Coastal Basin Spreading Grounds or directed into Basin 2. When Basin 2 fills to its maximum water surface elevation, water flows over a spillway into Basin 3. Basin 3 is the terminal basin. The maximum intake into the spreading grounds is 350 cubic feet per second (cfs), and the approximate percolation rate is 75 cfs.

Constructed in 1967, the desilting basin is located at the north end of the SGCSG, south of Whittier Boulevard, and west of the San Gabriel River (**Photograph 2**). The 890-foot-long by 350-foot-wide desilting basin is composed of a dirt and gravel embankment and an approximately 75-foot curved canal. The desilting basin receives water from the San Gabriel River, then sediment-laden runoff is temporarily detained under quiescent conditions, which allows sediment to settle out before the runoff is discharged to the canal, and then water flows into to the spreading grounds or back into the San Gabriel River.

The spreading basins consist of three shallow ponds (Basins 1-3) and total 96 wetted acres (**Photograph 3**). Basin 1 and 2 are approximately .5-miles in length and Basin 3 is .10-miles in length. Tract houses, constructed in the 1950s, line the west side of all three basins. The San Gabriel River is situated to the east of the basins. The three basins are sequential from north to south and are separated by an asphalt road on top of the levee. The three basins have dirt and gravel embankment and are unlined. As indicated in the 1991 As-Built Diagram, the basins were modified from 10 basins to three spreading ground basins and one desilting basin (**Figure 1**). The spreading basins were constructed in 1938 and have been altered and reconfigured over the years.

Two gates are situated in Basin 1 (**Photograph 4-5**). These gates were designed to withstand the uplift pressure of the basin and canal by having concrete cut-off wall with a steep slope. The gates are constructed out of reinforced concrete with 6-inch-thick cut-off walls and a 12-inch base at the bottom. The top surface is flush with the pavement road above (**Photograph 6**). These gates are nonfunctional because the basins were reconfigured in 1991. Before 1991, levees divided Basin 1 into three basins and the gates relieve water from the basins into the canal. When the levees were removed and only one basin remained, the gates remained in place. These gates are not utilized anymore because another main structure gate was added at the weir which connects the desilting basin with Basin 1.

The canal is 0.5 mile long and is situated between the northern most spreading basin and the San Gabriel river channel (**Photograph 6**). As indicated in a 1967 As-Built Diagram, the intake canal was designed to be a 30-foot-wide earthen trapezoidal canal. The canal spans from the desilting basin to other settling basins and is nestled between the 16-foot access road and a number of settling basins. The canal has not undergone a major transformation since it was constructed and remains an earthen trapezoidal distribution canal.

The control station is about 630 feet south of Whittier Boulevard. Control Station Structure is about 11 feet in height, about 1320 square feet, and contains an underground room, a basement of about 20 feet deep (**Photograph 7**). Inside of the basement are three pumps, which were used in past occurrences to fill the area blocked by the rubber dam. The system switched from a water pump to a sump pump, an air-compressed system. The system can be controlled remotely from the Whittier Narrows Dam, a distance of approximately 1.5 miles northwest of the San Gabriel Basin. A front-gabled roof shed is also situated to the southwest of the Control Station Structure (**Photograph 8**). A second shed for the control station is located 200 feet south of the Control Station Structure (**Photograph 9**). It is composed of stucco and enclosed by a chain link fence. All of the buildings associated with the control station were constructed circa 1967.

Mine Avenue Pump Station is located at east end of Mine Avenue (**Photograph 10**). The pump station appears to be recent construction, circa 1990.

Two inflatable rubber dams (Rubber Dam No. 2 and Rubber Dam No. 4) that halt river flow and promote infiltration were constructed in the 1980s. These rubber dams replaced sand levees that washed out when high volumes of water occurred. Located at the headworks of the spreading grounds is Dam No. 2 (**Photograph 11**). Dam No. 4 is located between Basin No. 1 and Basin No. 2 (**Photograph 12**). It has an associated control building that was also built in the 1980s (**Photograph 13**).

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\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

Situated on the south end of the desilting basin are two reinforced concrete weirs that were constructed in 1990. The weirs are 150 feet long, with estimated 116 feet exposed to water, and 15 feet wide at the top with a 9-foot-wide slope. It has grouted rock at the embankments. The weirs contain a portion of water before filtering into the canal. The purpose of controlling the water flow is to decrease the damage a high velocity water flow that may cause erosion to the embankment.

The San Gabriel River is located to the east of the spreading grounds (**Photograph 14**). The 1.5-mile-long segment of the unlined San Gabriel River channel is approximately 1.5-miles-long by 0.5-mile-wide. The San Gabriel River extends from the Angeles National Forest through the San Gabriel Valley and the Los Angeles Coastal Plain to the Pacific Ocean. Engineered modifications currently present along the river provide flood protection for surrounding urban development, and these modifications have also allowed development almost to the river's edge.

### Significance (cont):

The rivers of the Los Angeles basin like the San Gabriel River flooded frequently in historic times, depositing rich soil that attracted early settlers. These unpredictable overflows became increasingly problematic as the landscape filled with ever more people in the late 19th and early 20th centuries, however. Until January of 1868, the San Gabriel River emptied into San Pedro Bay. Massive flooding that year caused the river to cut a new, more southerly course after leaving Whittier Narrows, destroying the young town of Galatin and ultimately discharging at Alamitos Bay. The new channel gradually took on the name of San Gabriel, while the original course of the San Gabriel River came to be known as Rio Hondo upstream and the Los Angeles River downstream (Gumprecht 1999).

The San Gabriel River experienced significant floods in 1884, 1889, 1911, 1914, and again in 1934 and 1938, each seemingly more destructive and costly than the last. The flood of 1914, which caused \$10,000,000 in damaged property, was the catalyst for the first comprehensive effort to solve the flooding problem in Los Angeles (Bigger 1959). Before the 1914 flood, flood control efforts were handled locally in a piecemeal manner. At the time there was no state or federal law that provided for comprehensive regional flood control. The Los Angeles County Board of Supervisors appointed a team of engineers to produce a comprehensive flood control plan for the county. The Los Angeles County Flood Control District was established as the central authority (Orsi 2004).

The first plan consisted of dams in the mountains, check dams in the canyons, and the channelization of rivers in the Los Angeles Basin. Implementation of the 1915 Comprehensive Plan took several turns and ultimately resulted in mismanagement and a failed attempt at a large dam in San Gabriel Canyon. These events undermined public confidence in the flood control authority. In 1931, under new leadership, the Flood Control District presented a new plan. This plan was similar to the 1915 approach; however, it added the inclusion of spreading grounds to allow water to percolate into groundwater basins beneath the Los Angeles Basin (Orsi 2004).

The 1936 Flood Control Act, as amended May 15, 1937, provided federal funding for comprehensive flood control projects. Because Los Angeles County already had a plan in place, the county was able to take advantage of this opportunity. This was the first and largest program to receive funding under the new law. The 1936 act and a subsequent flood control act passed in 1938 called for the Army Corps of Engineers to work with the Los Angeles County Flood Control District on future flood control efforts. This resulted in the Los Angeles County Flood Control System, a comprehensive, coordinated river-based flood control system constructed by the Los Angeles County Flood Control District and the U.S. Army Corps of Engineers. Flood control structures were built by the Department of Public Works and the Army Corps of Engineers.

The 1938 flood was the fifth largest in history, at that time, killing 113 people and causing \$40 million in damage. The public was outraged, and with the help of the federal government, in 1938 the Army Corps of Engineers designed and began construction of many Los Angeles County Drainage Area flood control facilities, including dams, channels, and reservoirs to impound San Gabriel Mountain storm waters. The Los Angeles County Flood Control District was also created at that time, and since 1985, it is now administered by the LACDPW (Gumprecht 1999).

While SGCSG was originally constructed in 1938 for flood control and conservation of local storm water, it has been used to replenish the basins with imported water since 1953 and with recycled water since 1962. The fertile land surrounding the San Gabriel River that was once large groves of citrus, avocado, and walnut trees, became rapidly developed in the mid twentieth century. The end of World War II resulted in a demand for housing and large parcels of farm land were purchased

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\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

in the immediate vicinity of the San Gabriel River and cleared to be replaced by tract homes (Pico Rivera History and Heritage Society 2008) (Figure 2).

Although San Gabriel River Conservation System as a whole could potentially be significant under Criterion A of the NRHP and Criterion 1 of the CRHR, the SGCSG does not appear to have played a significant individual role in local, state, or national history because it is representative of spreading grounds constructed throughout California in the 20th century. It does not appear to meet the eligibility criteria under NRHP Criterion A or CRHR Criterion 1.

The SGCSG is associated with many organizations who contributed to the planning and implementation of the project, such as the US Army Corps of Engineers and the Los Angeles Flood Control District. However, research revealed little about individual engineers or politicians involved with the construction or design of the SGCSG. The SGCSG has no direct association with notable individuals and, thus, does not appear to meet NRHP Criterion B or CRHR Criterion 2.

The SGCSG does not appear to meet NRHP Criterion C or CRHR Criterion 3 on an individual basis. The spreading grounds and its associated diversion structures are common throughout California. SGCSG is one of 27 spreading facilities that were built between 1917 and 1994, owned and operated by the Los Angeles Department of Public Works. This particular spreading ground was designed from a standard set of plans applied to all spreading grounds in the Los Angeles Flood Control District. It has no known associations with an individual engineer and does not represent the work of a master. The SGCSG does not possess high artistic values because it is a basic spreading ground designed for function and utility and not for aesthetic quality.

Under NRHP Criterion D or CRHR Criterion 4 the resource is not likely to yield information important to history because it is not the principal source of important information. Therefore, the spreading grounds do not appear to meet this criterion.

The SGCSG retains integrity of location, feeling and association, but does not retain integrity of design, materials, workmanship, or setting. The SGCSG is in its original locations and retains its feeling and association because it expresses its historic purpose as a functional water system built to assist with controlling flooding and moving water to spreading grounds. However, the design, materials, workmanship have lost integrity. The design of the spreading grounds has been substantially altered; because the form, plan, and style of the basins and control systems have been changed. In 1991, the basins were altered from 10 basins to 3 spreading basins and 1 desilting basin. Integrity of workmanship is also lost because the system has been altered with modern construction methods of the spreading grounds and water conservation system. The SGCSG does not retain integrity of materials because the alterations have removed or introduced new materials into the water system including: rubber dams, concrete weirs, and pump stations. The setting for the spreading grounds also appears altered, because when constructed, the SGCSG was surrounded by agricultural and rural properties, and now the resource is lined with urban development. Overall, the SGCSG does not retain integrity and its ability to convey its significance.

## References

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Pico Rivera History and Heritage Society

DPR 523J (1/95)

\*Required Information

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Resource Name or # San Gabriel Coastal Spreading Grounds

\*Date of Map Google Earth, 2012

2008 *Pico Rivera*: Arcadia Publishing, Charleston, South Carolina.

San Gabriel Coastal Basin Spreading Grounds, Basin– (As Built) 1967. (On file with LADPW)

San Gabriel Coastal Basin Spreading Grounds, Basin Modification – Phase II (As Built) revised June 5, 1991. (On file with LADPW)



State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Date of Map Google Earth, 2012  
Photographs (cont)

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 2.** Desilting Basin, View to Northwest



**Photograph 3.** Spreading Basin No. 1, View to North



**Photograph 4, Gate # 1, View to Southwest**



**Photograph 5, Gate #2, View to Southwest**



**Photograph 6.** Paved Surface on Top of Gate (nonfunctional), View to West



**Photograph 7.** Control Station Structure, View to Southwest

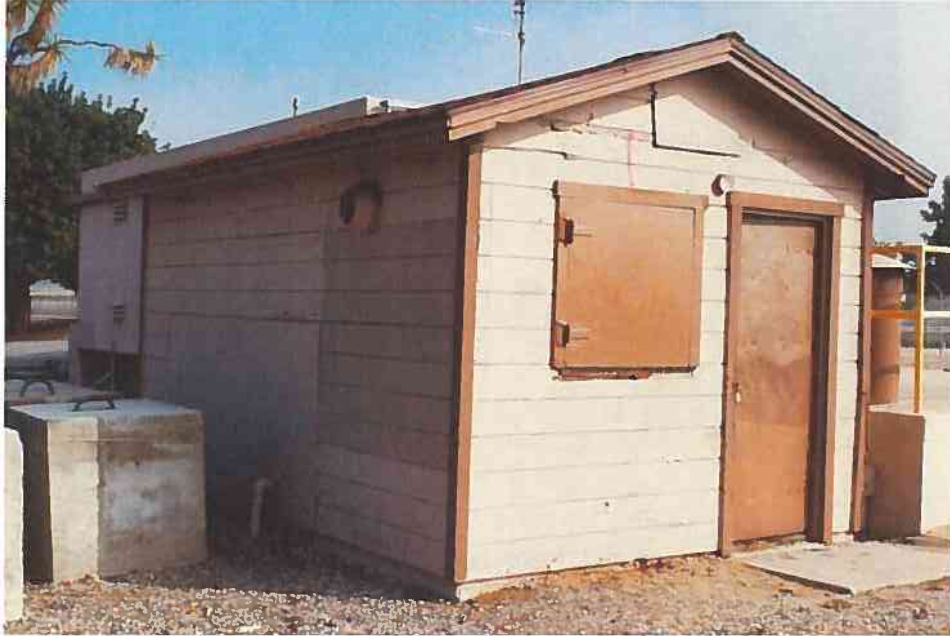
State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Date of Map Google Earth, 2012

\*Resource Name or # San Gabriel Coastal Spreading Grounds



**Photograph 8.** Control Station Shed 1, View to Northeast



**Photograph 9.** Control Station Shed 2, View to Southwest

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DEPARTMENT OF PARKS AND RECREATION  
**LOCATION MAP**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Date of Map Google Earth, 2012

\*Resource Name or # San Gabriel Coastal Spreading Grounds



Photograph 10. Mine Avenue Pump Station, View to West



Photograph 11. Rubber Dam No. 2, View to East



**Photograph 12.** Rubber Dam No. 4, View to Southeast



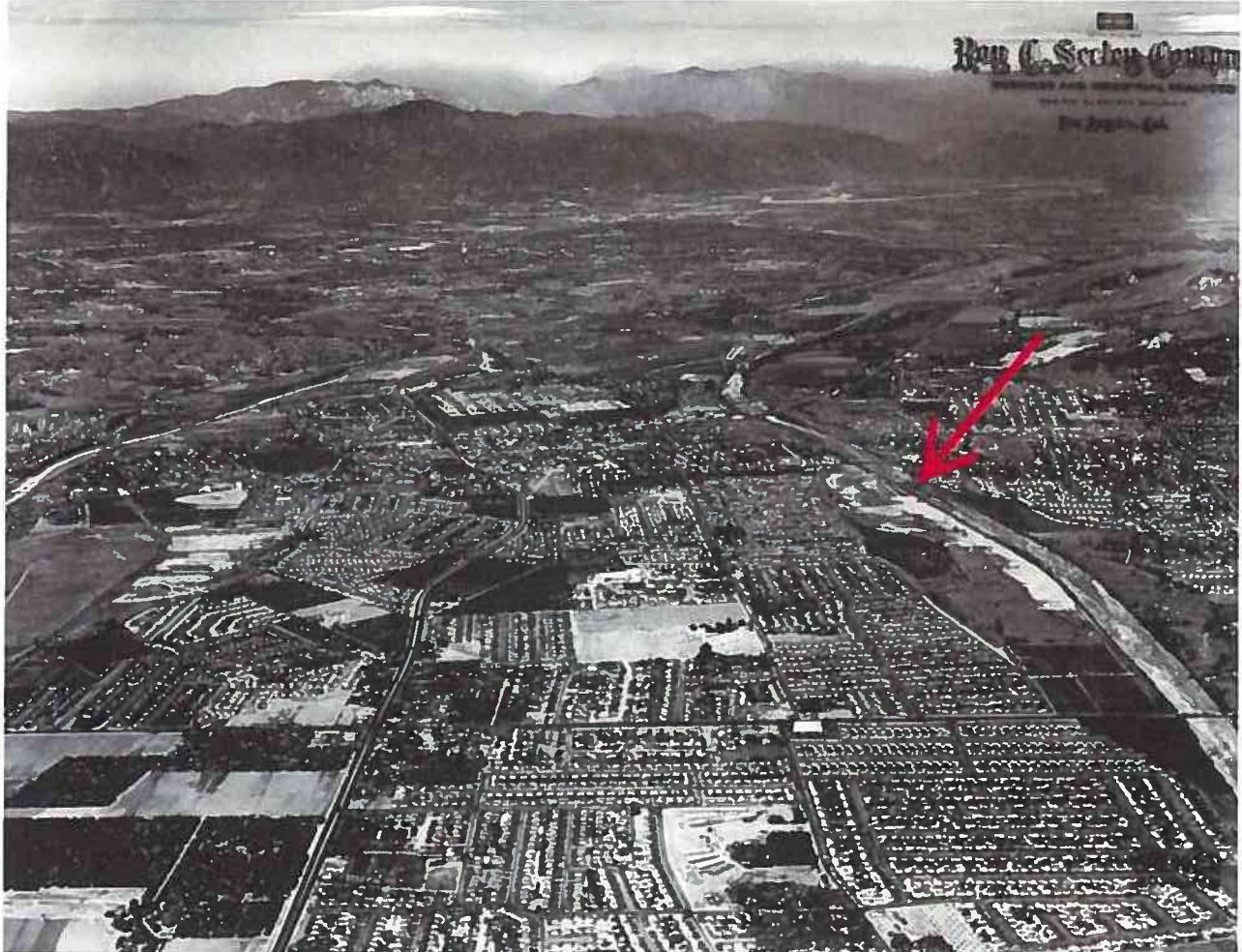
**Photograph 13.** Control Station for Rubber Dam No. 4, View to Northeast



Photograph 14. San Gabriel River, View to Northeast



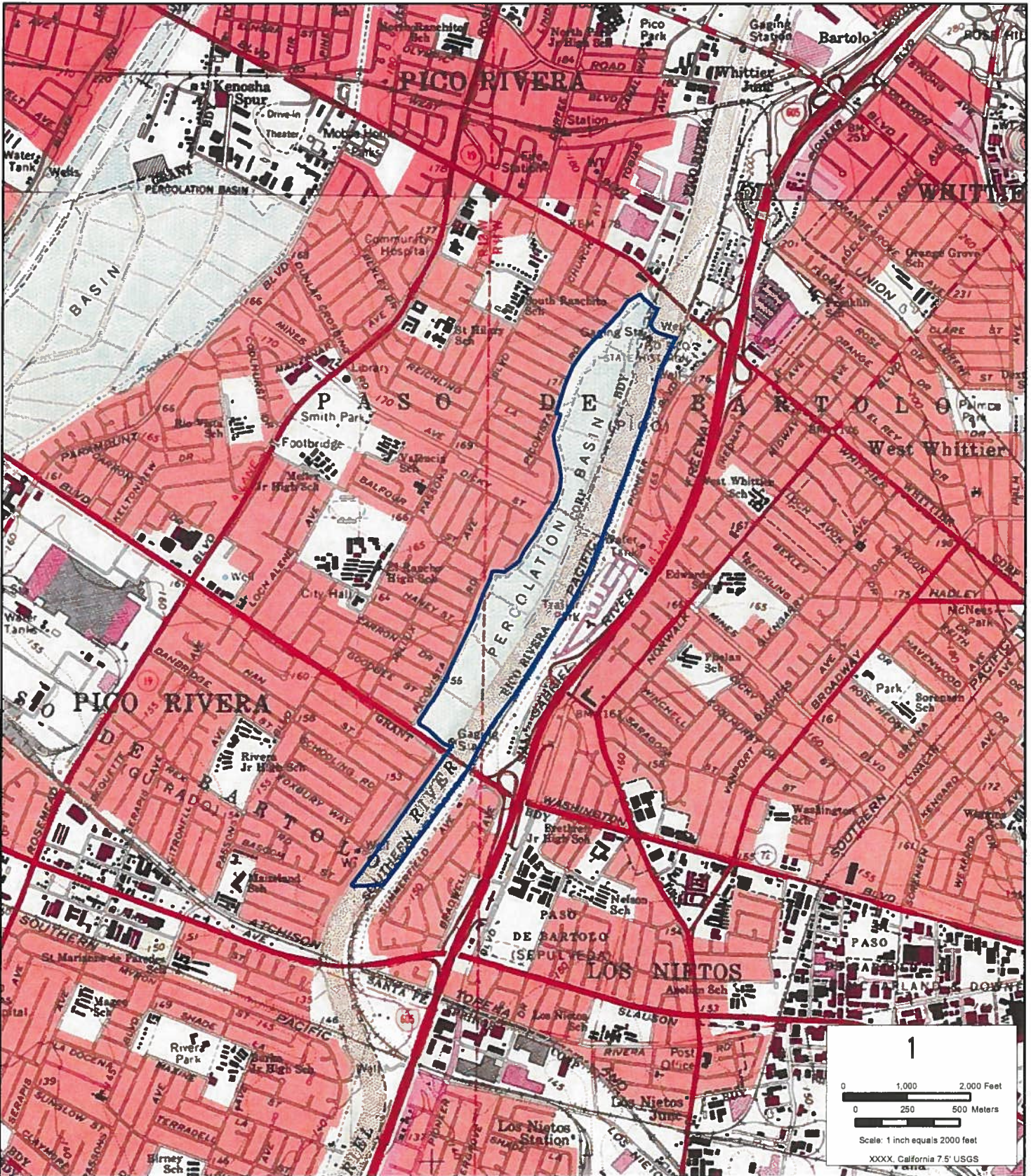
Figure 1. County of Los Angeles Map, circa 1980, indicating 10 basins



**Figure 2.**  
Aerial View of San Gabriel River and San Gabriel Coastal Basin Spreading Grounds,  
Pico Rivera in 1951, (Los Angeles Public Library)



**LOCATION MAP**



## CONTINUATION SHEET

Property Name: | San Gabriel Coastal Spreading Grounds |  
Page | 1 | of | 5 |

Update or  Continuation

### B10. Significance:

As part of the San Gabriel Coastal Spreading Grounds Levee Retrofit Project, the San Gabriel Coastal Spreading Grounds (SGCSG) were reevaluated by Environmental Science Associates (Taylor, 2017). The following paragraphs provide the historic context for the SGCSG and surrounding vicinity, as well as a National Register of Historic Places evaluation of the resource.

#### Historic Context:

##### Los Angeles Flood Control District (1914 – 1969)

The Los Angeles Flood Control District (LACFCD) was formed in 1914 following a devastating flood and the realization by County leaders that controlling flood waters should be the responsibility of a central authority. “Over the next year, a specially appointed team of engineers surveyed, measured, projected, predicted, and calculated until they compiled a three-hundred-page proposal for controlling the water from the mountains to the sea” (Deverell and Hise, 2005). The LACFCD would oversee implementation of the plan, estimated to cost around \$16 million.

However, the following decades were plagued by corruption and engineering failures, resulting in the County’s struggles to motivate voter support of additional bond measures needed to pay for flood control improvements. In 1927, the LACFCD’s first chief engineer, James W. Reagan resigned due to criticisms of his engineering experience. His successor was E.C. Eaton. “So unpopular had the LACFCD become, however, that even in the aftermath of a flood that produced devastating debris on New Year’s Eve 1933, the discredited agency could not muster enough voter support to pass a bond measure to finance Eaton’s Comprehensive Plan, which he unveiled in 1931” (Deverell and Hise, 2005). However, the Federal Government would soon interject, providing the necessary funding needed to see the comprehensive plan come to fruition.

The Flood Control Act of 1936 (amended May 15, 1937) provided federal funding for flood control projects, of which Los Angeles County was one of the first and largest infrastructure development programs to receive funding. Under President Roosevelt’s direction, the Work Progress Administration (WPA) provided over \$13 million in funding for flood control infrastructure improvements in Los Angeles County. The work would be supervised by the USACE and the County would supply over \$3 million for the purchase of land necessary for the projects. “The vast majority of WPA relief funds were designated for channel improvements and the construction of debris basins on the Los Angeles River and its tributaries” (Gumprecht, 1999). While the initial focus of federal funding was on improvements to the Los Angeles River, preliminary studies of both the Los Angeles and San Gabriel Rivers as well as their tributaries signified the beginning of a broad federally funded flood control program.

In 1938, a general plan for the San Gabriel River and the adjacent Rio Hondo was developed by the USACE. The plan included three essential features to control flooding along the rivers. First, debris

basins would be constructed near the base of the mountains to trap mud and boulders, preventing them from blocking the river flow downstream. The rivers were to be deepened, widened, and lined with levees or concrete. Finally, the construction of large flood control basins along the river banks would help control flood waters during storms (Gumprecht, 1999).

1938 marks the beginning of a golden era in the construction of Los Angeles County's flood control infrastructure that lasted through 1969. "Political quiescence accounted for the ease with which flood controllers turned blueprints into infrastructure between 1938 and 1969" (Deverell and Hise, 2005). The era began with a massive flood in March of 1938, resulting in the deaths of fifty-nine people and \$62 million worth of damaged property. "A 1963 book on Southern California government cited flood control as one of the few metropolitan issues on which there was substantial consensus across the region" (Deverell and Hise, 2005). Following the 1938 flood, the USACE built five flood control dams and basins, including the Whittier Narrows Basin, approximately two miles north of the SGCSG. "During storms, dam operators closed the outlets, and the structures turned into giant funnels that captured the torrents and release only as much as the downstream channels could carry" (Orsi, 2004).

### San Gabriel Coastal Spreading Grounds (1938 – 1991)

In addition to the flood-control basins, the County began constructing water-conservation spreading grounds along the major rivers in the region as well as debris reduction programs in the foothills between the 1940s and 1960s (Orsi, 2004). In 1938, the SGCSG was added to the LACFCD's extensive flood control network. "While the SGCSG was originally constructed in 1938 for flood control and conservation of local storm water, it has been used to replenish basins with imported water since 1953 and with recycled water since 1962" (Gibson 2012). SGCSG is one of 27 spreading facilities that were built between 1917 and 1994, owned and operated by the Los Angeles Department of Public Works (Gibson 2012).

The earliest aerial image of the SGCSG dates from 1947 and shows approximately 10 basins surrounding by agricultural land. By 1956, the area had become fully developed with residential neighborhoods and associated commercial districts. The SGCSG still consisted of 10 basins but the basins appear more defined by that time. In 1967, a desilting basin was added at the north end of the SGCSG. "The 890-foot-long by 350-foot-wide desilting basin is composed of a dirt and gravel embankment and an approximately 75-foot curved canal. The desilting basin receives water from the San Gabriel River, then sediment-laden runoff is temporarily detained under quiescent conditions, which allows sediment to settle out before the runoff is discharged to the canal, and then water flows into to the spreading grounds or back into the San Gabriel River" (Gibson 2012). In addition to the desilting basin, an intake canal, control station building, and additional ancillary buildings were constructed at the north end of the SGCSG, adjacent to the San Gabriel River.

In 1991, the original 10 basins were reconfigured into three larger spreading ground basins, while the desilting basin added in 1967 remained untouched. The reconfiguration of the basins left multiple reinforced concrete gates inoperable (Gibson 2012).

## **Significance Evaluation:**

Although previously evaluated for its individual eligibility (Gibson, 2012), the SGCSG (P-19-190511) was subject to evaluation to confirm the previous recommendation of ineligibility. Constructed in 1938, the SGCSG was considered in the context of its association with LACFCD (1914 – 1969). Because the SGCSG was constructed as part of a larger effort to address severe flooding of Los Angeles County’s major rivers and their tributaries, its eligibility as a contributor to a larger flood control-related district was also considered

### **Criterion A: Events**

The SGCSG was built in 1938 as the golden era in the construction of flood control infrastructure began in Los Angeles County. The SGCSG was built at a time when County officials and Federal Agencies began working together to stabilize the region’s flood control network. Earlier that year, a devastating flood took the lives of fifty-nine people and caused over \$60 million worth of damages. The devastation left behind by the 1938 flood inspired engineers and governing officials to turn flood-control related ideas and designs into built realities. While the SGCSG is associated with these events, it is one of multiple spreading grounds and other features, including debris basins, concrete river channels, and flood-control basins, that make up the County’s flood control system. The SGCSG does not appear to have played a significant individual role in local, state, or national history because it is representative of spreading grounds constructed throughout California during the 20th century. These spreading grounds were designed to relieve overburdened river channels and flood-control basins during storms. Furthermore, the SGCSG did not contribute to the settlement patterns of the surrounding community. Historic aerial images from as late as 1949 show the surrounding area continued to consist of agricultural fields after the construction of the SGCSG. Nearby tract maps indicated the former agricultural fields were subdivided for residential development beginning in 1949. Therefore, the SGCSG does not appear eligible for listing under National Register Criterion A.

While the SGCSG does not appear individually eligible under Criterion A, it is associated with the broader historical development of the LACFCD. The SGCSG may be a contributing element to a historic district associated with the LACFCD, although such a historic district has not been identified or evaluated for the National Register at this time. The LACFCD is composed of dams, flood channels, and spreading grounds along the Los Angeles and San Gabriel Rivers, Ballona Creek, and their associated tributaries, most of which were constructed between 1938 and 1969. In 2006, the U. S. Bureau of Reclamation (USBR) identified the LACFCD as a potential district, noting that additional research was needed to determine if the network of resources is nationally significant for their impact on the settlement of the Los Angeles metropolitan area.

### **Criterion B: Significant Persons**

The APE was originally used as agricultural land prior to the SGCSG’s construction in 1938. Following the SGCSG’s construction, the property continued to serve as a spreading ground associated with the flood control infrastructure throughout the region and has not been associated with any significant personages related to national, state, or local history. Therefore, the SGCSG does not appear eligible under National Register Criterion B.

### Criterion C: Design/Construction

The SGCSG represents one aspect of Los Angeles County's flood control network, which includes flood-control basins, river channels, debris basins, spreading grounds, and other flood control features. The SGCSG is one of 27 similar spreading ground facilities constructed in California between 1917 and 1994. Furthermore, alterations to SGCSG in 1991 resulted in the reconfiguration of the basins from 10 small basins into three larger basins. The alterations rendered portions of the properties infrastructure inoperable and the SGCSG no longer functions in the way that it was originally designed. The SGCSG is not associated with a significant architect or engineer and does not possess high artistic values because it is a basic spreading ground designed for function and utility and not for aesthetic quality. Therefore, the SGCSG does not appear eligible under National Register Criterion C.

### Criterion D: Data Potential

While most often applied to archaeological districts and sites, Criterion D can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D, they themselves must be, or must have been, the principal source of the important information. The SGCSG does not appear to yield significant information adding to our current knowledge or theories of design, methods of construction, operation, or other information that is not already known regarding the construction of spreading grounds or other elements of flood control infrastructure. Therefore, the SGCSG has not yielded or is not likely to yield information important to prehistory or history and does not appear eligible under National Register Criterion D.

### References:

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Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 7R**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 6745 Loch Alene Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 6745 Loch Alene Ave City Pico Rivera Zip 90660  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 6378020027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: Single Family Residence
- Stories: 1
- Construction: Not visible
- Cladding: Unknown
- Roof: Portion visible appears to be side gable
- Entrance: Not visible
- Windows: Not visible
- Related Features: Screened metal fence and gate; front fencing is decorative metal above concrete block base
- Style: Unknown
- Character defining features are not visible
- Status: This residence is obscured due to high walls and fences

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Estimated) Tax Assessor

\* P7. Owner and Address:

Morrow, D Douglas Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 7R

\* Resource Name or #: 6745 Loch Alene Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Unknown

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1955

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Pico Rivera

Period of Significance 1955

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 31 parcels within Tract 14841 that was subdivided in 1947 by Bank of America National Trust and Savings Association. Tax Assessor research reveals that the earliest dwelling was erected in 1948 with houses constructed every year until 1955 when the small subdivision had been completely built out. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments. Prior to the Second World War this was how most subdivisions were developed; however, it was not uncommon to find this pattern continuing in the postwar years despite the advent of large-scale developers who would be responsible for improving entire tracts.

Tract 14841 represents a historically consistent grouping of Minimal Traditional style single-family residences erected between 1948 and 1955 that embody the response to the need for middle class housing in Pico Rivera during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and the addition of second stories to some of the dwellings, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

Unfortunately, the subject property is not visible. As a result, an assessment of the property could not be made.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12440 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12440 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168018045

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof this one-story utilitarian industrial building is of concrete construction. Symmetrically arranged into five bays, the building features numerous large steel-framed, multi-pane windows on its visible elevations. Non-original vinyl canopies shelter windows on the primary (east) elevation as well as the main entrance area that centers the composition. Small shrubs front the building which is separated from the street by a paved parking area and low concrete block wall. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Factual)

\* P7. Owner and Address:

Rubern N Paz

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12440 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
1989: Addition. Cost: \$16,500.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: J. L. Peterson

b. Builder: Murray E. Latson (sp?)

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1957

Property Type Industrial

Applicable Criteria N/A

The 1957 building permit indicates that Cole Ranch Co. was the original owner. The architect was J. L. Peterson. The builder was Murray E. Latson (sp?). Standard research did not reveal any information about architect J.L. Peterson who appears to have designed a number of similar industrial buildings in the area.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story industrial facility, exhibits a high level of integrity. Nonetheless, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, including architect J.L. Peterson and builder Murray E. Latson (sp?), landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 2 of 2\* Resource Name or #: 12447 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 12447 Lambert Road City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170034006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This utilitarian one-story automobile repair facility is of concrete block construction and capped by a flat roof with parapet. A shallow canopy that spans the width of the primary (west) elevation is flanked on both ends by concrete block extensions of the north and south elevations. Similar projections flank the façade's center bay, which is punctuated by a large multi-pane steel-framed fixed and casement window. A similar window occupies the north bay. A much smaller window is in the south bay, which also contains a glazed metal-framed pedestrian entrance with metal security gate. A small planter area fronts the building at the sidewalk. The building's north and south elevations feature large openings for automobile repair. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated)

\* P7. Owner and Address:

Louis &amp; Loretta Dipeppino

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12447 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1948

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story car repair facility, exhibits a high level of integrity. Nonetheless, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12451 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12451 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170034007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This site consists of a pair of residences that together constitute a multi-family property. The unit visible from the street is vernacular modern in style of wood-frame construction and capped by a hipped roof with deep overhanging eaves. Rough textured stucco finishes exterior surfaces. Fenestration consists of pairs of wood-framed double-hung sash with plain surrounds. The primary entrance is fronted by a metal security door that prevents observation of the door itself. A small enclosed single-car garage is located at the north end of the primary (west) elevation. Landscaping consists of small patches of grass and a few shrubs. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 9/7/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1953 (Estimated)

\* P7. Owner and Address:

Louis &amp; Loretta Dipeppino

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12451 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Multi-Family Residence

B4. Present Use: Multi-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1953

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1953

Property Type Residential

Applicable Criteria N/A

The property is a direct product of a major population growth throughout the region and the resultant exploding demand for housing during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California mixed commercial and residential areas that responded similarly to rapid population growth during this period.

The subject property, containing a pair of dwellings that together form a multi-family property, exhibits a moderate level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12456 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12456 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168018044

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof this one-story utilitarian industrial building is of concrete construction. Symmetrically arranged into three bays, the building features numerous large steel-framed, multi-pane windows on its visible elevations. Non-original vinyl canopies shelter windows on the primary (east) elevation as well as the main entrance area that centers the composition. A clipped hedge fronts the building which is separated from the street by a paved parking area. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Estimated)

\* P7. Owner and Address:

Rubern N Paz

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12456 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1959

Property Type Industrial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story industrial facility, exhibits a high level of integrity. Despite this, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12459 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 12459 Lambert Road City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170034008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story utilitarian automobile repair facility is of concrete block construction and capped by a flat roof with parapet. The street-facing (west) elevation features a horizontal banded brick pattern interrupted by a pair of metal-framed windows. The building's south elevation consists of two large openings for auto access to the repair area. The building exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West and south elevs, lkg northeast  
9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1968 (Estimated)

\* P7. Owner and Address:

Louis &amp; Loretta Dipeppino

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12459 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Building

B4. Present Use: Commercial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1968: Repair Garage. Cost: \$15,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1968

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story auto repair facility, exhibits a moderate level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12468 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12468 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168018043

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story utilitarian industrial building consists of two elements: a large manufacturing/warehouse facility of concrete construction capped by a truss roof fronted by a flat-roofed office portion also constructed of concrete. Pairs of large steel-framed multi-pane windows punctuate the office portion's north, south, and east elevations. A non-original vinyl canopy shelters the primary entrance area, which consists of multi-pane windows, an entry door, and decorative flagstone veneer. A paved surface parking area occupies the space between the sidewalk and the building. Landscaping consists of various shrubs, a clipped hedge, and mature palm trees. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg northwest 9/15/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual)

\* P7. Owner and Address:

Lambert Whittier Llc

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12468 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: J. L. Peterson

b. Builder: J. L. Peterson

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1959

Property Type Industrial

Applicable Criteria N/A

The 1959 building permit indicates that Roy K. Cole and C. C. Cole were the original owners. The architect was J. L. Peterson. Standard research did not reveal any information about architect J.L. Peterson who appears to have designed a number of similar industrial buildings in the area.

The subject building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story manufacturing/warehouse and office facility, exhibits a high level of integrity. Nonetheless, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Roy K. and C.C. Cole, the original owners (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including architect/builder J.L. Peterson, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12505 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12505 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170035001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story commercial building has experienced substantial alterations to its façade, most likely in the 1970s. Capped by a combination flat roof with parapet and shed roof, this vernacular modern building is clad primarily in non-original rough-textured stucco. The building features non-original metal-framed storefront windows on its primary (west) elevation. Metal and non-original vinyl awnings cover the fenestration on its north elevation. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 9/16/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1954 (Estimated)

\* P7. Owner and Address:

Aids Medical Ents Inc.

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12505 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1959: 4 room addition. Cost: \$10,000.

1978: Addition. Cost: \$112,000.

1979: Warehouse addition. Cost: \$22,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1954

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a much-altered commercial building, exhibits a low level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12519 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12519 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170036001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood-frame
- Cladding: rough-textured stucco
- Roof: hipped
- Entrance: altered, non-original wood door
- Windows: altered, vinyl
- Related features:
- Style: Minimal Traditional
- Character defining features present: hipped roof, stucco finish
- Character defining features not present: wood frame windows, original stucco finish, original front door
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West and north elevs, lkg southeast  
10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1954 (Estimated)

\* P7. Owner and Address:

Vsa &amp; Associates

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12519 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1954

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1954

Property Type Residential

Applicable Criteria N/A

The residence is a direct product of a major expansion of population throughout the region and the resultant exploding demand for houses by Southern California residents during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California residential areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story Minimal Traditional dwelling, exhibits a low level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12522 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12522 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019033

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story Vernacular Modern office building is of concrete brick construction and capped by a shingled monitor roof that floats above a recessed set of decoratively arched panels. Several narrow glazed entrances and a similarly narrow window punctuate the primary (east) elevation. A brick walkway flanked by a grassy lawn and a single mature tree landscape the property, which exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1968 (Factual)

\* P7. Owner and Address:

Interhealth Corporation

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12522 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1968

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Richard O. Prior

b. Builder: Not Listed

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1968

Property Type Commercial

Applicable Criteria N/A

The 1968 building permit indicates that Whittier Medical Group was the original owner. The architect was Richard O. Prior. The builder was not listed. Standard research did not reveal any information about architect Richard O. Prior.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story Vernacular Modern office building, exhibits a high level of integrity. Nonetheless, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Richard O. Prior, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12525 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12525 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170036002

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This one-story vernacular modern commercial office building is capped by a low-pitched side-gabled roof. Of wood frame construction, the building is sheathed in stucco, horizontal boards, and red brick veneer. The only visible windows are large openings near the north and south ends of the primary (west) elevation, both of which appear to have been replaced with new frames and glazing. Low clipped hedges front this nondescript building that is surrounded on its south and west sides with paved parking. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1947 (Estimated)

\* P7. Owner and Address:

Vsa &amp; Associates

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12525 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1947

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1947

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a vernacular modern one-story office building, exhibits a low level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12532 Lambert Road

P1. Other Identifier: \_\_\_\_\_

- \* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles
- b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.
- c. Address 12532 Lambert Road City Whittier Zip 90606
- d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN
- e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a flat roof with parapet, this utilitarian one-story warehouse building is of concrete construction. A single pedestrian entrance is located on the primary (east) elevation. Several large freight openings punctuate the south elevation. The building exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP08 Industrial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South and east elevs, lkg northwest  
10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1964 (Factual)

\* P7. Owner and Address:

Interhealth Corporation

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12532 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Industrial Building

\* B5. Architectural Style: Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1979: Addition. Cost: \$85,000.

1994: Addition. Cost: \$53,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Jack H. Macdonald

b. Builder: A. John Rosier

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1964

Property Type Industrial

Applicable Criteria N/A

The 1964 building permit indicates that S & F Iris Co. was the original owner. The architect was Jack H. MacDonald. The builder was A. John Rosier. Standard research did not reveal any relevant information about original owner S&F Iris Co., architect Jack H. MacDonald, or builder A. John Rosier.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a utilitarian one-story warehouse facility, exhibits a high level of integrity. Nonetheless, research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12533 Lambert Road

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12533 Lambert Road City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170036003

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Capped by a moderately pitched side-gabled roof, this one-story dwelling is influenced by the Ranch architectural style. Of red brick construction, the building's dominant feature is a large exterior chimney that fronts the house on its primary (west) elevation and pierces the roof. Brick steps lead to the entrance, which is sheltered by the main roof and fronted by a metal security door. Non-original vinyl windows punctuate the façade. A very large addition to the south elevation was in the process of being constructed at the time of the field visit. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 10/5/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated)

\* P7. Owner and Address:

Federal National Meeting Association (fnma)

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/22/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12533 Lambert Road

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
2009: 8 window change out. Cost: \$3,000.

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1948

Property Type Residential

Applicable Criteria N/A

The dwelling is a direct product of a major expansion of population throughout the region and the resultant exploding demand for housing in Southern California during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California mixed residential and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a Ranch style single-family residence, exhibits a low level of integrity. Research indicates it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement and lacks overall architectural quality and distinction (Criterion C, NRHP). As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 10/22/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7856 Milna Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7856 Milna Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176015006

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side gabled
- Entrance: not original
- Windows: altered, vinyl
- Related features: grassy lawn
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish
- Character defining features not present: original windows, standard stucco finish, minimal ornamentation, original front door
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Ugalde, Juan B

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7856 Milna Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front door with sidelights. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7857 Milna Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7857 Milna Ave City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176014034

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross gabled
- Entrance: metal security door
- Windows: altered, aluminum
- Related features: grassy lawn, metal awnings, chain link perimeter fence
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish, minimal ornamentation
- Character defining features not present: original windows, standard stucco finish
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Ottosen, John &amp; Viola Trust

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7857 Milna Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7834 Morrill Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7834 Morrill Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176016022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: clapboard
- Roof: hipped
- Entrance: metal security door
- Windows: altered, aluminum sliding
- Related features: grassy lawn
- Style: Minimal Traditional
- Character defining features present: hipped roof, original siding, minimal ornamentation
- Character defining features not present: original windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Butler, Mary A

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7834 Morrill Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7838 Morrill Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7838 Morrill Ave City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176016021

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: hipped
- Entrance: metal security door
- Windows: original wood frame sash
- Related features: grassy lawn, interior chimney
- Style: Minimal Traditional
- Character defining features present: hipped roof, stucco finish, minimal ornamentation, original windows, interior chimney
- Character defining features not present: none
- Status: exhibits a high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Puentes, Anselmo H Et Al

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7838 Morrill Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, the dwelling exhibits a high level of integrity. However, as an example of the Minimal Traditional style the house does not rise to level of significance required for designation under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12503 Pennant Place

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12503 Pennant Place City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood-frame
- Cladding: stucco
- Roof: flat
- Entrance: not visible
- Windows: altered, vinyl
- Related features: brick chimney, deep eaves
- Style: Vernacular Modern
- Character defining features present: overall form, stucco finish
- Character defining features not present: wood frame windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 11/10/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
1954 (Estimated)

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/11/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12503 Pennant Place

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1954

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1954

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 13 parcels within Lot 26 of Tract 13468 that was subdivided in 1945 by the Whittier National Trust and Savings Bank. Tax Assessor research reveals that Lot 26 subdivided and improved as early as 1945 and as late as 1961 with the majority improved between 1954 and 1956. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments.

Lot 26 of Tract 13468 represents a small grouping of primarily Minimal Traditional, Ranch, and Vernacular Modern style single-family residences erected in the first decade following the Second World War. However, due to substantial alterations to a majority of residential properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Vernacular Modern architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 11/11/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12513 Pennant Place

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12513 Pennant Place City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019017

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood-frame
- Cladding: non-original rough-textured
- Roof: side gabled
- Entrance: not visible
- Windows: altered, vinyl
- Related features: full width front porch
- Style: Ranch
- Character defining features present: Overall form and front porch configuration
- Character defining features not present: regular stucco finish, wood frame windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 11/10/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated)

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/11/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12513 Pennant Place

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1948

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 13 parcels within Lot 26 of Tract 13468 that was subdivided in 1945 by the Whittier National Trust and Savings Bank. Tax Assessor research reveals that Lot 26 subdivided and improved as early as 1945 and as late as 1961 with the majority improved between 1954 and 1956. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments.

Lot 26 of Tract 13468 represents a small grouping of primarily Minimal Traditional or Ranch style single-family residences erected in the first decade following the Second World War. However, due to substantial alterations to a majority of residential properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough-textured stucco to exterior surfaces. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 11/11/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12519 Pennant Place

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12519 Pennant Place City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019028

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood-frame
- Cladding: non-original rough-textured
- Roof: hipped
- Entrance: not visible
- Windows: altered, vinyl
- Related features:
- Style: Minimal Traditional
- Character defining features present:
- Character defining features not present: regular stucco finish, wood frame windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 11/10/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
1955 (Estimated)

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/11/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12519 Pennant Place

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1955

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1955

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 13 parcels within Lot 26 of Tract 13468 that was subdivided in 1945 by the Whittier National Trust and Savings Bank. Tax Assessor research reveals that Lot 26 subdivided and improved as early as 1945 and as late as 1961 with the majority improved between 1954 and 1956. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments.

Lot 26 of Tract 13468 represents a small grouping of primarily Minimal Traditional style single-family residences erected in the first decade following the Second World War. However, due to substantial alterations to a majority of residential properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the finishing of exterior surfaces with non-original rough-textured stucco. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 11/11/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

**PRIMARY RECORD**

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12523 Pennant Place

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12523 Pennant Place City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019030

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood-frame
- Cladding: non-original rough-textured
- Roof: side gabled, gable-on-hip
- Entrance: non-original wood
- Windows: altered, vinyl
- Related features: attached double garage
- Style: Ranch
- Character defining features present:
- Character defining features not present: regular stucco finish, wood frame windows, original wood door
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 11/10/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1961 (Estimated)

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/11/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12523 Pennant Place

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1961

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1961

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 13 parcels within Lot 26 of Tract 13468 that was subdivided in 1945 by the Whittier National Trust and Savings Bank. Tax Assessor research reveals that Lot 26 subdivided and improved as early as 1945 and as late as 1961 with the majority improved between 1954 and 1956. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments.

Lot 26 of Tract 13468 represents a small grouping of primarily Minimal Traditional and Ranch style single-family residences erected in the first decade following the Second World War. However, due to substantial alterations to a majority of residential properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, refinishing exterior surfaces with rough-textured stucco, and replacing the front door. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 11/11/2010

(This space reserved for official comments.)





State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 7840 Pioneer Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 7840 Pioneer Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176012001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This dwelling retains no elements of its original architectural style, which most likely was Minimal Traditional given its date of construction.

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Cueva, Carlos & Luisa

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7840 Pioneer Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, the dwelling has been completely altered such that it retains no integrity whatsoever. Therefore, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7841 Pioneer Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7841 Pioneer Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176012049

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: cross gabled
- Entrance: metal security door
- Windows: altered, vinyl
- Related features: chain link perimeter fence, triangular knee brace supporting porch roof
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish, minimal ornamentation
- Character defining features not present: original windows
- Status: exhibits a low to moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Maier, Rosalie P Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7841 Pioneer Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7866 Rockne Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7866 Rockne Ave City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176016001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, horizontal boards in gable peak
- Roof: cross gabled
- Entrance: metal security door
- Windows: original wood frame sash and non-original aluminum
- Related features: grassy lawn, chain perimeter fence
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish, minimal ornamentation
- Character defining features not present: original windows, standard stucco finish
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rivera, Eulogio &amp; Evelia

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7866 Rockne Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 7867 Rockne Ave

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 7867 Rockne Ave City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176015032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, horizontal boards in gable peak
- Roof: cross gabled
- Entrance: metal security door
- Windows: original wood frame double-hung sash
- Related features: grassy lawn, shrubs
- Style: Minimal Traditional
- Character defining features present: roof form, stucco finish, minimal ornamentation
- Character defining features not present: standard stucco finish
- Status: exhibits a moderate to high level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

East elev, lkg west 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Garcia, Louis A &amp; Guadalupe

\* P8. Recorded by: (Name, affiliation, address)

Portia Lee, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 7867 Rockne Ave

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 287 parcels within Tract 15650 that was subdivided and improved in 1950 by Albert Gersten. The tract was one of numerous phases of the massive Whittier Downs development that Gersten, president of the J. Richard Company, had begun in 1947. By 1951, when the final phase had been completed, Whittier Downs occupied much of the unincorporated area between Whittier Boulevard on the north, Broadway Avenue on the east, Washington Boulevard on the south, and Pioneer Boulevard on the west. Identified at the time as East Whittier, the area had been a prime citrus growing region prior to the rapid replacement of the groves with residential subdivisions after World War II. Gersten was one of the more prolific developers in the boom years of the late 1940s and early 1950s with thousands of dwellings erected by his company in East Los Angeles County.

Tract 15650 represents a historically consistent grouping of Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the various phases of Whittier Downs does not differ substantially from that of other large residential subdivisions appearing in Greater Los Angeles in the years following World War II. In sum, due to a lack of integrity or an especially unique development history the residential grouping does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish to exterior elevations and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Portia Lee, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 8101 Vicki DrP1. Other Identifier: First Fundamental Bible Church\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 8101 Vicki Dr City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178005027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

First Fundamental Bible Church is a tall, one-story Modernist church of concrete block and frame construction, with considerable areas of lava rock accent wall cladding. The steeply-pitched, swooping roof line and the prow-like treatment of the roof eaves at front is the most dramatic architectural element of the asymmetrically organized design and suggests Polynesian design inspiration. The stacked bond treatment of the concrete block masonry and the incorporation of occasional pop-out masonry units, as well as use of lava rock, further animate the design. Fenestration consists of solitary vertically aligned metal sash with both clear and amber-tinted obscure glazing. The property retains a high degree of design integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP16 Religious Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southeast 6/17/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Factual) Tax Assessor

\* P7. Owner and Address:

Community Grace Brethren Church

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, Portia Lee  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 7/14/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 8101 Vicki Dr

B1. Historic Name: Community Brethren Church

B2. Common Name: First Fundamental Bible Church

B3. Original Use: Church

B4. Present Use: Church

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1953: Classrooms. Cost: \$10,000

1955: New Building. Cost: \$40,000

1961: Addition. Cost: \$20,000

1966: Addition. Cost: \$9,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: W. A. Leichtfuss

b. Builder: Community Brethren Church

\* B10. Significance: Theme Religious architecture

Area Whittier

Period of Significance 1950

Property Type Religious

Applicable Criteria N/A

The 1950 building permit indicates that Community Brethren Church was the original owner. The architect was W. A. Leichtfuss. The builder was Community Brethren Church.

The construction of this church was a response to the increasing population of the greater Whittier area in the years following World War II. Similar examples abound in the surrounding community. Architecturally, the building is undistinguished and is not a good or representative example of a Vernacular Modern church building despite its vaguely Polynesian influences. As a result, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); and is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP). Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Carson Anderson, Portia Lee, ICF International

Date of Evaluation: 7/14/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 10808 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 10808 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8177020001

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: metal security door
- Windows: altered, aluminum
- Related features: variety of shrubs and trees
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched hipped roof
- Character defining features not present: standard stucco finish, wood frame sash windows
- Status: exhibits a low level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, 1kg east 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both  
1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Chavez, Emigdio R &amp; Maria A

\* P8. Recorded by: (Name, affiliation, address)

 Meghan Potter, Peter Moruzzi  
 ICF International  
 811 W 7th Street, Suite 800  
 Los Angeles, CA 90017
\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 10808 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 10820 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 10820 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8177020023

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: non-original wood door
- Windows: altered; vinyl, with raised surrounds
- Related features: grassy lawn with shrubs
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Ascencio, Rafael I

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 10820 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 10906 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 10906 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8177020024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: altered; vinyl
- Related features: grassy lawn with shrubs
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rocha, Alexander L & Bertha O

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 10906 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 10922 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 10922 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8177020050

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, brick veneer water table
- Roof: hipped
- Entrance: accessed via short steps
- Windows: mix of wood frame double hung sash and non-original vinyl
- Related features: grassy lawn with shrubs, attached pergola supported by brick veneered posts
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation, wood frame windows
- Character defining features not present: original windows, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Martinez, Maria I Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 10922 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of some original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 10934 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 10934 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178005005

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: altered; aluminum
- Related features: grassy lawn with shrubs
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1950 (Estimated) Tax Assessor

\* P7. Owner and Address:

Hernandez, Heber H &amp; Ana M Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 10934 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1950

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1950

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11025 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11025 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8176016027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel is used as a commercial fueling gas station and contains a small east-facing supporting one-story office/cashier structure and a one-and-a-half story utilitarian fueling area consisting of an internal steel frame structure with brick veneer and flat metal roof canopy. The large canopy sheltering the fuel islands is supported by six square posts, on top of small square islands, that appears to be older construction. There is a total of eight primary pumps with four fueling stations. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1961 (Factual) Building Permit

\* P7. Owner and Address:

Tosco Operating Co Inc

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11025 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1964: Pole sign. Cost: \$7,000

1969: Alteration. Cost: \$7,500

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: W. Archer

b. Builder: Powerine Oil Co.

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1961 building permit indicates that Powerine Oil Co. was the original owner. The architect was W. Archer. The builder was Powerine Oil Co.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a gas station and supporting small freestanding building for the cashier, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect W. Archer, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11036 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11036 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8178004068

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This retail store and office commercial building is two stories tall and influenced by the Mediterranean Revival style. Located on an eccentrically shaped corner parcel, its primary elevation faces west. The building plan echoes the parcel layout, with an L-shaped plan. Its gabled roof is clad in red clay tiles. The exterior wall surface is rough-textured stucco and consists of eight bays delineated by seven tapered columns that run up and over the roof, seen on the primary northwest elevation. Commercial stores in the building consist of aluminum storefront windows and doors on both floors. There is an open walkway on the second floor, and a metal staircase with metal railings and stone steps is located in the central bay stairwell. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg east 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 (Estimated) Tax Assessor

\* P7. Owner and Address:

Brandenburg, Llona Trust

\* P8. Recorded by: (Name, affiliation, address)

David Greenwood, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11036 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Mediterranean Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1956

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1956

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a two-story stucco-clad office and retail building, exhibits a moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of a building influenced by the Mediterranean Revival architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: David Greenwood, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 11309 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 11309 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173002026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story south-facing Vernacular Modern style restaurant. The freestanding rectangular building, a fast-food drive-in, features a prominent mansard roof with wood shingles and metal coping atop an extended overhang with a flat roof. The overhang features a deep fascia board that runs the circumference of the building. The primary elevation is divided by square stucco-clad columns into three bays characterized by large metal and glass windows and offset entrance door. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1968 (Factual) Tax Assessor

\* P7. Owner and Address:

Jake Lv Inc

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11309 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1968

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1968

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story fast food drive-in restaurant constructed in 1968, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

# PRIMARY RECORD

Other Listings \_\_\_\_\_

Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 11317 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11317 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173002027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a south-facing one-story rectangular commercial building designed in the Vernacular Modern style and used for three commercial tenant spaces. The structure is capped by a flat roof with parapet and features flat canopies. The westernmost tenant space contains a symmetrical storefront with large plate glass windows with metal frames. The central tenant space is clad in a rough textured stucco finish with board and batten siding. The easternmost space displays a rough textured stucco finish and a storefront with a large plate glass window with metal frames flanking the entrance. A freestanding metal sign advertizes the eastern tenant space, and an attached roof sign advertizes the central tenant. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1954 (Factual) Building Permit

\* P7. Owner and Address:

Memons Llc

\* P8. Recorded by: (Name, affiliation, address)

Carson Anderson, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record

Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11317 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1954

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: W. Humphries

b. Builder: A. L. Bilyew

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1954

Property Type Commercial

Applicable Criteria N/A

The 1954 building permit indicates that L. C. Aldrich was the original owner. The architect was W. Humphries. The builder was A. L. Bilyew.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing three attached tenant spaces, has been frequently altered and exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including L.C. Aldrich, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect W. Humphries and builder A.L. Bilyew, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Carson Anderson, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11415 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11415 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173023004

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains two one-story commercial buildings: a modest nail parlor that exhibits elements of the Ranch style on the west end of the site, and a flat-roofed brick and concrete block building on the east end. The Ranch style building has a non-original rough textured stucco finish and a low pitched front-gable roof with composition shingles, wide overhanging eaves, and projecting beam ends. It is deeply recessed on its primary (south) elevation sheltered by the roof line and supported at the corner with a large wedge-shaped wall. The façade is punctuated by large wood frame windows. The other building is Vernacular Modern in style with a parapet and divided into multiple bays with the primary elevation clad in brick with its entrance sheltered by a deep canopy. While the west building exhibits a low level of integrity the east building appears relatively unaltered.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1961 (Factual) Building Permit

\* P7. Owner and Address:

Berumen, Joe M &amp; Norma

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11415 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Ranch, Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1988: Alteration. Cost: \$20,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Kenco Const.

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1961

Property Type Commercial

Applicable Criteria N/A

The 1961 building permit indicates that K. N. Collins was the original owner. The architect was not listed. The builder was Kenco Const.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property contains two one-story buildings, one influenced by the Ranch style and the other in the Vernacular Modern style. The building closest to public view exhibits a low level of integrity while the second building, constructed of concrete block, appears intact. However, neither meets the criteria for significance required for federal, state or local designation. Both do not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); do not appear to be associated with the lives of people important in the past, including K.N. Collins, the original owner (Criterion B, NRHP); are not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lack the overall architectural quality and distinction required of a good example of the Ranch or Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property as a whole does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 11513 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 11513 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173023007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a south-facing one-story strip mall designed utilizing elements of the Spanish Revival style. It has a flat roof with parapet and features a pitched clay tile roof at the primary elevation that shelters the main façade. This roof extension is supported by square brick piers. The rectangular façade is punctuated by large metal frame windows. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) \_\_\_\_\_

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1969 (Factual) Building Permit

\* P7. Owner and Address:

Lee, Hakwon & Yoonhwa

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11513 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1969

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: John Corbett

b. Builder: R. H. Borden

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1969

Property Type Commercial

Applicable Criteria N/A

The 1969 building permit indicates that Jack Eknoian was the original owner. The architect was John Corbett. The builder was R. H. Borden.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-story strip mall, exhibits a low level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Jack Eknoian, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect John Corbett or builder R.H. Borden, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11529 Washington BlvdP1. Other Identifier: Mcdonald's\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11529 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173023015

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a south-facing one-story Vernacular Modern style restaurant capped by a prominent metal Mansard roof. Finished in stucco, the rectangular building features deep overhanging eaves and decorative brackets. Large metal frame windows punctuate the primary elevations. The property exhibits a high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1969 (Factual) Building Permit

\* P7. Owner and Address:

Cauffman, John R Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11529 Washington Blvd

B1. Historic Name: None

B2. Common Name: McDonald's

B3. Original Use: Restaurant

B4. Present Use: Restaurant

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1976: Remodel. Cost: \$40,000

1996: Addition. Cost: \$175,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: McDonalds Corp.

b. Builder: Rappaport Co.

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1969

Property Type Commercial

Applicable Criteria N/A

The 1969 building permit indicates that Rappaport Co. was the original owner. The architect was McDonalds Corp. The builder was Rappaport Co.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

Although the subject property, containing a one-story restaurant, exhibits a high level of integrity, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11655 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11655 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173024016

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story south-facing wood frame commercial building, formerly a residence that was designed in the Minimal Traditional style. This building faces the street and a larger south-facing warehouse designed in the Vernacular Modern style is located behind it.

The commercial building has a stucco finish that is a possible later alteration from wood cladding, a medium pitched hip roof with a modest rake, composition shingles, and boxed eaves. The large multi-pane windows are clad in vinyl, a later alteration. The entrance is composed of a wood-framed portico with a flat roof and a later flat panel door. The warehouse has a low-pitched gambrel roof and corrugated metal siding. The property exhibits a medium to high level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1946 (Factual) Building Permit

\* P7. Owner and Address:

Hargrave, John L &amp; Julie A Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11655 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: \_\_\_\_\_ B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Minimal Traditional, Utilitarian

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1946: Saw building. Cost: \$8,000

1947: Residence and Garage. Cost: \$8,850

1948: Lumber storage. Cost: \$16,000

1979: Office. Cost: \$265,900

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Waldo T. Wadley

b. Builder: M. C. Foy And Son

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1946 Property Type Industrial Applicable Criteria N/A

The 1946 building permit indicates that M. C. Foy and Son was the original owner. The architect was Waldo T. Wadley. The builder was M. C. Foy and Son. Constructed immediately after World War II, the property is an exception to the general development pattern throughout the region, which developed later as a product of a major expansion of suburban development and the resultant demand for products and services by Southern California consumers during the 1950's extending into the 1960s. Constructed in 1947, the commercial building in the front of the property and available for public view was converted from residential use in 1979, when it was substantially altered, and no longer a good example of the Minimal Traditional style. The warehouse, originally housing a lumberyard, was constructed in 1946 and has continued a similar use as a utilitarian warehouse with few alterations.

Although the subject property exhibits a moderate level of integrity in the commercial structure and a high level of integrity in the warehouse, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including M.C. Foy and Son, the original owner/builders (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Waldo T. Wadley, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Minimal Traditional architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local Designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11705 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

- \* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles
- b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.
- c. Address 11705 Washington Blvd City Whittier Zip 90606
- d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN
- e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038007

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story south-facing auto shop designed in the Vernacular Modern style. Exterior surfaces are clad in a rough textured stucco finish, possibly a later alteration, and a flat roof with parapet running the length of the facade. The rectangular building also features a flat canopy that shelters the primary façade. Symmetrically divided and five bays wide, the façade is punctuated by large plate glass metal frame windows, possibly with replacement glass, that are flanked by a one-car garage bay and a pedestrian entrance. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1957 (Factual) Building Permit

\* P7. Owner and Address:

Pyka, Timothy R &amp; Janice

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11705 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1957

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Curley Lang

b. Builder: Curley Lang

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1958

Property Type Commercial

Applicable Criteria N/A

The 1957 building permit indicates that T. Draves was the original owner. The architect was Curley Lang. The builder was Curley Lang.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the subject area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a one-story utilitarian building used for auto work, exhibits a moderate level of integrity based on probable alterations in its cladding and fenestration. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including T. Draves, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect/builder Curley Lang, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11713 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11713 Washington Blvd City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8173038008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This construction of this one-story south-facing strip mall was influenced by the Spanish Colonial Revival style. Exterior surfaces are clad in a rough textured stucco finish that is capped by a flat roof with a shallow parapet. The rectangular building features a pitched side-gable roof with a modest overhang clad in clay tiles, a possible alteration, that shelters the storefronts. The ridgeline supports three metal signs. The façade is punctuated by large plate glass metal frame windows whose glass may be a later replacement. A freestanding metal sign is located at the street elevation and is highlighted by an attached metal hammer with neon lighting. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual) Building Permit

\* P7. Owner and Address:

Long, William L Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11713 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: John Anderson

b. Builder: Illegible

\* B10. Significance: Theme \_\_\_\_\_ Area Whittier  
Period of Significance 1959 Property Type \_\_\_\_\_ Applicable Criteria N/A

The 1959 building permit indicates that Elton P. Eckles was the original owner. The architect was John Anderson. The builder's name was Illegible.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the subject area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a rectangular strip mall, exhibits a moderate level of integrity because of some façade alterations, it does not meet the criteria for significance required for federal, state or local recognition. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Elton P. Eckles, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect John Anderson, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Spanish Colonial Revival architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11723 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11723 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038013

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a south-facing one-story mattress store. The utilitarian building was designed in the Vernacular Modern style. Exterior surfaces are clad in a tile veneer and capped by a flat roof. The rectangular volume features a primary entrance framed by natural rock veneer projections, a possible later alteration, supporting a flat canopy. The façade is punctuated by original casement windows and large plate glass metal frame windows. The property exhibits a moderate level of integrity, based on alterations to the façade's cladding and entrance.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1959 (Factual) Building Permit

\* P7. Owner and Address:

Zonni, Marco Co Trust

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11723 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Industrial Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1959

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Nelson (sp?) Lee

b. Builder: Illegible

\* B10. Significance: Theme Industrial Development

Area Whittier

Period of Significance 1959

Property Type Industrial

Applicable Criteria N/A

The name of the original owner on the 1956 building permit was illegible. The architect was Nelson (sp?) Lee. The builder's name was illegible.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a small mattress plant and showroom, exhibits a moderate level of integrity due to later alterations to the façade. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11741 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11741 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038055

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story building rising to two stories on the west end and is influenced by the Vernacular Modern style. Capped by a flat roof with parapet, a projecting wood-trimmed canopy on the first floor shelters the storefronts on the primary façade. Exterior surfaces have an applied natural rock veneer on the first floor and brick veneer on the second story and parapet. The rectangular building is asymmetrically divided and contains four tenant spaces on the first floor. The façade is punctuated by non-original metal frame windows. The property exhibits a moderate level of integrity. Note that this property also includes APN 8173038054 with a 11745 Washington Boulevard address.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
7/22/2010\* P6. Date Constructed/Age and Sources:  
 Prehistoric  Historic  Both  
1962 (Factual) Building Permit\* P7. Owner and Address:  
Quaker City Plating\* P8. Recorded by: (Name, affiliation, address)  
Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey\* P11. Report Citation: (Cite survey report/other sources or "none")  
EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11741 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mixed Use Building

B4. Present Use: Mixed Use Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Jack Anderson

b. Builder: John Eckhardt

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that Ed Eckles was the original owner. The architect was Jack Anderson. The builder was John Eckhardt.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a one-story building rising to two stories on the west end, exhibits a moderate level of integrity based on a number of alterations. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Ed Eckles, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect Jack Anderson or builder John Eckhardt, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11745 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11745 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038054

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story building rising to two stories on the west end and is influenced by the Vernacular Modern style. Capped by a flat roof with parapet, a projecting wood-trimmed canopy on the first floor shelters the storefronts on the primary façade. Exterior surfaces have an applied natural rock veneer on the first floor and brick veneer on the second story and parapet. The rectangular building is asymmetrically divided and contains four tenant spaces on the first floor. The façade is punctuated by non-original metal frame windows. The property exhibits a moderate level of integrity. Note that this property also includes APN 8173038055 with a 11741 Washington Boulevard address.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1962 (Factual) Building Permit

\* P7. Owner and Address:

Quaker City Plating

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11745 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

Construction Date: 1962

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: J. Anderson

b. Builder: John Eckhardt

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1962

Property Type Commercial

Applicable Criteria N/A

The 1962 building permit indicates that Ed Eckles was the original owner. The architect was Jack Anderson. The builder was John Eckhardt.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a one-story building rising to two stories on the west end, exhibits a moderate level of integrity based on a number of alterations. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including Ed Eckles, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect J. Anderson and builder John Eckhardt, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11761 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11761 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a small one-story wood frame building designed in the Vernacular Modern style. Set back from the street, the rectangular volume's secondary façade faces south to Washington Boulevard, while the primary façade and entrance faces west. The exterior surfaces are clad in stucco. The shed roof features wide overhanging eaves and rolled composition roofing. The building is asymmetrically divided and two bays wide that consists of a primary entrance and a band of wood-framed metal windows-framed windows; a second, similar window band is located on the . The façade is punctuated by aluminum windows with applied metal security bars. The property exhibits a moderate level of integrity based on probably changes to window replacement and possible entrance relocation.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

SW elev, lkg northeast 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1961 Building Permit

\* P7. Owner and Address:

Quaker City Plating

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11761 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1961

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: A. L. Brenner

b. Builder: James Dimitroff

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1961

Property Type Commercial

Applicable Criteria N/A

The 1961 building permit indicates that James Dimitroff was the original owner. The architect was A. L. Brenner (sp?). The builder was James Dimitroff (sp?).

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing one small stucco-clad commercial building with a shed roof, exhibits a moderate level of integrity based on possible alterations to cladding and relocation of the entrance. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including James Dimitroff, the original owner/builder (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect A.L. Brenner, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11771 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11771 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8173038019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This small one-story car dealership building was designed in the Vernacular Modern style. It occupies the center of a large parking lot on the corner of an intersection and faces south. Its exterior surfaces are clad in a stucco finish capped by a flat roof, overhanging eaves, and a wood fascia. The rectangular building is asymmetrically divided and three bays wide. The façade is punctuated by metal frame windows and two garage bays. A tall metal sign stands in front of the building. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1955 (Factual) Building Permit

\* P7. Owner and Address:

Bean, Marilyn Et Al

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11771 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: \_\_\_\_\_ B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
1992: Addition. Cost: \$17,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: B. Perlin b. Builder: Calcor

\* B10. Significance: Theme Commercial Development Area Whittier  
Period of Significance 1955 Property Type Commercial Applicable Criteria N/A

The 1955 building permit indicates that B. B. Maynard was the original owner. The architect was B. Perlin. The builder was Calcor.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's.

The undistinguished property, containing a small rectangular volume housing a car dealership, exhibits a moderate level of integrity based on alterations in 1992. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including B.B. Maynard, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect B. Perlin or builder Calcor, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International  
Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11825 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11825 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001021

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: mobile home
- Stories: 1
- Construction: metal frame
- Cladding: metal
- Roof: flat
- Entrance: not visible
- Windows: aluminum
- Related features: shrubs
- Style: mobile home

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1945 (Estimated) Tax Assessor

\* P7. Owner and Address:

Kubicka, Dowell &amp; Katherine Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11825 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mobile Home Park

B4. Present Use: Mobile Home Park

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1945

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: N/a

b. Builder: N/a

\* B10. Significance: Theme Residential Development Area Whittier  
Period of Significance 1945 Property Type Residential Applicable Criteria N/A

This large mobile home park occupies three adjacent parcels (8170001020, 8170001021, 8170001022) with frontage on Washington Boulevard and Sorensen Avenue. Tax assessor research indicates that the mobile home park was established in the late 1940s. In the following decades a wide variety of metal mobile homes were placed on the property most of which have been carefully landscaped over the years. This type of mobile home park is not unique to the Whittier area nor is it rare or unusual. In addition, the various mobile homes exhibit a wide range of integrity. As a result, the residential grouping lacks overall architectural quality or distinction and does not meet district registration requirements at the federal, state or local levels of significance.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International  
Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11825 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11825 Washington Blvd City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170001022

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: mobile home
- Stories: 1
- Construction: metal frame
- Cladding: metal
- Roof: flat
- Entrance: not visible
- Windows: aluminum
- Related features: shrubs
- Style: mobile home

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)  
North & West elevs, lkg northeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both  
1948 (Estimated) Tax Assessor

\* P7. Owner and Address:

Kubicka, Dowell &amp; Katherine Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11825 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mobile Home Park

B4. Present Use: Mobile Home Park

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: N/a

b. Builder: N/a

\* B10. Significance: Theme Residential Development Area Whittier  
Period of Significance 1948 Property Type Residential Applicable Criteria N/A

This large mobile home park occupies three adjacent parcels (8170001020, 8170001021, 8170001022) with frontage on Washington Boulevard and Sorensen Avenue. Tax assessor research indicates that the mobile home park was established in the late 1940s. In the following decades a wide variety of metal mobile homes were placed on the property most of which have been carefully landscaped over the years. This type of mobile home park is not unique to the Whittier area nor is it rare or unusual. In addition, the various mobile homes exhibit a wide range of integrity. As a result, the residential grouping lacks overall architectural quality or distinction and does not meet district registration requirements at the federal, state or local levels of significance.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International  
Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11839 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11839 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001020

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: mobile home
- Stories: 1
- Construction: metal frame
- Cladding: metal
- Roof: flat
- Entrance: not visible
- Windows: aluminum
- Related features: shrubs
- Style: mobile home

\* P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, lkg southeast 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1947 (Estimated) Tax Assessor

\* P7. Owner and Address:

Kubicka, Dowell &amp; Katherine Trust

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11839 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Mobile Home Park

B4. Present Use: Mobile Home Park

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1947

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: N/a

b. Builder: N/a

\* B10. Significance: Theme Residential Development Area Whittier  
Period of Significance 1947 Property Type Residential Applicable Criteria N/A

This large mobile home park occupies three adjacent parcels (8170001020, 8170001021, 8170001022) with frontage on Washington Boulevard and Sorensen Avenue. Tax assessor research indicates that the mobile home park was established in the late 1940s. In the following decades a wide variety of metal mobile homes were placed on the property most of which have been carefully landscaped over the years. This type of mobile home park is not unique to the Whittier area nor is it rare or unusual. In addition, the various mobile homes exhibit a wide range of integrity. As a result, the residential grouping lacks overall architectural quality or distinction and does not meet district registration requirements at the federal, state or local levels of significance.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

(Sketch map with north arrow required)

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International  
Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11841 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11841 Washington Blvd City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170001019

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains four one-story freestanding commercial buildings designed in the Vernacular Modern style. Their primary facades face south and all are rectangular volumes. They include a liquor and grocery store with a rough textured stucco finish and a flat roof with metal coping. It is located on the southwest corner of the lot and features a projecting horizontal canopy sheltering the storefronts and a narrow, vertical metal and neon sign on the roof. The façade is punctuated by large metal frame windows trimmed with brick veneer. A laundry facility, located in the south central portion of the lot, has a rough textured stucco finish capped by a flat roof with pronounced parapet and pitched side gable roof with metal sheathing with a centered, curved dormer rising above the roof. The façade is punctuated by non-original metal windows. A rectangular tire shop stands on the property's southeast corner. It is clad in a rough textured stucco finish capped by a flat roof with a pronounced parapet. The façade is punctuated by non-original metal frame windows. The fourth building on the property is a long rectangular auto shop constructed in 1992 and located behind the liquor and grocery store. It is composed of tilt-up concrete panels and the façade is punctuated by garage bays. The property as a whole exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1951 (Estimated) Tax Assessor

\* P7. Owner and Address:

Prasad, Krishnaswamy S

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11841 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
2007: New building. Cost: \$400,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1951

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing four one-story freestanding buildings, exhibits a moderate level of integrity based on a range of later alterations. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11913 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11913 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001024

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains three structures, a one-story, south-facing office building designed in the Vernacular Modern style, and two other office buildings located to the north designed with elements of the Minimal Traditional and Ranch styles. The exterior surfaces of the front office building are clad in a rough textured stucco finish capped by a flat roof with metal coping and no overhang. This rectangular building is asymmetrically divided and two bays wide and its flat façade is punctuated by large non-original metal-framed windows. The west-most rear office building, a long rectangle in plan, is stucco-clad and features a medium-pitched side-gable roof with a projecting porch entrance. The third building, almost square in plan, features similar exterior cladding, a low hipped roof. Its façade is punctuated by multiple aluminum sliding windows. The property as a whole exhibits a low to moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1951 (Estimated) Tax Assessor

\* P7. Owner and Address:

Discovery Practice Management

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11913 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Vernacular Modern, Ranch

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1972: Addition. Cost: \$25,000

1973: Addition. Cost: \$27,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1951

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing three one-story office buildings, exhibits a low to moderate level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11933 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11933 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story commercial building that is loosely influenced by the Spanish Colonial Revival style. The rectangular volume's exterior surfaces are clad in a rough textured stucco finish. The flat roof behind the façade has a parapet that wraps around the building and that is taller along the length of the façade. The south-facing primary elevation features a short shed roof clad in Spanish tile. The roof shelters an open covered walkway and is supported by two stucco-clad columns defining three bays, each containing a large arched window and a wood paneled door. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1960 (Factual) Building Permit

\* P7. Owner and Address:

Group I El Monte Properties Ltd

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11933 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: \_\_\_\_\_

B4. Present Use: \_\_\_\_\_

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1963: Addition. Cost: \$5,600

1981: Front porch and stucco. Cost: \$5,750

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1960

Property Type Commercial

Applicable Criteria N/A

The 1960 building permit indicates that C. E. Qualls was the original owner. The architect was not listed. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a stucco-clad one-story office building significantly altered in 1981 to reflect the Spanish Colonial Revival style, exhibits a poor level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Spanish Colonial Revival architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11935 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 11935 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170001009

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-story commercial building that is loosely influenced by the Spanish Colonial Revival style. The rectangular volume's exterior surfaces are clad in a rough textured stucco finish. The flat roof behind the façade has a parapet that wraps around the building and that is taller along the length of the façade. The south-facing primary elevation features a short shed roof clad in Spanish tile. The roof shelters an open covered walkway and is supported by two stucco-clad columns defining three bays, each containing a large arched window and a wood paneled door. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1958 (Factual) Building Permit

\* P7. Owner and Address:

Group I El Monte Properties Ltd

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11935 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Retail Building

B4. Present Use: Commercial Retail Building

\* B5. Architectural Style: Spanish Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1981: Porch and stucco exterior. Cost: \$5,750

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: E. A. Brakenisiek

b. Builder: Not Listed

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1958

Property Type Commercial

Applicable Criteria N/A

The 1958 building permit indicates that W. D. Qualls was the original owner. The architect was E. A. Brakenisiek. The builder was not listed.

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The property, containing a stucco-clad one-story office building significantly altered in 1981 to reflect the Spanish Colonial Revival style, exhibits a poor level of integrity. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past, including W.D. Qualls, the original owner (Criterion B, NRHP); is not associated with significant architectural history, a master architect or builder including subject property architect E.A. Barkenisiek, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Spanish Colonial Revival architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 11967 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 11967 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020035

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: metal security door
- Windows: altered; vinyl
- Related features: shrubs and succulents, attached one-car garage
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rangel, J L & Theresa

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11967 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Ranch architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 11973 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 11973 Washington Blvd City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170020034

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: stucco
- Roof: side gabled
- Entrance: recessed; non-original door with fanlight
- Windows: original steel casement
- Related features: grassy lawn, attached garage
- Style: Minimal Traditional
- Character defining features present: medium-pitched side-gabled roof, minimal ornamentation
- Character defining features not present: original door, standard stucco finish
- Status: exhibits moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Torres, Leobardo

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
 ICF International  
 811 W 7th Street, Suite 800  
 Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 11973 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12005 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12005 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020033

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side gabled
- Entrance: metal security door; non-original wood door
- Windows: altered; vinyl
- Related features: concrete block and wrought iron fence, shrubs
- Style: Minimal Traditional
- Character defining features present: medium-pitched side-gabled roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Velazquez, Maria E

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12005 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12011 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12011 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020032

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gabled
- Entrance: recessed; non-original wood door
- Windows: altered; vinyl
- Related features: grassy lawn with shrubs; wrought iron and concrete block fence
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched gabled roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Romero, Panfilo

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12011 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)





Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12017 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12017 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020031

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: altered; aluminum
- Related features: grassy lawn with shrubs and palms; carport addition; wrought iron and concrete block fence
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Dominguez, Jesus S &amp; Jose L

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
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Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12017 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:

\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12021 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12021 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020030

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: not visible
- Windows: altered; aluminum
- Related features: grassy lawn with shrubs; wrought iron and concrete block fence
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Parra, Ruth

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12021 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12027 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12027 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020029

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: side gabled
- Entrance: recessed; metal security door
- Windows: altered; aluminum
- Related features: wrought iron and concrete block fence, brick veneer colonnade front porch
- Style: Minimal Traditional
- Character defining features present: medium-pitched side gabled roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Dominguez, Victor

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12027 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows, the application of non-original rough textured stucco finish, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12031 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12031 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020028

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross gabled
- Entrance: not visible
- Windows: altered; vinyl
- Related features: grassy lawn, light post, brick planter beds
- Style: Minimal Traditional
- Character defining features present: medium-pitched gabled roof, stucco
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Rivera, Gloria I

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12031 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12035 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12035 Washington Blvd City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020027

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: hipped
- Entrance: recessed
- Windows: altered; aluminum
- Related features: grassy lawn with shrubs, brick veneer arched entryway columns
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gonzalez, Anthony

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12035 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with aluminum windows and the application of non-original rough textured stucco finish to exterior surfaces. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12041 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
 b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
 c. Address 12041 Washington Blvd City Whittier Zip 90606  
 d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
 e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
 APN(s): 8170020026

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco; wood lap siding
- Roof: cross-gabled
- Entrance: not visible
- Windows: altered; vinyl
- Related features: non-original bay window, grassy lawn, wrought iron fence
- Style: Minimal Traditional
- Character defining features present: medium-pitched cross gabled roof, wood siding
- Character defining features not present: original windows and door, standard stucco
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Gummert, Michelle L

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12041 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a non-original bay window to the primary elevation. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12047 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12047 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020038

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco, stone veneer
- Roof: hipped
- Entrance: metal security door
- Windows: original steel casement
- Related features: grassy lawn
- Style: Minimal Traditional
- Character defining features present: medium-pitched hipped roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Avdalyan, Evelyn

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010\* P10. Survey Type: (Describe)  
Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12047 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the application of non-original rough textured stucco finish and rock veneer, and the installation of a metal security door in front of the entrance. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12053 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12053 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8170020023

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1
- Construction: wood frame
- Cladding: rough textured stucco
- Roof: cross-gabled
- Entrance: non-original wood door with sidelights
- Windows: altered; vinyl
- Related features: grassy lawn with shrubs and palm
- Style: elements of the Minimal Traditional
- Character defining features present: medium-pitched gabled roof, minimal ornamentation
- Character defining features not present: original windows and door, standard stucco finish
- Status: lacks integrity of design, materials or workmanship

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single-family Property\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

South elev, lkg north 4/1/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1949 (Estimated) Tax Assessor

\* P7. Owner and Address:

Navarro, Belen M

\* P8. Recorded by: (Name, affiliation, address)

Meghan Potter, Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 10/1/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12053 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Minimal Traditional

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction date: 1949

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1949

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 75 parcels within Tract 16290 that was subdivided in 1950 by Rosemead Homes, Inc. with Alexander P. Hixon of Pasadena serving as company president. The tract represents a historically consistent grouping of primarily Minimal Traditional style single-family residences erected in 1950 that embody the response to the need for middle class housing in East Los Angeles County during that period. However, due to substantial alterations to a majority of properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows and unsympathetic additions, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision and its associated developer does not differ substantially from that of other similar modest subdivisions in the area. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of original wood fenestration with vinyl windows, the application of non-original rough textured stucco finish, and the installation of a new front entry door. Because of these modifications the property no longer represents a good example of the Minimal Traditional architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Meghan Potter, Peter Moruzzi, ICF International

Date of Evaluation: 10/1/2010

(This space reserved for official comments.)



Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12102 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12102 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169001010

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a north-facing one-story commercial building designed in the Modern style and a one-story industrial building designed in the utilitarian style. The commercial building has a stucco finish capped by a flat roof with metal coping and a tall but shallow parapet that projects beyond the wall plane. The rectangular building features bands of windows that flank a pronounced primary entrance containing glass panels and an offset wood-paneled French doors. This entry is outlined in unornamented stucco. A large utilitarian industrial building is located on the property. Rectangular in plan, it is composed of corrugated metal and has a medium-pitched side gable roof with rolled composition roofing. The property exhibits a moderate level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1956 Tax Assessor

\* P7. Owner and Address:

Interhealth Corp

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

### BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12102 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial Office Building

B4. Present Use: Commercial Office Building

\* B5. Architectural Style: Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)

1984: Remodel exterior. Cost: \$112,000

1988: Computer Center. Cost: \$200,000

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1956

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing one commercial and one supporting utilitarian building, exhibits a moderate level of integrity based on a remodeled exterior and a major addition, both completed in the 1980's. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y**PRIMARY RECORD**Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_Page 1 of 2\* Resource Name or #: 12112 Washington Blvd

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles

b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 12112 Washington Blvd City Whittier Zip 90606

d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8169001008

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

This parcel contains a one-to-two-story animal hospital building designed in the Vernacular Modern style. Exterior surfaces are clad in a rough textured stucco finish capped by a hipped roof with overhanging eaves. A pitched clay tile roof separates the first and second floor. The rectangular building is symmetrically divided and three bays wide. A small adjacent addition to the east features a brick veneer, flat roof, and one central primary entrance bay. The façade is punctuated by non-original vinyl and aluminum sliding windows. The property exhibits a low level of integrity.

\* P3b. Resource Attributes: (List attributes and codes) HP06 1-3 Story Commercial Building\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg south 7/22/2010

\* P6. Date Constructed/Age and Sources:

 Prehistoric  Historic  Both

1948 (Estimated) Tax Assessor

\* P7. Owner and Address:

Von-ric Estates

\* P8. Recorded by: (Name, affiliation, address)

Elizabeth Hilton, B. Lamprecht  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12112 Washington Blvd

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Animal Hospital

B4. Present Use: Animal Hospital

\* B5. Architectural Style: Vernacular Modern

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Construction Date: 1948

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Commercial Development

Area Whittier

Period of Significance 1948

Property Type Commercial

Applicable Criteria N/A

The building is a direct product of a major expansion of suburban development throughout the region and the resultant exploding demand for products and services by Southern California consumers during the 1950's and 1960's. However, the area's development history does not differ substantially from that of other Southern California industrial and commercial areas that responded similarly to the wave of rapid suburban growth during this period.

The subject property, containing a one-and two-story veterinary hospital, exhibits a low level of integrity based on a series of alterations since it was constructed I 1948. Additionally, it does not meet the criteria for significance required for federal, state or local designation. It does not appear to be associated with events, activities, or developments that were important in the past (Criterion A, NRHP); does not appear to be associated with the lives of people important in the past (Criterion B, NRHP); is not associated with significant architectural history, landscape history, or engineering achievement (Criterion C, NRHP); and lacks the overall architectural quality and distinction required of a good example of the Vernacular Modern architectural style. Therefore, due to a lack of sufficient historical and architectural merit, this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Elizabeth Hilton, B. Lamprecht, ICF International

Date of Evaluation: 8/16/2010

(This space reserved for official comments.)

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: San Gabriel River Bridge West Of 605

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address San Gabriel River Bridge West Of 605 City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app APN(s): \_\_\_\_\_

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Located .75 miles west of the 605 Freeway, this 325 foot long concrete bridge carries vehicular and pedestrian traffic along Washington Boulevard and over the San Gabriel River. Built in 1953, it was widened and expanded in 1964 and carries four lanes of traffic with two lanes in each direction. The bridge features four vertical reinforced concrete piers with concrete seat abutments and steel window railings along the overcrossing.

\* P3b. Resource Attributes: (List attributes and codes) HP11 Engineering Structure

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing

P5b. Description of Photo: (View, date, etc.)

North elev, lkg southeast 7/22/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both

1953 (Factual)

\* P7. Owner and Address:

Caltrans

\* P8. Recorded by: (Name, affiliation, address)

Barbara Lamprecht, Andrew Bursan  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 8/16/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey



\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_

HR # \_\_\_\_\_

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 2\* NRHP Status Code 6Y\* **Resource Name or #:** San Gabriel River Bridge West Of 605B1. Historic Name: San Gabriel River Bridge west of the 605 FreewayB2. Common Name: NoneB3. Original Use: BridgeB4. Present Use: Bridge\* **B5. Architectural Style:** Utilitarian\* **B6. Construction History:** (Construction date, alterations, and date of alterations.)  
Constructed in 1953\* **B7. Moved?**  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_\* **B8. Related Features:**San Gabriel RiverB9a. Architect: Unknownb. Builder: Unknown\* **B10. Significance:** Theme TransportationArea WhittierPeriod of Significance \_\_\_\_\_ Property Type Bridge Applicable Criteria N/A

The status of the San Gabriel River Bridge as listed in the August 2010 Inventory for Historical Significance, Local Agency Bridges, as "not eligible for the NHRP." This evaluation does not change its status. The bridge does not appear to meet the criteria for listing in the National Register of Historic Places. It is not significant under Criterion A in the area of transportation in the context of commercial and industrial development in the Whittier area or surrounding communities and did not make an important contribution to the area's transportation history. There are no known associations with significant persons under Criterion B. Under Criterion C in the area of engineering, this prestressed concrete bridge is representative of a very common type of structure erected by the Bridge Department in the early 1950s, reflecting a major expansion of suburban development throughout the region. The bridge was altered and widened in 1964 reflecting the region's pace of growth. As a result, due to a lack of sufficient historical and architectural merit this property does not appear to be eligible for individual listing in the National Register of Historic Places, the California Register of Historical Resources, or qualify for local designation.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* **B12. References:**Caltrans Historic Bridge Inventory

(Sketch map with north arrow required)

B13. Remarks:

\* **B14. Evaluator:** Barbara Lamprecht, Andrew Bursan, ICF InternationalDate of Evaluation: 8/16/2010

(This space reserved for official comments.)



State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Y

## PRIMARY RECORD

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2

\* Resource Name or #: 12527 Pennant Place

P1. Other Identifier: \_\_\_\_\_

\* P2. Location:  Not for Publication  Unrestricted a. County Los Angeles  
b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.  
c. Address 12527 Pennant Place City Whittier Zip 90606  
d. UTM: (Give more than one for large and/or linear feature) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN  
e. Other Locational Data: (e.g. parcel #, legal description, directions to resource, elevation, additional UTM's, etc. as app  
APN(s): 8168019031

\* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

- Type: single-family residence
- Stories: 1 1/2
- Construction: wood-frame
- Cladding: board and batten, wide clapboard
- Roof: side gabled
- Entrance: not visible
- Windows: altered, vinyl
- Related features: front porch with wood posts
- Style: Colonial Revival
- Character defining features present: side gabled roof, dormers, board and batten siding
- Character defining features not present: wood frame windows
- Status: exhibits a moderate level of integrity

\* P3b. Resource Attributes: (List attributes and codes) HP02 Single Family Property

\* P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photograph or Drawing



P5b. Description of Photo: (View, date, etc.)

West elev, lkg northeast 11/10/2010

\* P6. Date Constructed/Age and Sources:

Prehistoric  Historic  Both  
1945 (Estimated)

\* P7. Owner and Address:

Private

\* P8. Recorded by: (Name, affiliation, address)

Peter Moruzzi  
ICF International  
811 W 7th Street, Suite 800  
Los Angeles, CA 90017

\* P9. Date Recorded: 11/11/2010

\* P10. Survey Type: (Describe)

Reconnaissance-Level Survey

\* P11. Report Citation: (Cite survey report/other sources or "none")

EIS/EIR. Metropolitan Transportation Authority. Eastside Phase 2. September, 2010

\* Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  Artifact Record  
 Photograph Record  Other: (List) \_\_\_\_\_

State of California -- The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary # \_\_\_\_\_  
HR # \_\_\_\_\_

**BUILDING, STRUCTURE, AND OBJECT RECORD**

Page 2 of 2

\* NRHP Status Code 6Y

\* Resource Name or #: 12527 Pennant Place

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Single-Family Residence

B4. Present Use: Single-Family Residence

\* B5. Architectural Style: Colonial Revival

\* B6. Construction History: (Construction date, alterations, and date of alterations.)  
Erected in 1945

\* B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\* B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\* B10. Significance: Theme Residential Development

Area Whittier

Period of Significance 1945

Property Type Residential

Applicable Criteria N/A

The subject property represents one of 13 parcels within Lot 26 of Tract 13468 that was subdivided in 1945 by the Whittier National Trust and Savings Bank. Tax Assessor research reveals that Lot 26 subdivided and improved as early as 1945 and as late as 1961 with the majority improved between 1954 and 1956. This pattern of development suggests that there was not one specific developer responsible for improving the subdivision but, instead, numerous owners and builders who purchased individual lots and improved them either for their own use or as speculative investments.

Lot 26 of Tract 13468 represents a small grouping of primarily Minimal Traditional style single-family residences erected in the first decade following the Second World War. However, due to substantial alterations to a majority of residential properties within the grouping, particularly the replacement of original wood fenestration with metal or vinyl windows, the physical integrity of the residential subdivision has been severely compromised. In addition, the development history of the subdivision does not differ substantially from that of other tracts that were subdivided and improved by numerous owners or builders after World War II. As a result, the residential grouping lacks overall architectural quality, distinction, and integrity and does not meet district registration requirements at the federal, state or local levels of significance.

As relates to the subject property, alterations include the replacement of some original wood fenestration with vinyl windows. Because of this modification the property no longer represents a good example of the Colonial Revival architectural style. Therefore, for reasons of compromised integrity, this property does not appear eligible for individual listing under National Register, California Register or local criteria.

B11. Additional Resource Attributes: (List attributes and codes): \_\_\_\_\_

\* B12. References:

County Tax Assessor, Tract Maps, Sanborn Maps, Los Angeles Times

(Sketch map with north arrow required)

B13. Remarks:



\* B14. Evaluator: Peter Moruzzi, ICF International

Date of Evaluation: 11/11/2010

(This space reserved for official comments.)